



Notes:

09 / 07 / 2026	CONCEPT	K.R.

2803 - 26A ST SW
Calgary, AB.

Cover Page

A-001

Scale:

Project number	4-26
Date	09/07/2026
Drawn by	K.R.

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

8" ALUMNIMUM FASCIA
- 3

STUCCO FINISH
- 4

SIDING FINISH -
DARK GREY/ BLACK
- 5

CONCRETE PARGING
- 6

CAST-IN-PLACE CONCRETE
- 7

BRICK CLADDING -
COLOUR AS SPEC'D

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



Notes:

09 / 07 / 2026	CONCEPT	K.R.

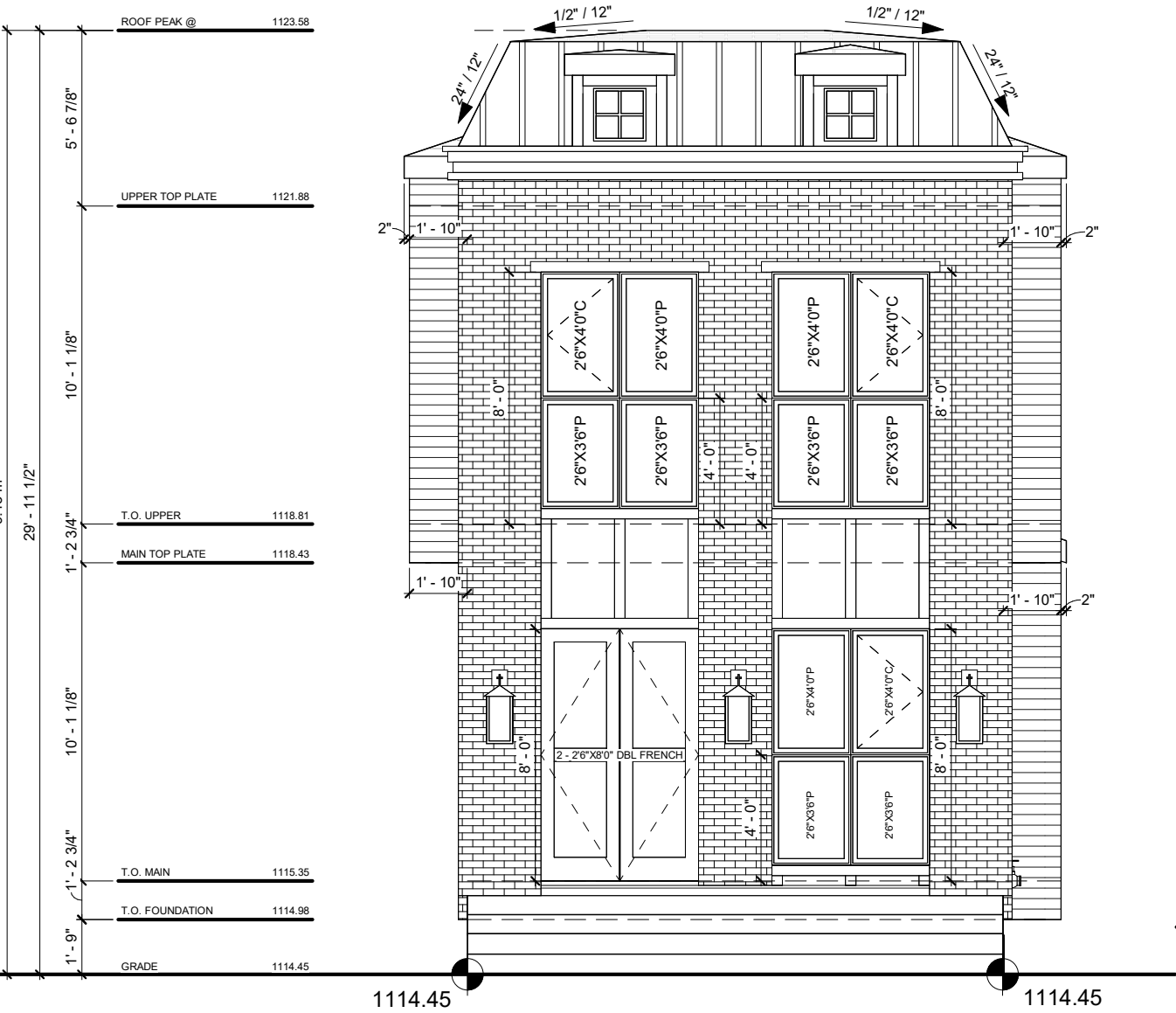


2803 - 26A ST SW
Calgary, AB.

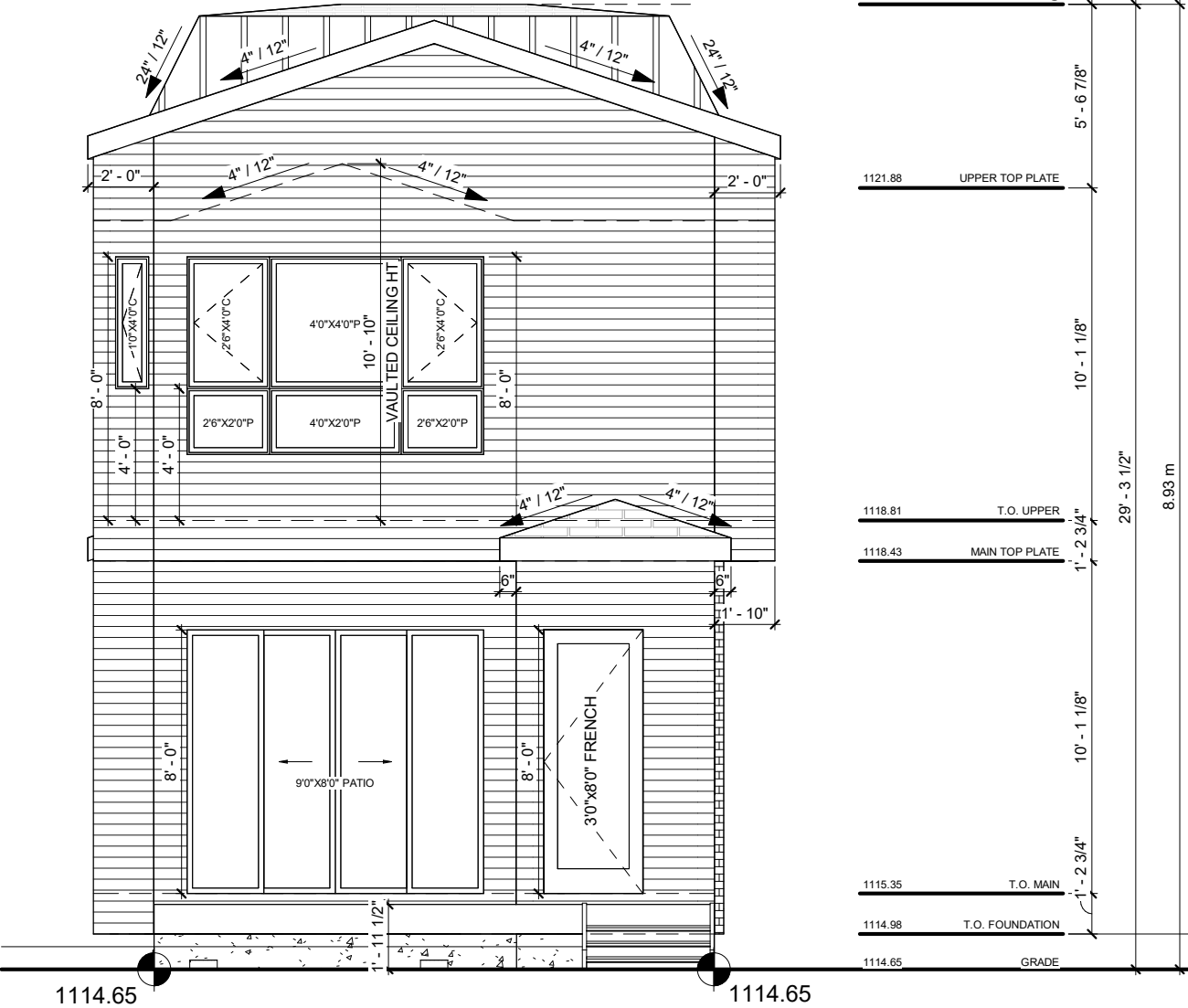
Front & Rear
Elevation

Scale: 3/16" = 1'-0"

Project number	4-26
Date	09/07/2026
Drawn by	K.R.



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

8" ALUMNIMUM FASCIA
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SIDING FINISH -
DARK GREY/ BLACK
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CAST-IN-PLACE CONCRETE
- 7

BRICK CLADDING -
COLOUR AS SPEC'D

WINDOW CALCULATION
WALL AREA = 1276.86 SQ. FT.
WINDOW AREA = 75.04 SQ. FT.
TOTAL: 75.04 / 1276.86 = 6.00%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



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2803 - 26A ST SW
Calgary, AB.

Right Elevation
A-202

Scale: 3/16" = 1'-0"

Project number	4-26
Date	09/07/2026
Drawn by	Author



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

8" ALUMNIMUM FASCIA
- 3

STUCCO FINISH
- 4

SIDING FINISH -
DARK GREY/ BLACK
- 5

CONCRETE PARGING
- 6

CAST-IN-PLACE CONCRETE
- 7

BRICK CLADDING -
COLOUR AS SPEC'D

WINDOW CALCULATION
WALL AREA = 1350.99 SQ. FT.
WINDOW AREA = 76.21 SQ. FT.
TOTAL: 76.21 / 1350.99 = 6.00%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



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2803 - 26A ST SW
Calgary, AB.

Left Elevation
A-203

Scale: 3/16" = 1'-0"

Project number	4-26
Date	09/07/2026
Drawn by	Author

ROOF PEAK @ 1123.58

UPPER TOP PLATE 1121.88

T.O. UPPER 1118.81

MAIN TOP PLATE 1118.43

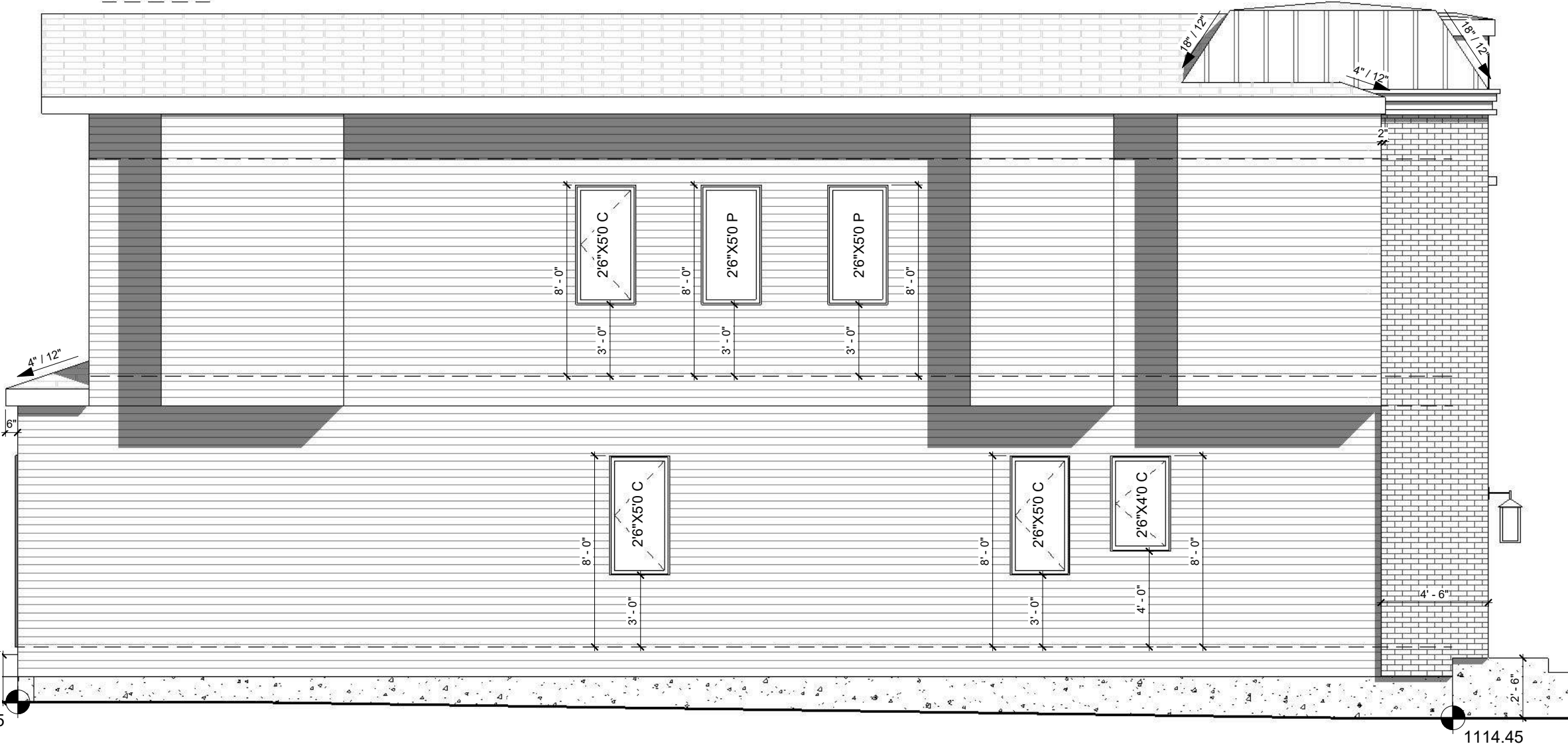
T.O. MAIN 1115.35

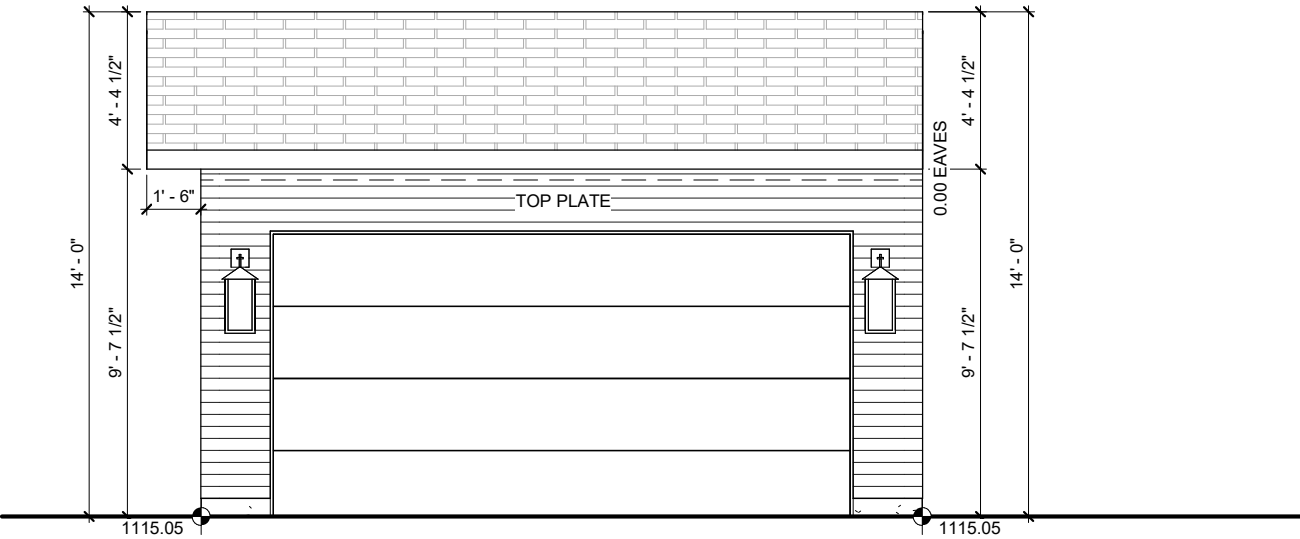
T.O. FOUNDATION 1114.98

GRADE 1114.65

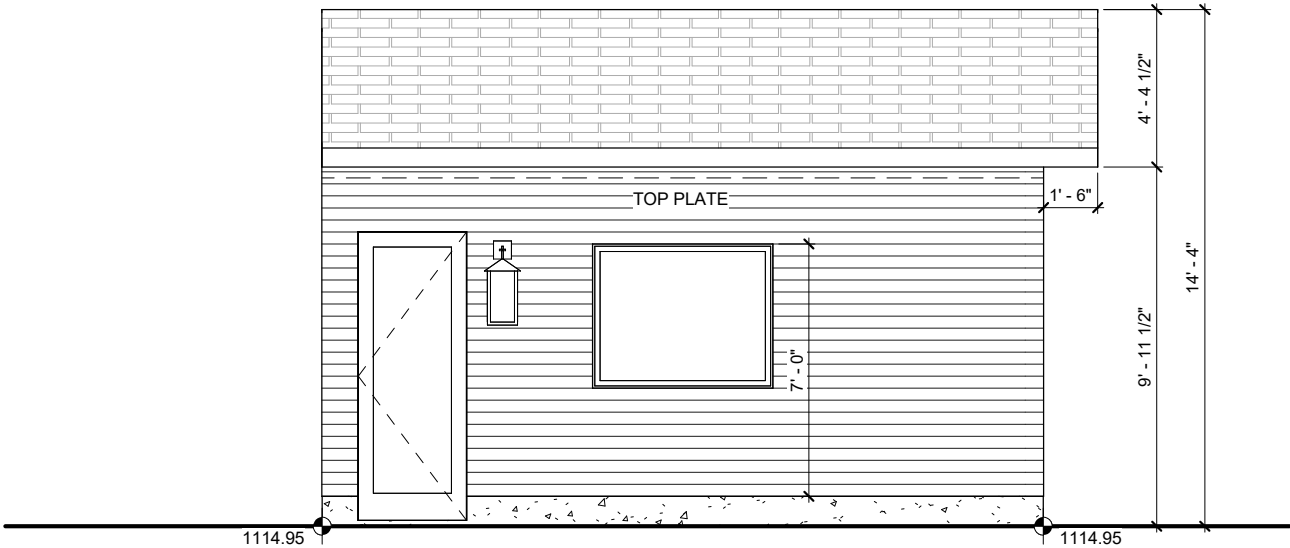
LEFT ELEVATION

SCALE: 3/16" = 1'-0"

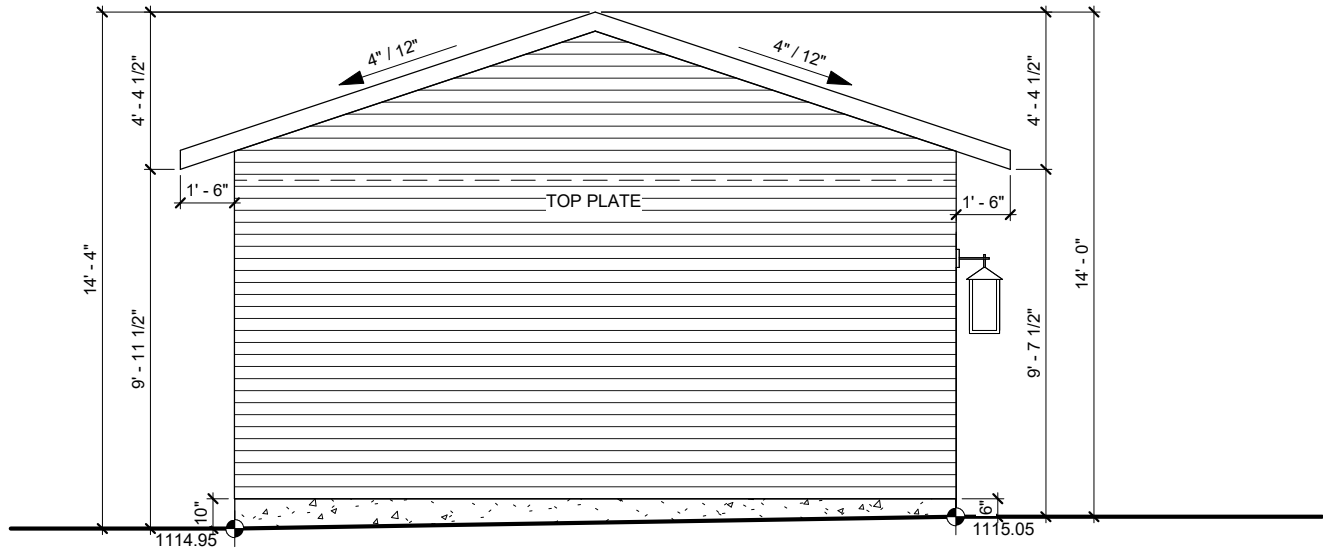




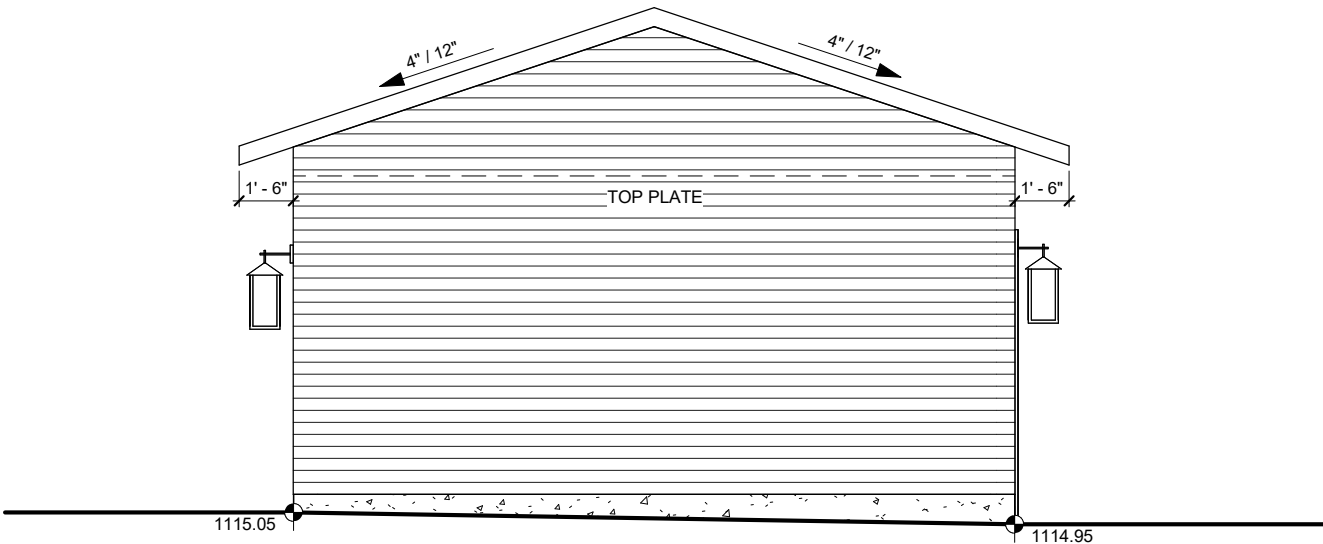
GARAGE FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE LEFT ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



Notes:

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2803 - 26A ST SW
Calgary, AB.

Garage Front
Elevation

Scale: 3/16" = 1'-0"

Project number	4-26
Date	09/07/2026
Drawn by	Author

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-C2 Residential
Contextual One/Two Dwelling

SCALE 1:200

LEGAL DESCRIPTION:

Lots 2
Block 43
Plan 5661 0

MUNICIPAL ADDRESS:

2803 26a St. S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 290.237 SQ M
HOUSE SIZE: 92.036 SQ M
COVERED PORCH: 0.00 SQ M
CANT.: 3.406 SQ M
GARAGE: 37.161 SQ M
WING WALL: 0.655 SQ M

= 129.852/290.237
= 44.74%

PROJECT NAME AND ADDRESS:

2803 26a St. S.W.
Calgary, Alberta

Lot 2
Block 43
Plan 5661 0

PROJECT:

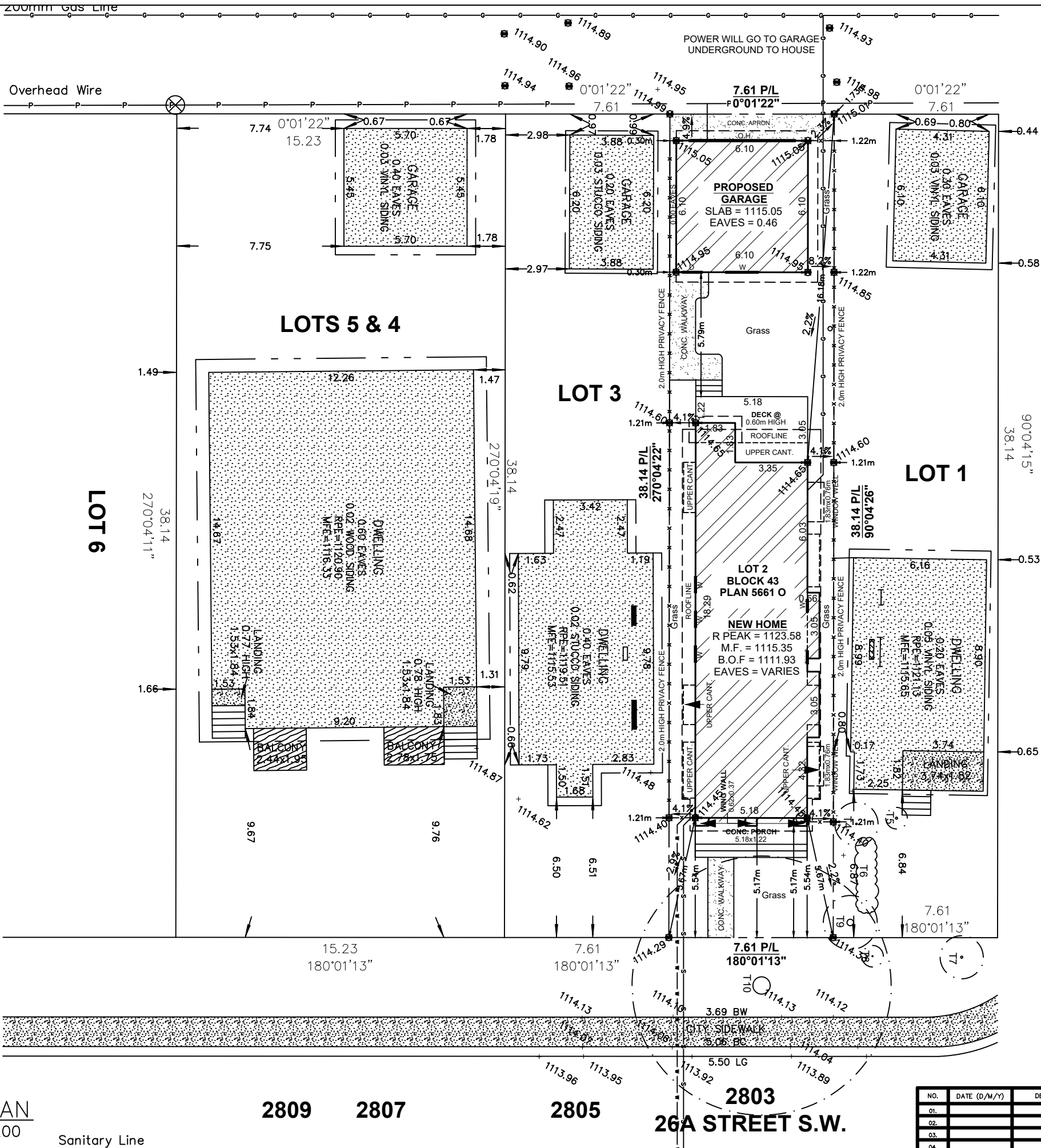
SINGLE-FAMILY HOME

DATE:
July 13, 2026

SCALE:

1: 200

DIVISION NUMBER:
S 01



SITE PLAN

SCALE: 1:200

Sanitary Line

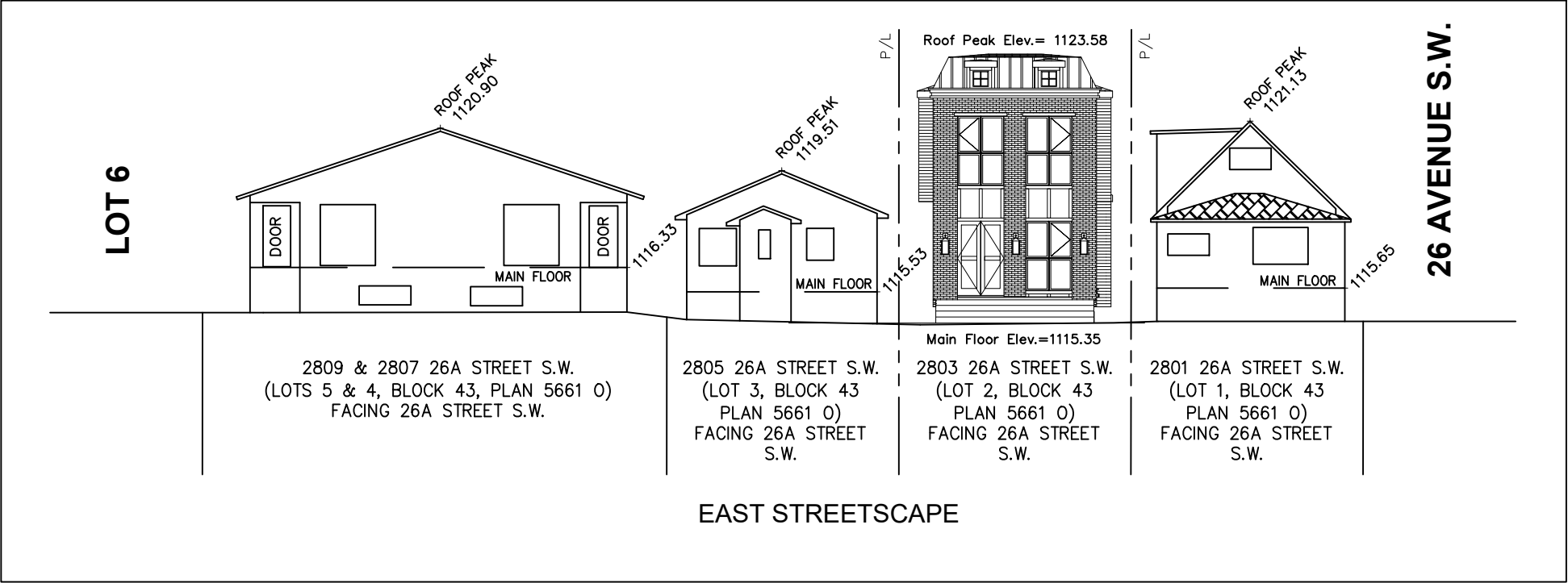
2809

2807

2805

2803
26A STREET S.W.

NO.	DATE (D/M/Y)	DETAIL	BY
01.			
02.			
03.			
04.			



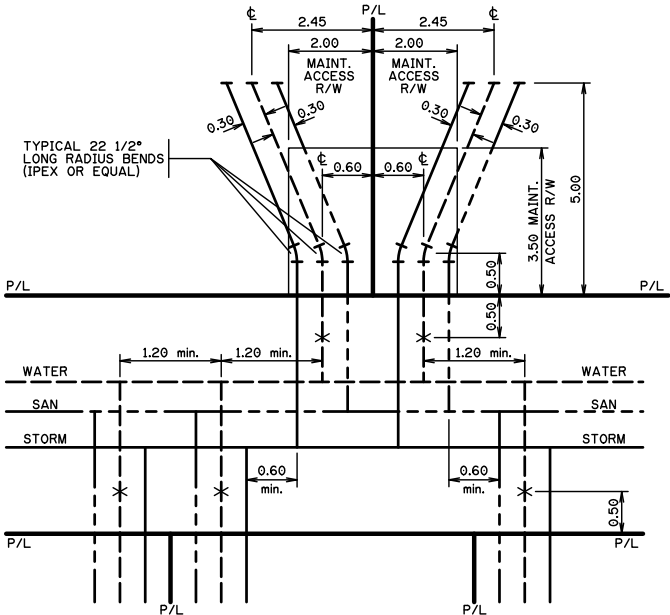
STREETSCAPE
SCALE: 1:200

SINGLE-FAMILY SQFT.

	UNIT 1
GARAGE	400.00 SQ FT
BASEMENT	954.00 SQ FT
MAIN FLOOR	937.54 SQ FT
UPPER FLOOR	1003.38 SQ FT
TOTAL AREA	1,940.92 SQ FT

NOTES:

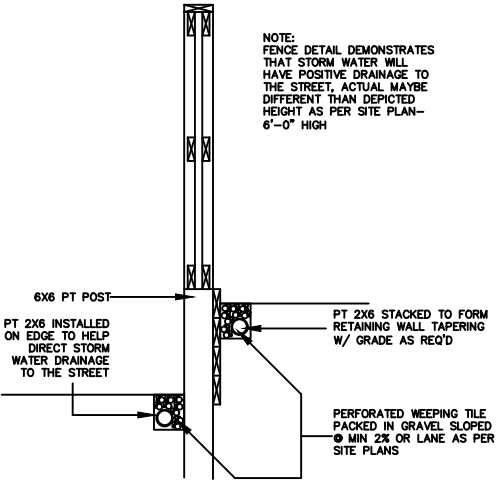
- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TREE SCHEDULE:

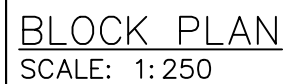
Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Coniferous	0.90	7.00	12.00	In Subject Property	To Be Removed
T2	Deciduous	0.20	4.00	5.00	In Subject Property	To Be Removed
T3	Deciduous	0.50	5.00	3.00	In Subject Property	To Be Removed
T4	Deciduous	0.07	2.00	1.80	In Adjacent Property	To Stay
T5	Coniferous	0.10	1.00	3.50	In Adjacent Property	To Stay
T6	Bush	—	1.00	1.00	In Adjacent Property	To Stay
T7	Deciduous	0.10	2.00	3.00	In City Property	To Stay
T8	Deciduous	0.05	1.00	2.50	In City Property	To Stay
T9	Coniferous	0.30	2.50	2.00	In Adjacent Property	To Stay
T10	Deciduous	0.80	12.00	9.00	In City Property	To Stay

TRENCH DETAIL
SCALE: 1:200



FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.				2803 26a St. S.W. Calgary, Alberta	SINGLE-FAMILY HOME	AS SHOWN
02.				Lot 2 Block 43 Plan 5661 0	DATE:	DIVISION NUMBER
03.					July 13, 2026	S 02
04.						



375mm Sanitary Line

2803

26A STREET

NO.	DATE (D/M/Y)	DETAIL	BY
01.			
02.			
03.			
04.			

26 AVENUE S.W.

PROJECT NAME AND ADDRESS:
2803 26a St. S.W.
Calgary, Alberta
Lot 2
Block 43
Plan 5661 0

PROJECT:
SINGLE-FAMILY HOME

DATE:
July 13, 2026

SCALE:
1: 250

DIVISION	NUMBER
S	03