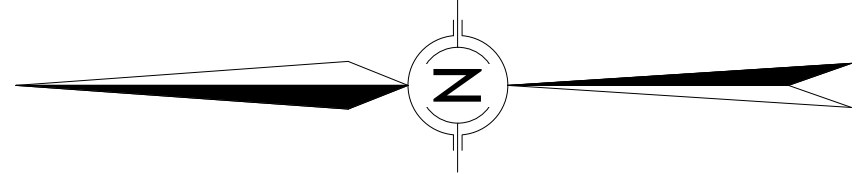


That Potion of Lot 8 Which Lies to the North of the South 12 Feet (3.66m) Thereof, And All of Lot 9 and the South 9 Feet (2.74m) of Lot 10
Block 15
Plan 3674S



PROPOSED
SITEPLAN/BLOCKPLAN

LAND USE DESIGNATION

M-C1 (Multi-Residential - Contextual Low Profile)

PARCEL AREA

5,640 SQF / 524 SQM / 0.0524 HA

PROPOSED DENSITY

8 units / 0.0524 HA = 152.67 U/Ha

PROPOSED BUILDING
FOOTPRINT

2810 SQF / 261.06 SQM

PROPOSED COVERAGE

Allowed 60% (5,640 sqf / 3,384 sqf)
Proposed 49.82% (5,640 sqf/2,810 sqf)

PROPOSED PARKING

Vehicle Parking Stalls: 4
Class 1 Bike Stalls: 8

BUILDING HEIGHT

Allowed: 14m / 45.93'
Proposed: 11.89m / 39'

DEVELOPMENT PERMIT

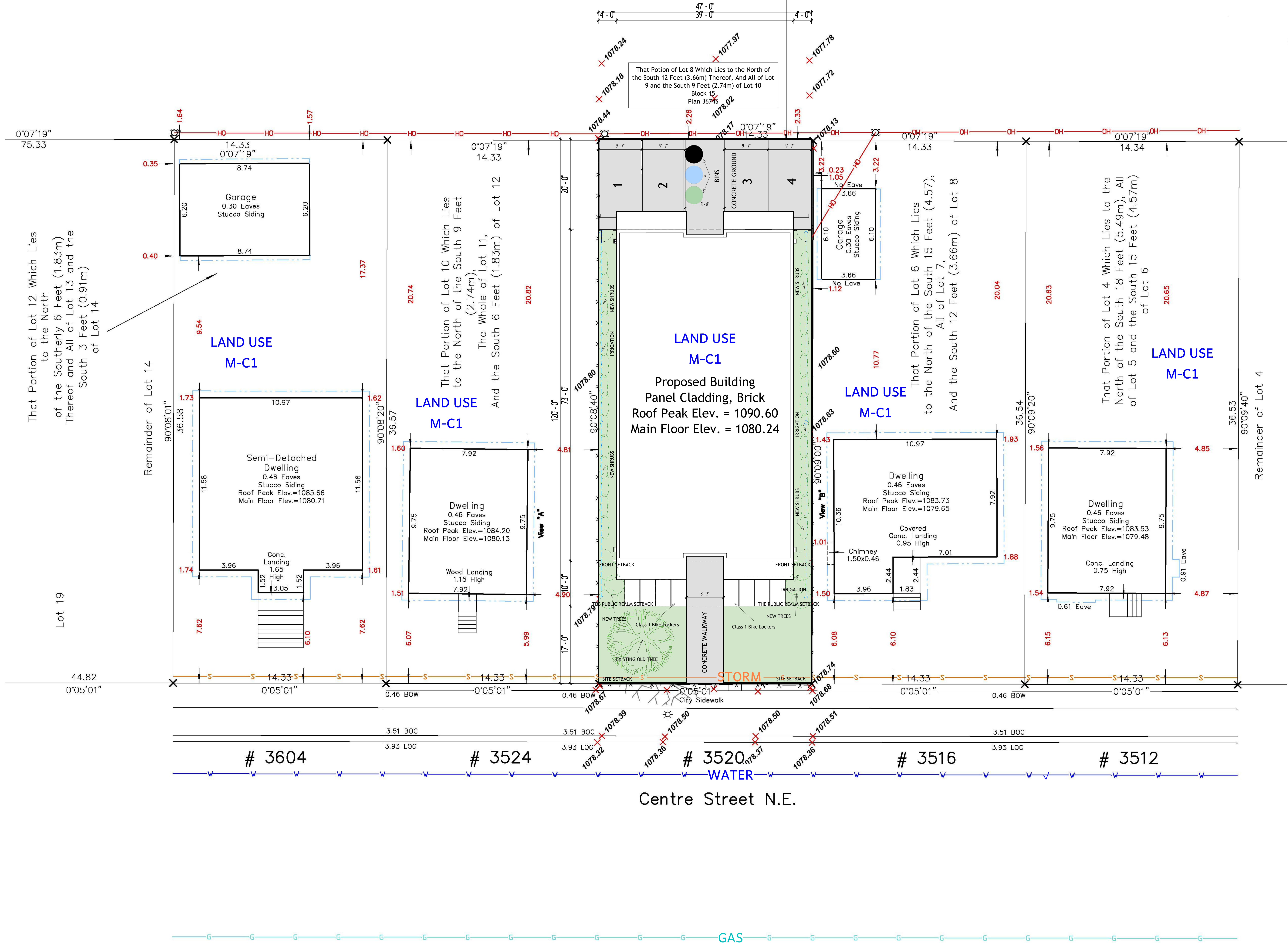
3520 CENTRE ST NE CALGARY, AB
LOTS 8-10, BLOCK 15 PLAN 3674S

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A100

Scale 3/16" = 1'-0"

7/19/2026 2:02:25 AM



LANDSCAPING CALCULATION

PARCEL AREA	=	5,640 SQF / 524 SQM / 0.0524 HA
MAIN FLOOR	=	2,830 SQF / 263 SQM
PROPOSED COVERAGE	=	2,810 SQF / 261.06 SQM (49.82%)

NON-LANDSCAPING CALCULATION

WASTE&RECYCLING	=	38 SQF / 3.53 SQM
BIKE STORAGE AREA	=	173 SQF / 16 SQM
TOTAL NON-LANDSCAPING AREA	=	211 SQF (3.74%) OF LOT AREA

LANDSCAPING AREA CALCULATION

TOTAL LANDSCAPING AREA	=	5,640 SQF -(2,830+38+173=3,041 SQF)=2,599 SQF / 241.45 SQM
------------------------	---	--

HARD LANDSCAPING AREA

CONCRETE WALKWAY	=	329 SQF
OUTDOOR CONCRETE PARKING	=	948-38 (WASTE&RECYCLING) = 910 SQF
TOTAL HARD LANDSCAPING AREA	=	329+910 SQF = 1239 SQF (21.97%) OF LOT AREA

SOFT LANDSCAPING AREA

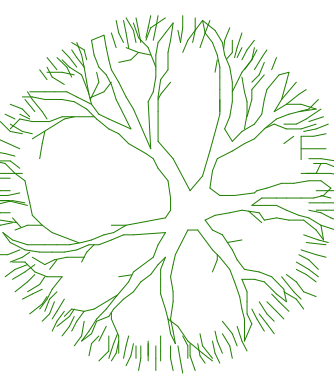
SOD	=	1,532 SQF
TOTAL SOFT LANDSCAPING AREA	=	1,532 SQF (27.16%) OF LOT AREA

LANDSCAPING RULES

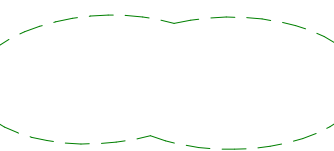
PLANTING REQUIREMENTS	=	A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area.
PLANTING REQUIRED	=	524 SQM(5640 SQF) / 110 SQM=4.76 5 TREES & 15 SHRUBS
PROPOSED TREES	=	6 TREES
PROPOSED SHRUBS	=	28 SHRUBS

PLANTING SCHEDULE

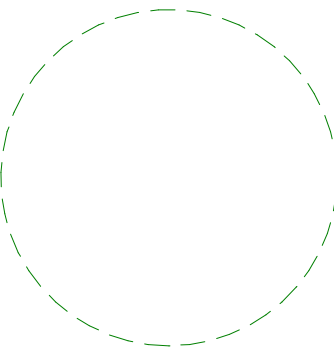
PROPOSED PLANTING							
#	SPECIES	CALIPER	CANOPY	HEIGHT	STATUS	AMOUNT	COMMON NAME
S1	SHRUB	0.15m	0.6m	1m	PROPOSED	28	JUNIPERUS
T1	CONIFEROUS	50mm	2m	2m	PROPOSED	6	BLUE SPRUCE
T2	DECIDUOUS	---	---	---	EXISTING	1	BALSAM POPLAR



EXISTING OLD TREE (BALSAM POPLAR)



SHRUBS (JUNIPERUS)



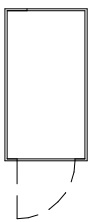
TREES (BLUE SPRUCE)



CONCRETE



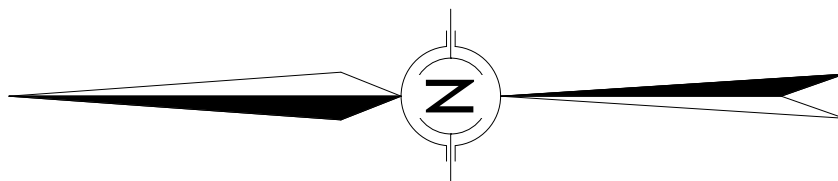
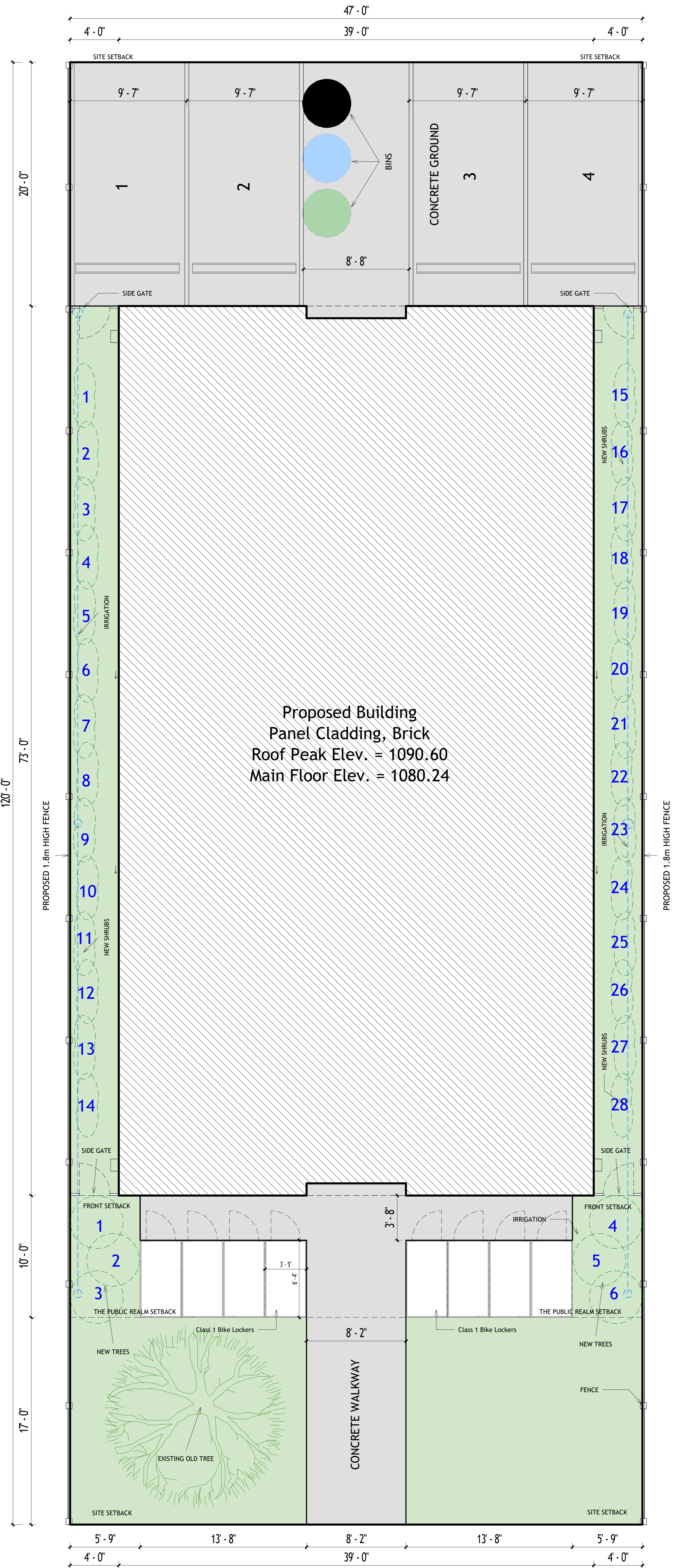
LANDSCAPED AREA



BICYCLE LOCKER 42" x 76"



IRRIGATION LINE



LANDSCAPING PLAN

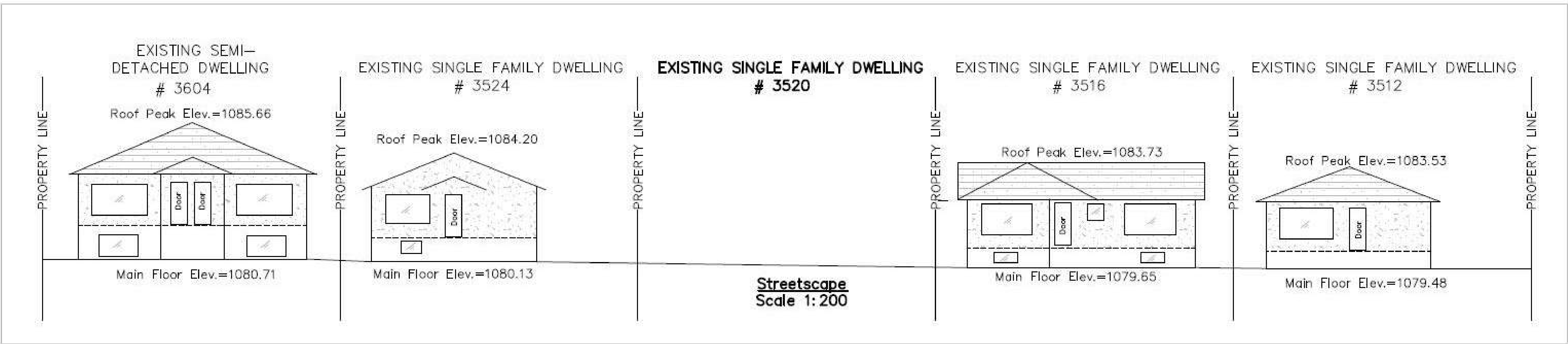
DEVELOPMENT PERMIT

3520 CENTRE ST NE CALGARY, AB
LOTS 8-10, BLOCK 15 PLAN 3674S

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A101

Scale	1/4" = 1'-0"
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- STREET SCAPE EXISTING



- STREET VIEW FRONT



- STREET VIEW OPPOSITE

STREET SCAPE

DEVELOPMENT PERMIT

3520 CENTRE ST NE CALGARY, AB
LOTS 8-10, BLOCK 15 PLAN 3674S

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A102	
Scale	1/4" = 1'-0"

T/O Roof Peak (1090.60)
39' - 0"
T/O Roof
38' - 0"
U/S Second Ceiling
37' - 0"

T/O Second Floor
27' - 0"
U/S First Ceiling
26' - 0"

T/O First Floor
16' - 0"
U/S Main Ceiling
15' - 0"

T/O Main Floor (1080.24)
5' - 0"
U/S Basement Ceiling
4' - 0"
Ground Level (1078.76)
0' - 0"

T/O Basement Floor
-5' - 0"
Footing
-6' - 0"

① North (Left-Side) Elevation
1/4" = 1'-0"

T/O Roof Peak (1090.60)
39' - 0"
T/O Roof
38' - 0"
U/S Second Ceiling
37' - 0"

T/O Second Floor
27' - 0"
U/S First Ceiling
26' - 0"

T/O First Floor
16' - 0"
U/S Main Ceiling
15' - 0"

T/O Main Floor (1080.24)
5' - 0"
U/S Basement Ceiling
4' - 0"
Ground Level (1078.72)
0' - 0"

T/O Basement Floor
-5' - 0"
Footing
-6' - 0"

WINDOW TO WALL RATIO

LIMITING DISTANCE: 1.2M
WALL FACE AREA: W 73' X H 39' = 2,847 SQFT
OPENINGS ALLOWED (7.0%): 199.29 SQFT
W1 WINDOWS 6' X 6' = 36'
W3 WINDOWS 6' X 3' = 18'
W1 X 3 WINDOWS = 108'
W3 X 5 WINDOWS = 90'
TOTAL WINDOW OPENINGS: 198 SQFT

T/O Roof Peak (1090.60)
39' - 0"
T/O Roof
38' - 0"
U/S Second Ceiling
37' - 0"

T/O Second Floor
27' - 0"
U/S First Ceiling
26' - 0"

T/O First Floor
16' - 0"
U/S Main Ceiling
15' - 0"

T/O Main Floor (1080.24)
5' - 0"
U/S Basement Ceiling
4' - 0"
Ground Level (1078.76)
0' - 0"

T/O Basement Floor
-5' - 0"
Footing
-6' - 0"

② South (Right-Side) Elevation
1/4" = 1'-0"

T/O Roof Peak (1090.60)
39' - 0"
T/O Roof
38' - 0"
U/S Second Ceiling
37' - 0"

T/O Second Floor
27' - 0"
U/S First Ceiling
26' - 0"

T/O First Floor
16' - 0"
U/S Main Ceiling
15' - 0"

T/O Main Floor (1080.24)
5' - 0"
U/S Basement Ceiling
4' - 0"
Ground Level (1078.72)
0' - 0"

T/O Basement Floor
-5' - 0"
Footing
-6' - 0"

ELEVATIONS

Door Schedule

Mark	Door	
	Width	Height
D1	3' - 0"	7' - 0"
D1: 24		
D2	2' - 6"	7' - 0"
D2: 32		
D3	5' - 0"	7' - 0"
D3: 1		
D4	3' - 0"	7' - 0"
D4: 1		
SD1	6' - 0"	7' - 0"
SD1: 8		

DOOR COUNTS

BASEMENT FLOOR = 6 x D1 / 8 x D2 DOORS

MAIN FLOOR = 6 x D1 / 8 x D2 / 1 x D3 / 1 x D4 DOORS

FIRST FLOOR = 6 x D1 / 8 x D2 / 4 x SD1 DOORS

SECOND FLOOR = 6 x D1 / 8 x D2 / 4 x SD1 DOORS

Window Schedule

Type	Size		Sill	Level
Mark	Width	Height	Height	
W1	6' - 0"	6' - 0"	4' - 0"	T/O Main Floor (1080.24)
T/O Main Floor (1080.24): 6				
W1	6' - 0"	6' - 0"	4' - 0"	T/O First Floor
T/O First Floor: 2				
W1	6' - 0"	6' - 0"	4' - 0"	T/O Second Floor
T/O Second Floor: 2				
W1: 10				
W2	7' - 0"	7' - 0"	7' - 0"	T/O Main Floor (1080.24)
T/O Main Floor (1080.24): 1				
W2	7' - 0"	7' - 0"	-3' - 0"	T/O First Floor
W2	7' - 0"	7' - 0"	7' - 0"	T/O First Floor
T/O First Floor: 2				
W2	7' - 0"	7' - 0"	-3' - 0"	T/O Second Floor
T/O Second Floor: 1				
W2: 4				
W3	6' - 0"	3' - 0"	5' - 6"	T/O Basement Floor
W3	6' - 0"	3' - 0"	5' - 7"	T/O Basement Floor
T/O Basement Floor: 8				
W3	6' - 0"	3' - 0"	4' - 0"	T/O Main Floor (1080.24)
T/O Main Floor (1080.24): 2				
W3	6' - 0"	3' - 0"	4' - 0"	T/O First Floor
T/O First Floor: 2				
W3	6' - 0"	3' - 0"	4' - 0"	T/O Second Floor
T/O Second Floor: 2				
W3: 14				

DEVELOPMENT PERMIT

3520 CENTRE ST NE CALGARY, AB
LOTS 8-10, BLOCK 15 PLAN 3674S

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A201

Scale 1/4" = 1'-0"

ELEVATIONS

Door Schedule

Mark	Door	
	Size	
	Width	Height
D1: 24	3' - 0"	7' - 0"
D2: 32	2' - 6"	7' - 0"
D3: 1	5' - 0"	7' - 0"
D4: 1	3' - 0"	7' - 0"
SD1: 8	6' - 0"	7' - 0"

DOOR COUNTS

BASEMENT FLOOR = 6 x D1 / 8 x D2 DOORS

MAIN FLOOR = 6 x D1 / 8 x D2 / 1 x D3 / 1 x D4 DOORS

FIRST FLOOR = 6 x D1 / 8 x D2 / 4 x SD1 DOORS

SECOND FLOOR = 6 x D1 / 8 x D2 / 4 x SD1 DOORS

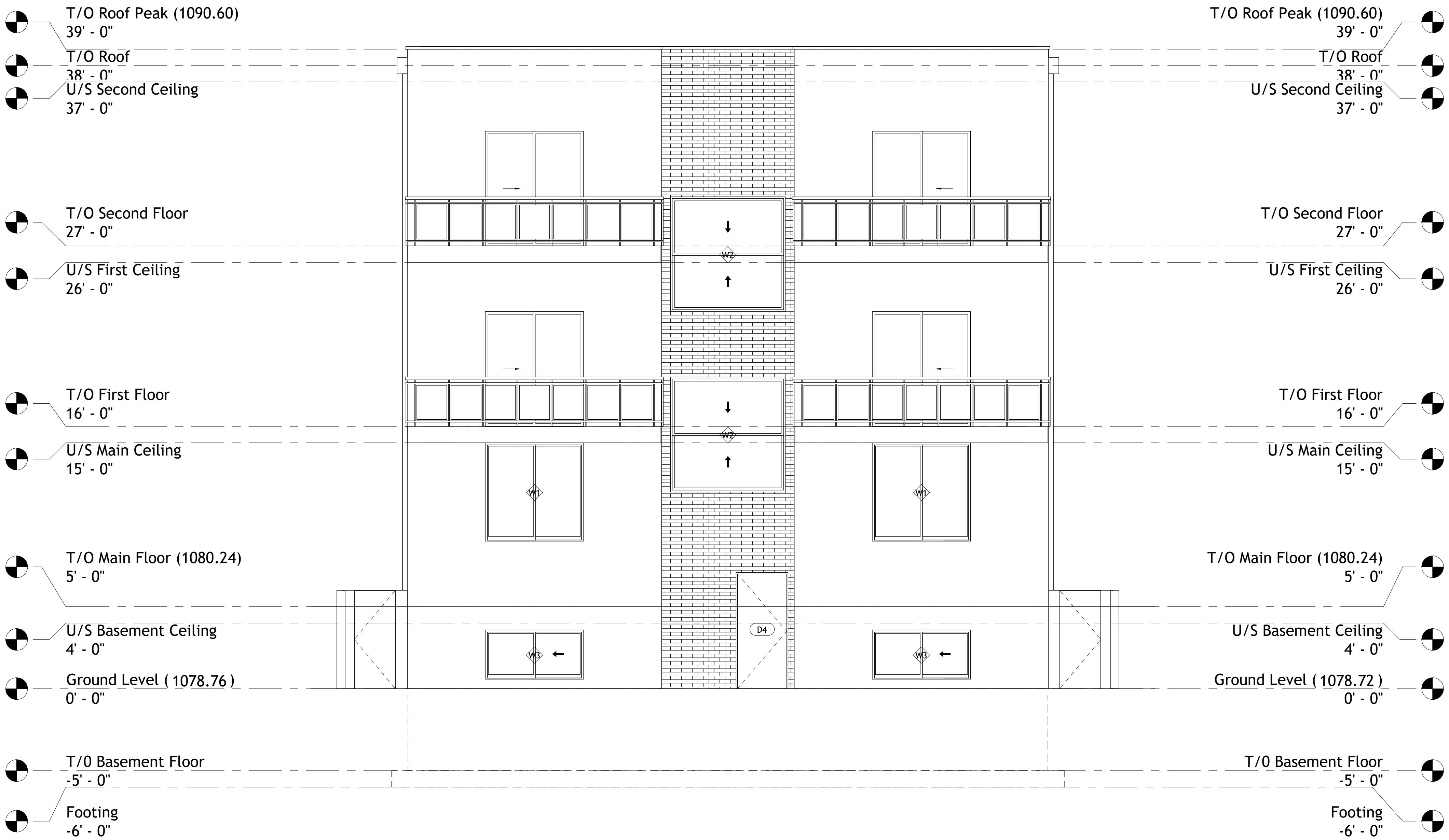
Window Schedule

Type Mark	Size		Sill Height	Level
	Width	Height		
W1	6' - 0"	6' - 0"	4' - 0"	T/O Main Floor (1080.24)
T/O Main Floor (1080.24): 6				
W1	6' - 0"	6' - 0"	4' - 0"	T/O First Floor
T/O First Floor: 2				
W1	6' - 0"	6' - 0"	4' - 0"	T/O Second Floor
T/O Second Floor: 2				
W1: 10				
W2	7' - 0"	7' - 0"	7' - 0"	T/O Main Floor (1080.24)
T/O Main Floor (1080.24): 1				
W2	7' - 0"	7' - 0"	-3' - 0"	T/O First Floor
W2	7' - 0"	7' - 0"	7' - 0"	T/O First Floor
T/O First Floor: 2				
W2	7' - 0"	7' - 0"	-3' - 0"	T/O Second Floor
T/O Second Floor: 1				
W2: 4				
W3	6' - 0"	3' - 0"	5' - 6"	T/O Basement Floor
W3	6' - 0"	3' - 0"	5' - 7"	T/O Basement Floor
T/O Basement Floor: 8				
W3	6' - 0"	3' - 0"	4' - 0"	T/O Main Floor (1080.24)
T/O Main Floor (1080.24): 2				
W3	6' - 0"	3' - 0"	4' - 0"	T/O First Floor
T/O First Floor: 2				
W3	6' - 0"	3' - 0"	4' - 0"	T/O Second Floor
T/O Second Floor: 2				
W3: 14				

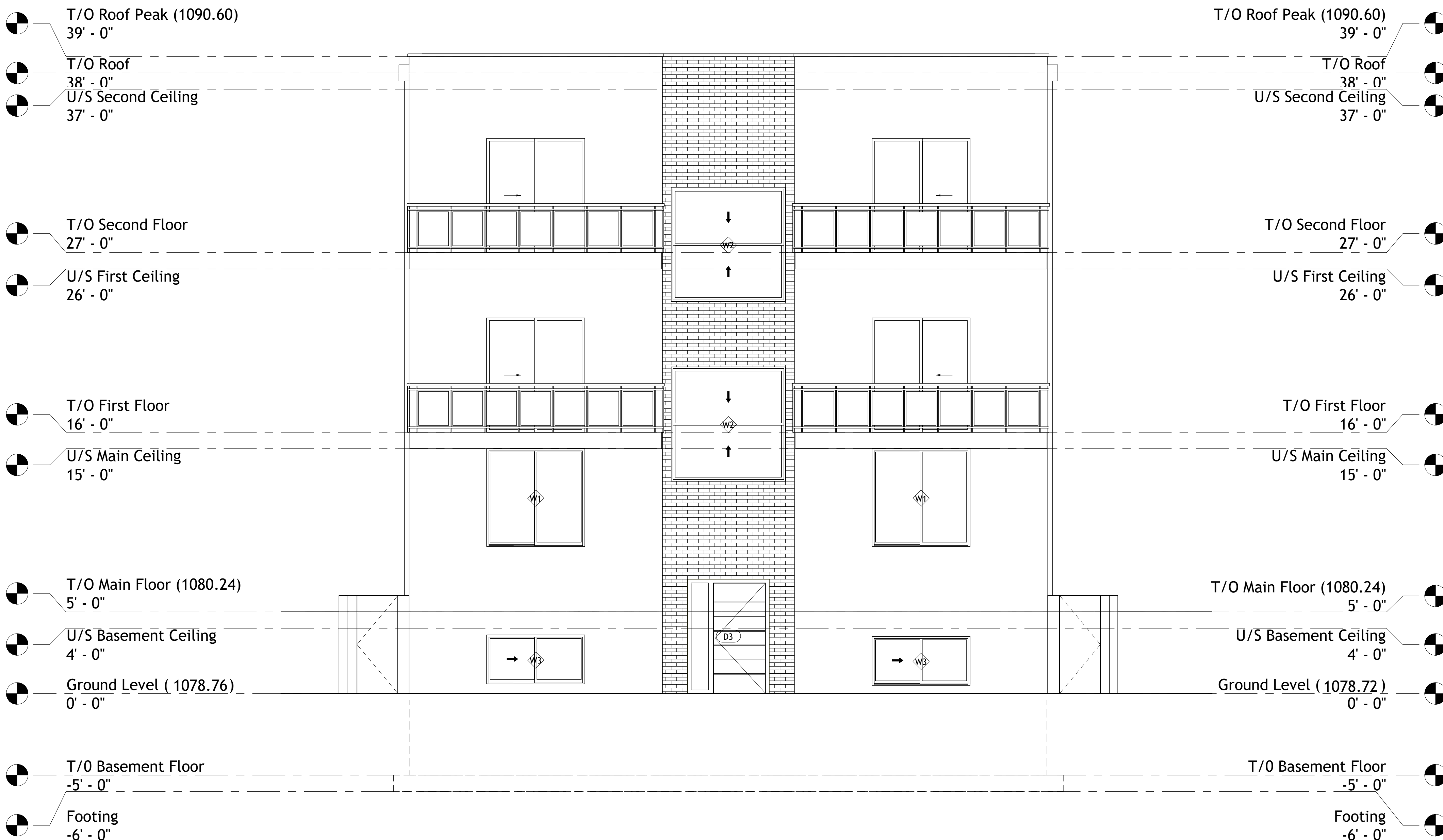
DEVELOPMENT PERMIT

3520 CENTRE ST NE CALGARY, AB
LOTS 8-10, BLOCK 15 PLAN 3674S

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A202	
Scale	1/4" = 1'-0"



1 East (Rear) Elevation
1/4" = 1'-0"



2 West (Front) Elevation
1/4" = 1'-0"



• FRONT FACADE RENDERING



• REAR FACADE RENDERING

PROJECT NAME: MULTI PLEX-DEVELOPMENT PERMIT
 LOCATION: 3520 CENTRE ST NE CALGARY, ALBERTA
 LOTS: 8-10, BLOCK 15 PLAN 3674S