

CUSTOM GARAGE

PROJECT INFORMATION

25.2072 CUSTOM UNDERGROUND GARAGE

MUNICIPAL ADDRESS:	CUSTOM UNDERGROUND GARAGE 3928 1A ST SW CALGARY, AB. T2S 1R7
LEGAL DESCRIPTION:	PLAN: 891208; BLOCK: 23; LOT: 53 & 54
ZONING:	RESIDENTIAL - GRADE ORIENTED INFILL (R-CG)
SITE AREA:	11960 ft ² (1111.12m ²)
NEW BUILDING AREA:	5605 ft ² (520.72m ²)
PROPOSED OCCUPANCY:	GROUP C RESIDENTIAL GROUP D OFFICE GROUP F DIVISION 3 LOW HAZARD
OCCUPANT LOAD:	STORAGE GARAGE: 9 PERSONS PARKING GARAGE: 2 PERSONS OFFICE: 8 PERSONS DWELLING UNIT: 4 PERSONS
TOTAL:	23 PERSONS

DRAWING SHEET INDEX

INTERIOR

DP0.0	PROJECT INFORMATION
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DP1.1	PROPOSED SITE PLAN
DP1.2	GARAGE SECTION
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DP2.2	SECOND FLOOR PLAN
DP3.0	INTERIOR ELEVATIONS
DP3.1	ELEVATIONS
DP3.2	ELEVATIONS

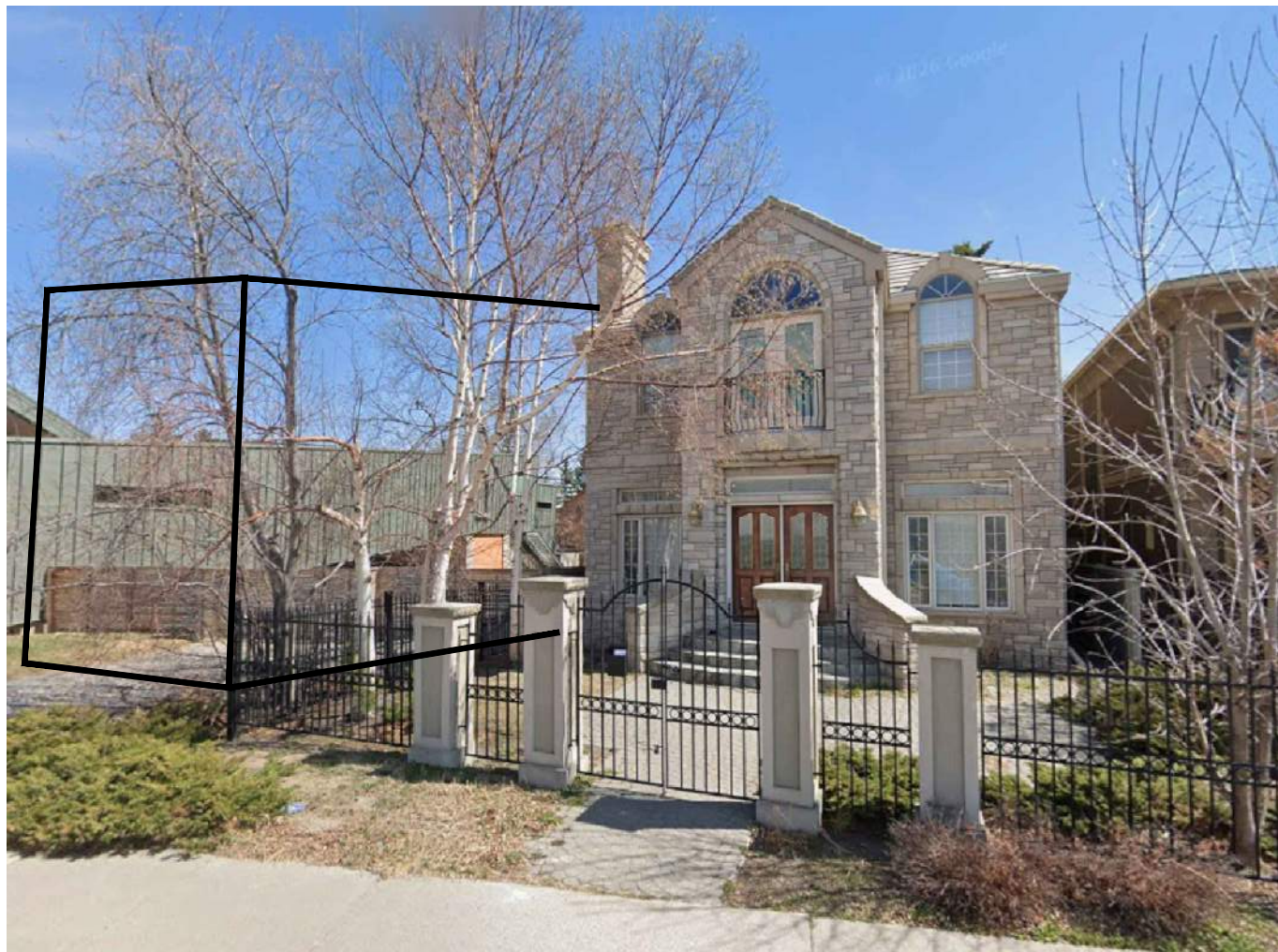
MECHANICAL

ELECTRICAL

STRUCTURAL



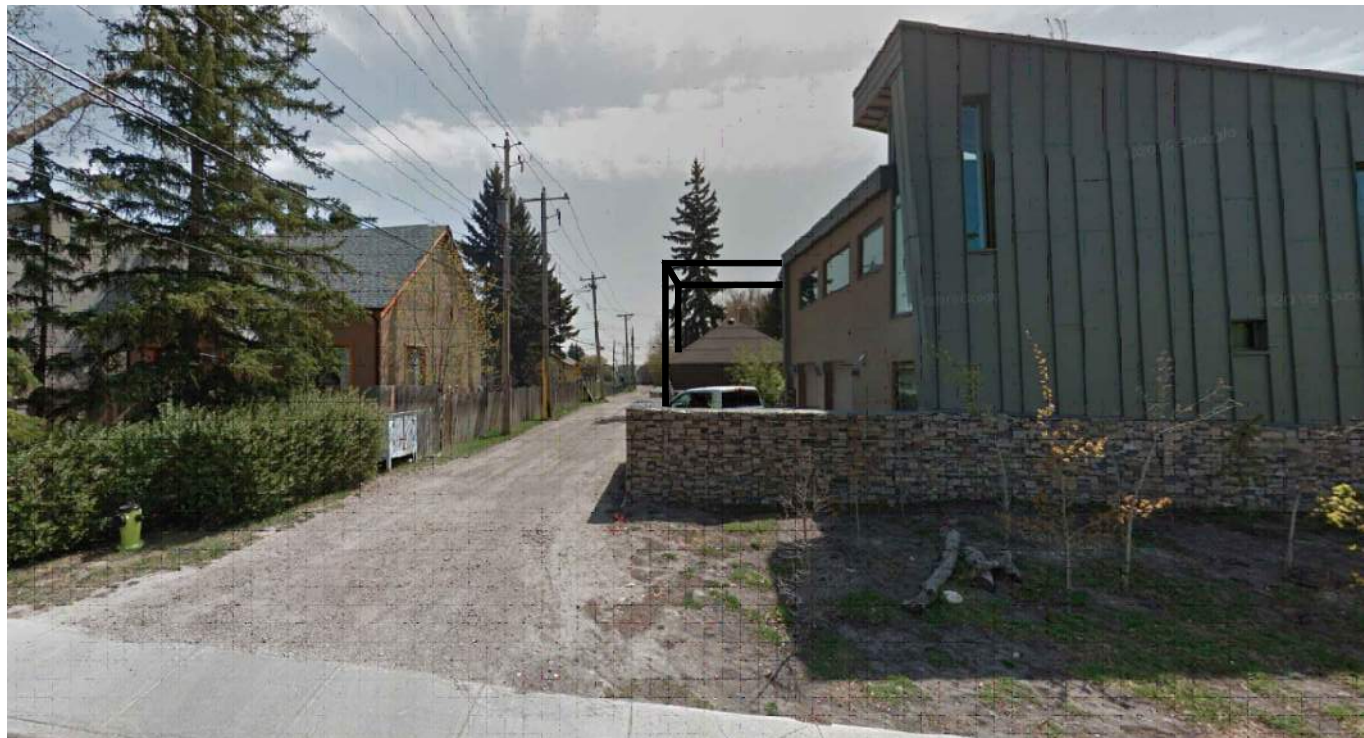
FRONT VIEW OF SITE



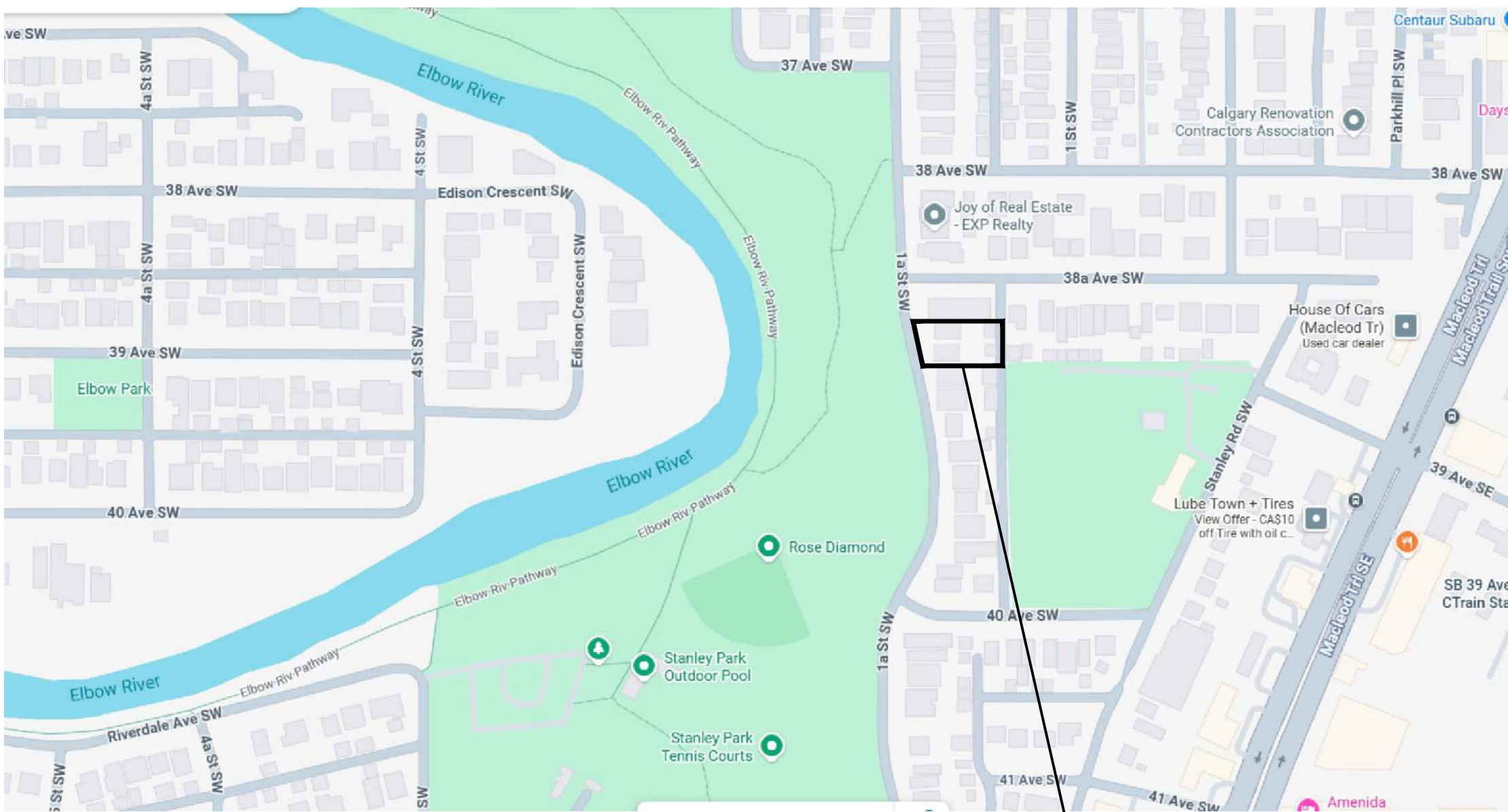
FRONT VIEW OF SITE



BACK VIEW OF SITE



ALLEY & BACK VIEW OF SITE



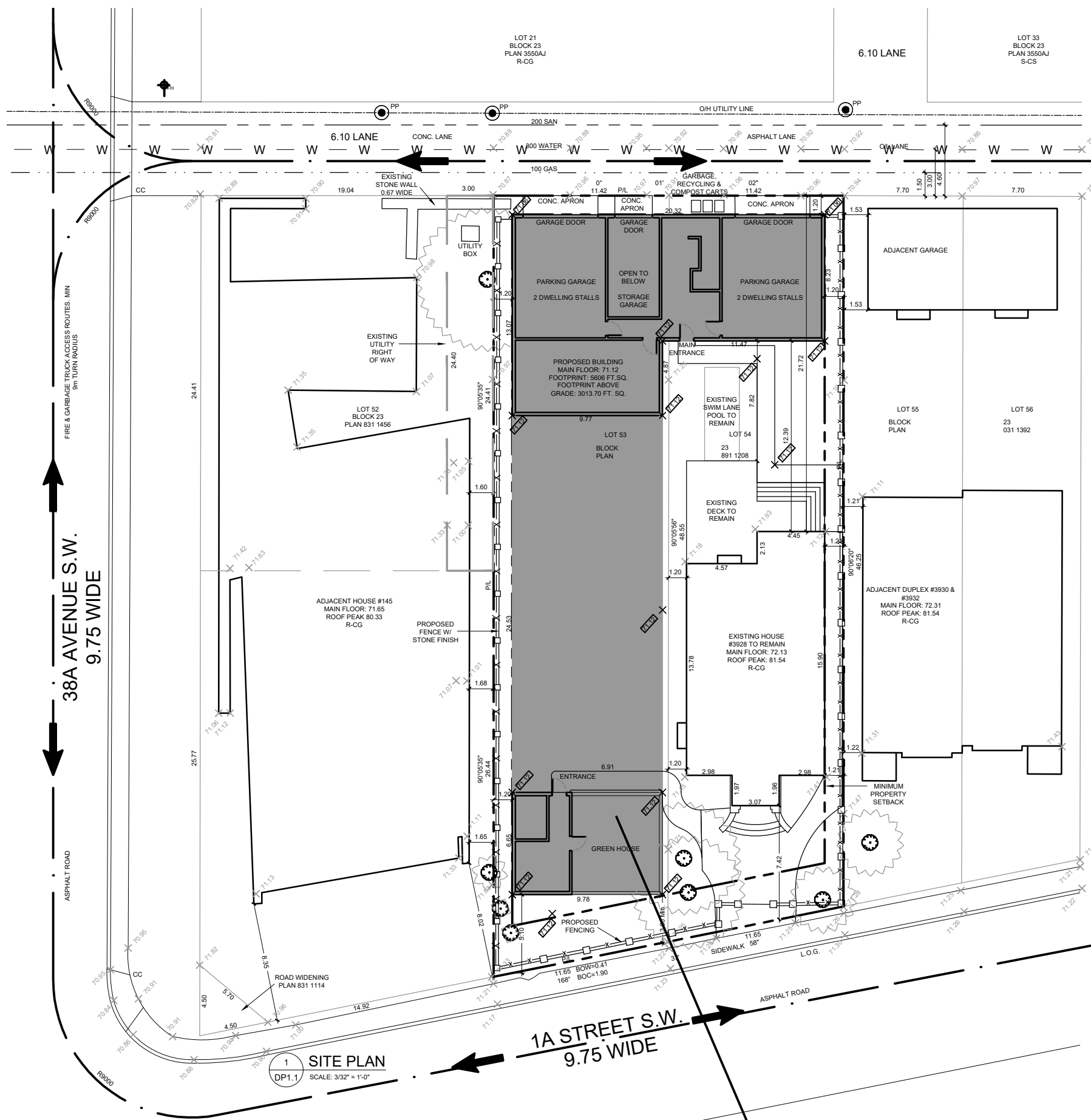
1 LOCATION MAP

DP0.0 SCALE: N.T.S.

CUSTOM GARAGE
3928 & 3926 1A ST SW,
CALGARY, AB T2S 1R7



NORTH



2 SITE MAP

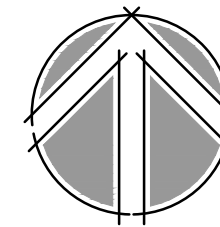
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CUSTOM GARAGE
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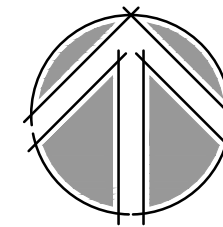


NORTH

CONTRACTOR TO CONFIRM EVERYTHING WITH CLIENT. CLIENT MUST SIGN OFF ON ALL DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR MUST GIVE 10 WORKING DAYS NOTICE BEFORE SCHEDULING SITE INSPECTIONS. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER. DRAWINGS TO BE READ IN CONJUNCTION WITH ACOUSTICAL REPORT PREPARED BY ACOUSTICAL CONSULTANT (IF APPLICABLE) FOR THE OWNER. NO CHANGES WITHOUT WRITTEN CONSENT FROM OWNER.



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PROJECT TITLE

CUSTOM GARAGE
3928 1A ST SW
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T2S 1R7

DRAWING TITLE

PROJECT INFORMATION &
SITE PHOTOS

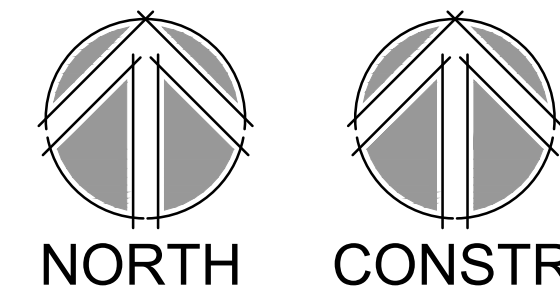
DATE JUL. 10/2026
SCALE AS SHOWN
DRAWN BY RH
PROJECT NO. 25.2072

DRAWING NO. DP0.0

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1 BIRD'S EYE RENDER
DP0.1 SCALE: N.T.S.

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INTERICS

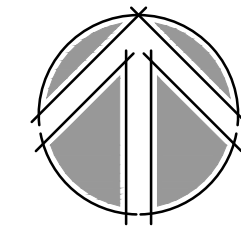
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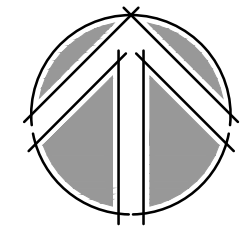
1
DP0.2

AERIAL VIEW RENDER
SCALE: N.T.S.

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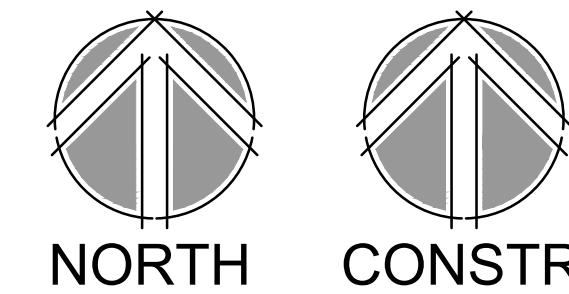
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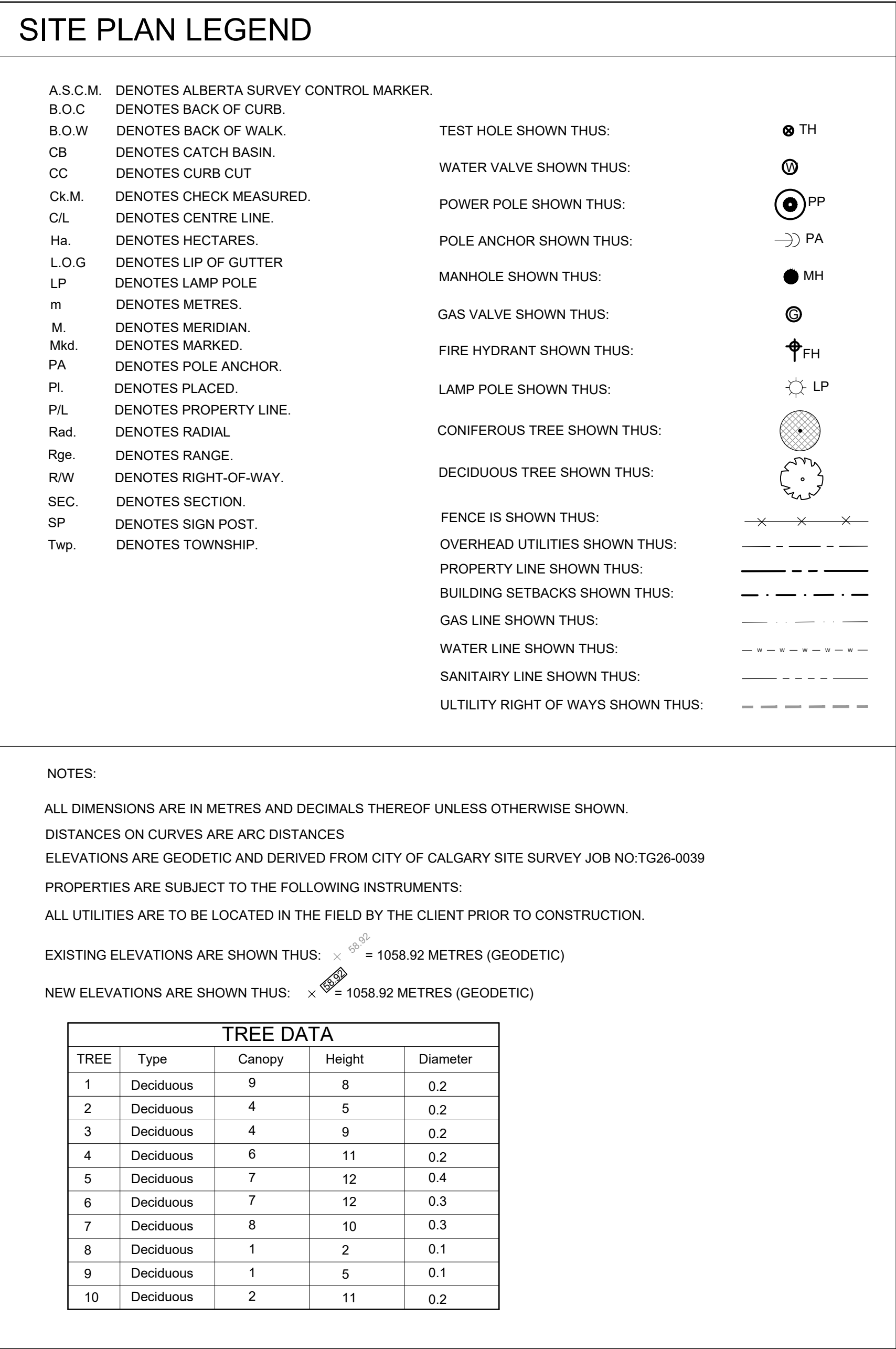
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1 AERIAL VIEW RENDER
DP0.3 SCALE: N.T.S.



NORTH CONST.

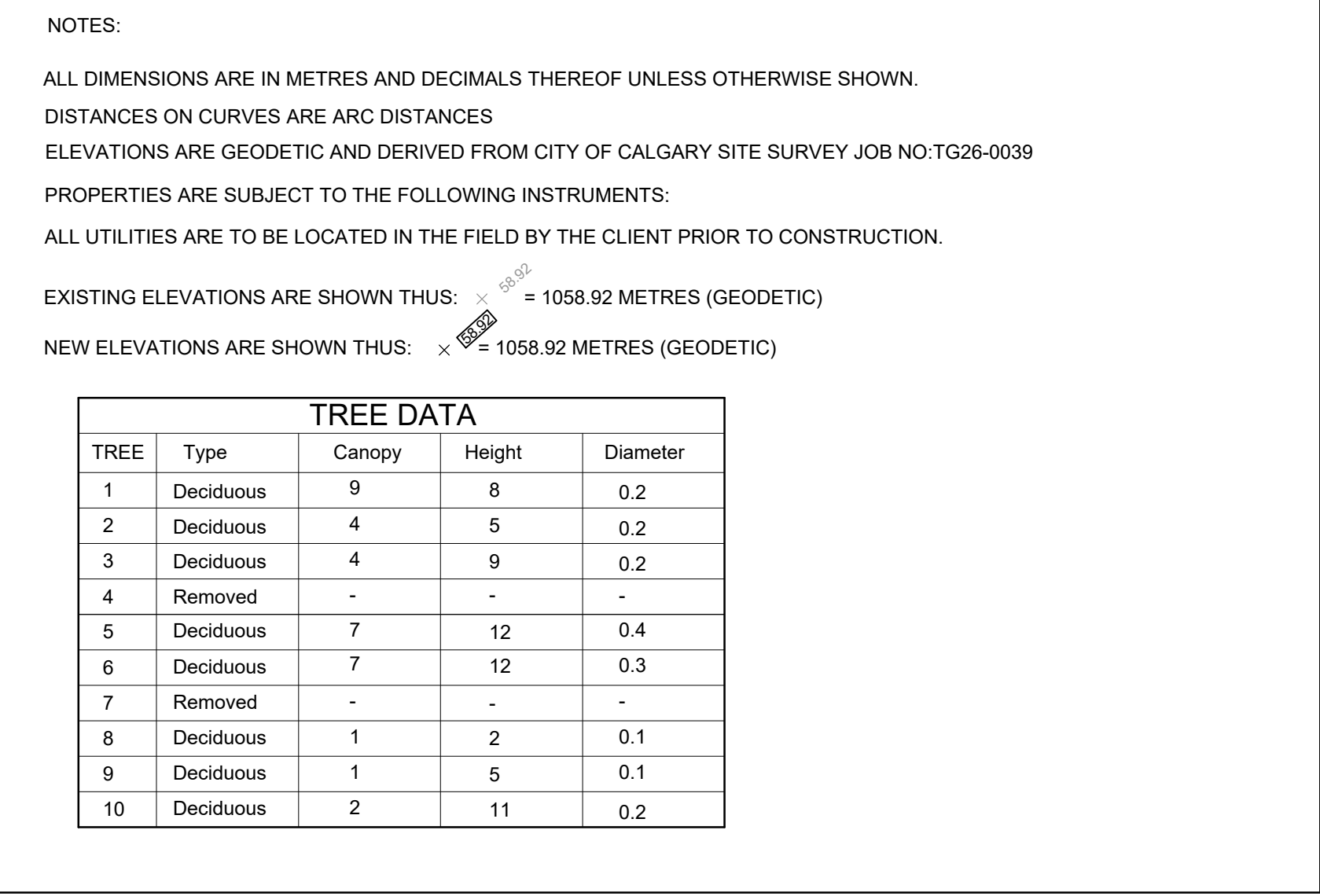
3928 1A ST SW
CALGARY, AB
T2S 1R7

DATE JUL. 10/202
SCALE AS SHOWN
DRAWN BY R
PROJECT NO. 25.207

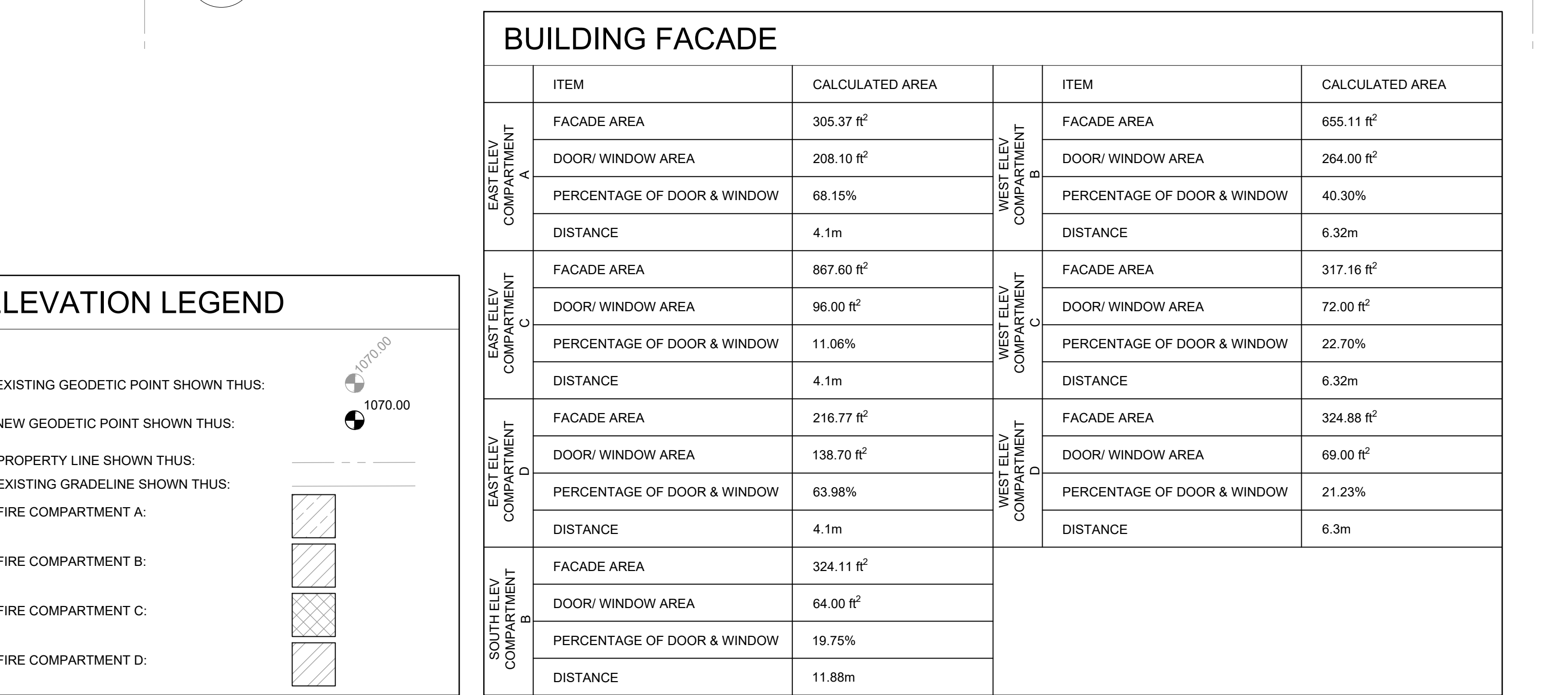
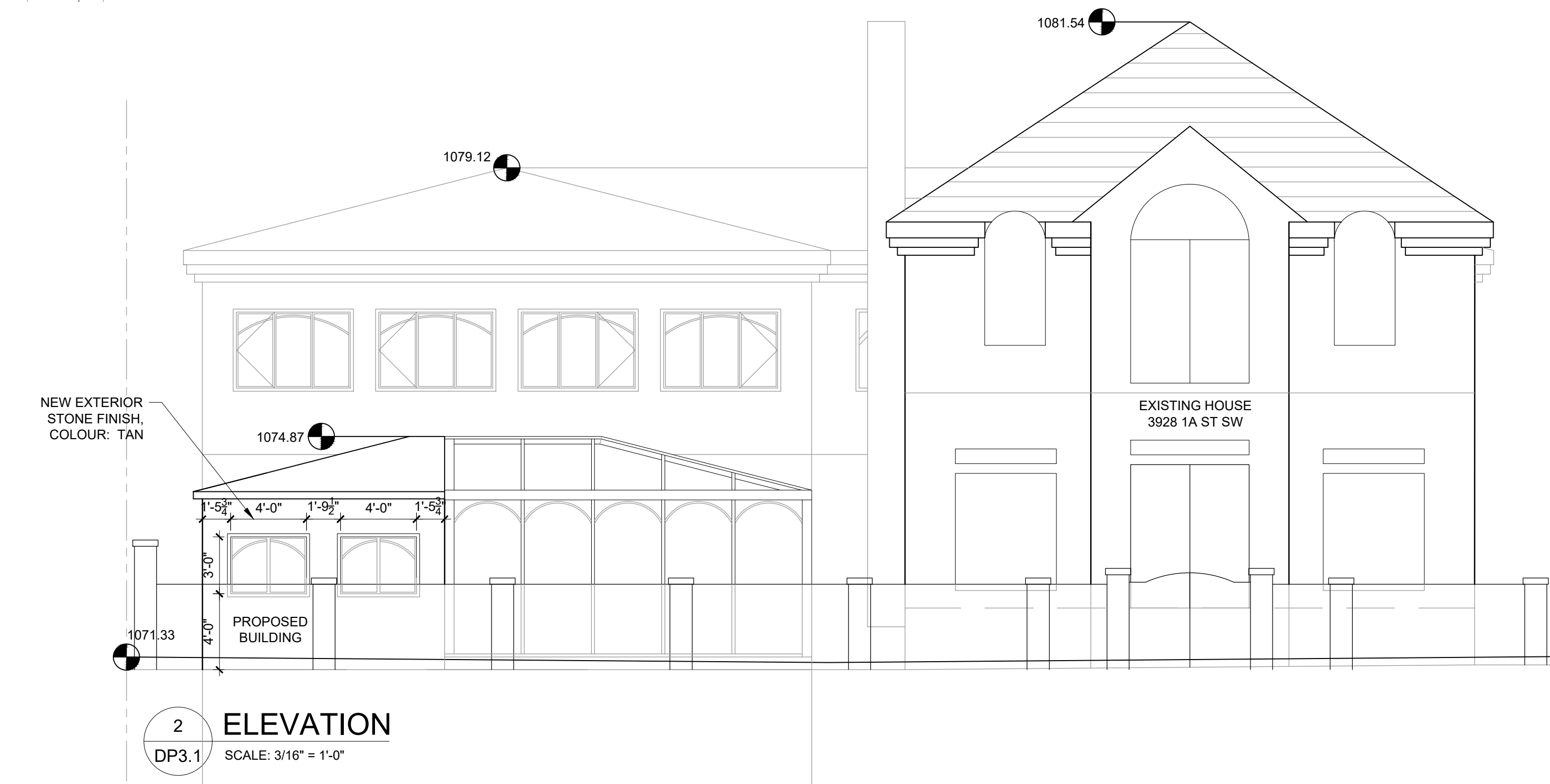
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EXTERIOR FINISH LEGEND		
ITEM	DESCRIPTION	COLOUR
1	STONE SIDING	TAN (TO MATCH EXISTING HOUSE)
2	ROOFING TILE	TAN (TO MATCH EXISTING HOUSE)
3	EXTERIOR DOORS	BLACK
4	GARAGE DOORS	BLACK

ELEVATION LEGEND

EXISTING GEODETIC POINT SHOWN THUS:

NEW GEODETIC POINT SHOWN THUS:

PROPERTY LINE SHOWN THUS:

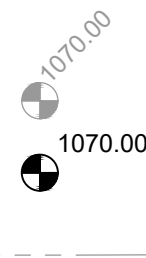
EXISTING GRADELINE SHOWN THUS:

FIRE COMPARTMENT A:

FIRE COMPARTMENT B:

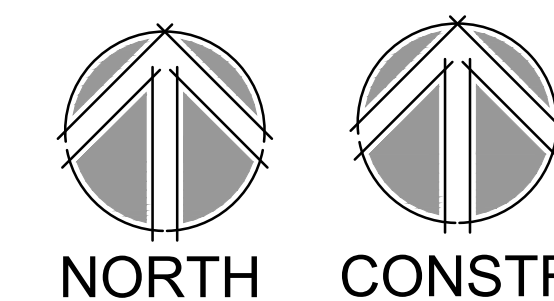
FIRE COMPARTMENT C:

FIRE COMPARTMENT D:



The legend includes symbols for geodetic points (a circle with a crosshair and a circle with a dot), property lines (a dashed line), and fire compartments (four squares with different hatching patterns: diagonal lines from top-left to bottom-right, diagonal lines from top-right to bottom-left, a cross-hatch pattern, and a vertical line pattern).

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ELEVATIONS

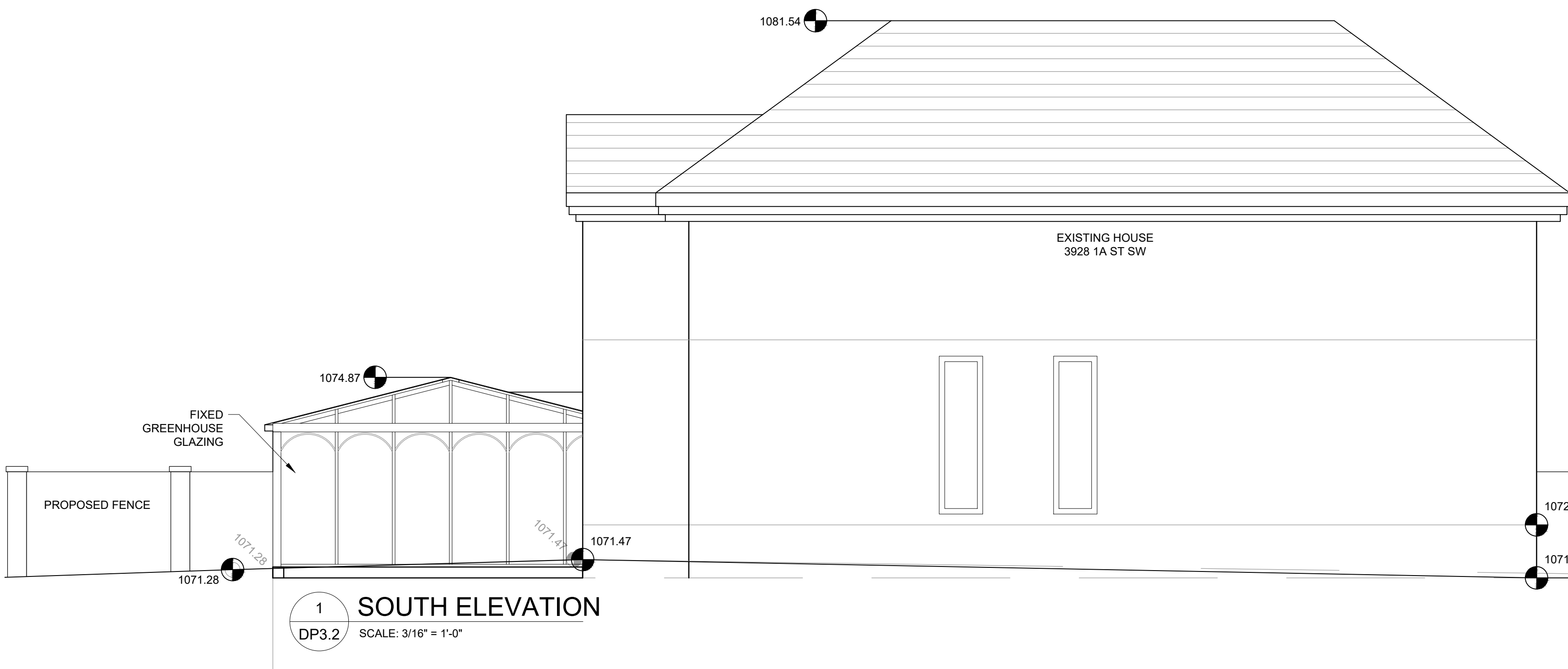
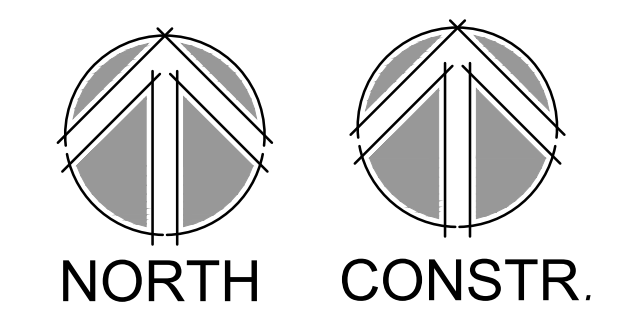
DATE JUL. 10/202
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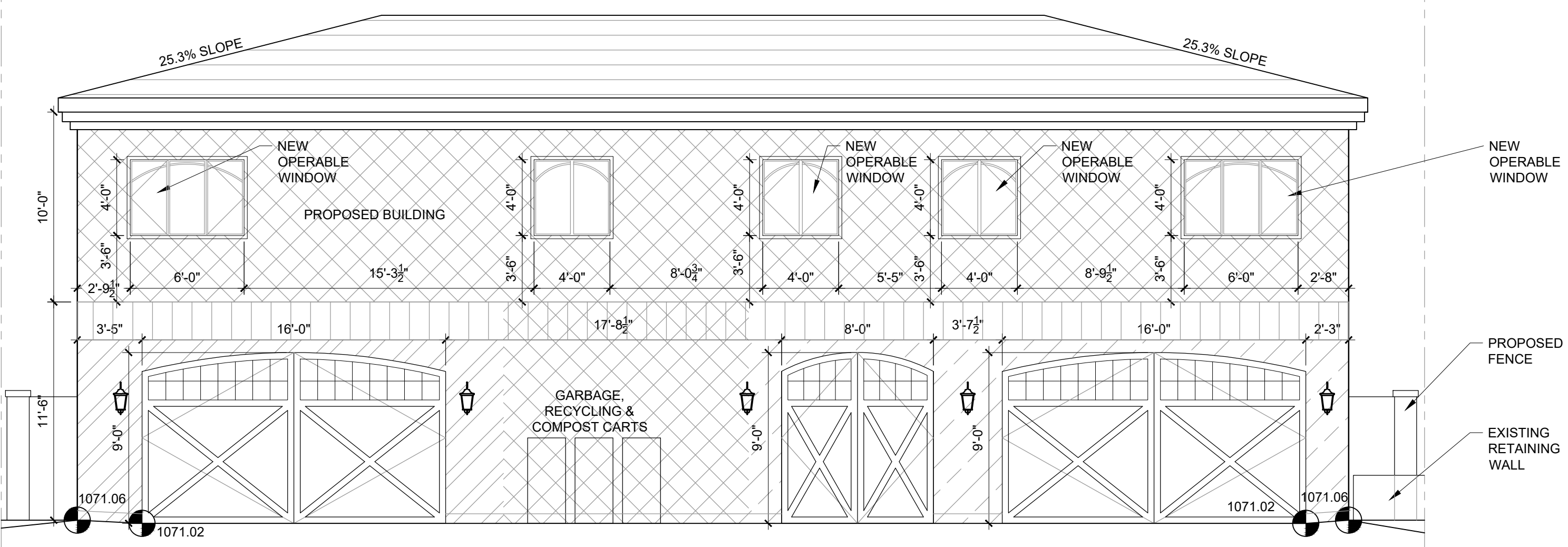
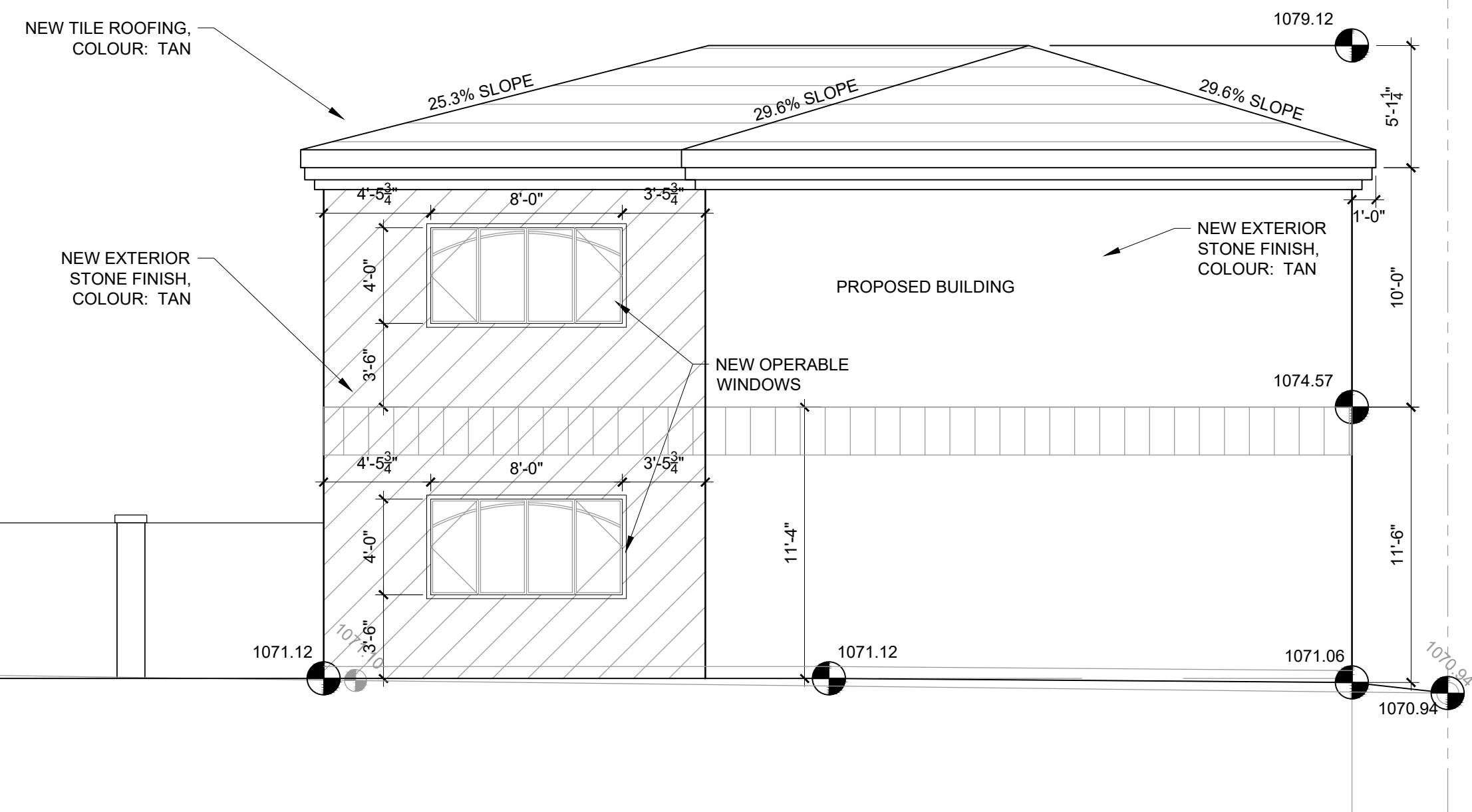
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1 SOUTH ELEVATION
DP3.2 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
DP3.2 SCALE: 3/16" = 1'-0"

EXTERIOR FINISH LEGEND		
ITEM	DESCRIPTION	COLOUR
1	STONE SIDING	TAN (TO MATCH EXISTING HOUSE)
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ELEVATION LEGEND

EXISTING GEODETIC POINT SHOWN THUS:

NEW GEODETIC POINT SHOWN THUS:

PROPERTY LINE SHOWN THUS:

EXISTING GRADELINE SHOWN THUS:

FIRE COMPARTMENT A:

FIRE COMPARTMENT B:

FIRE COMPARTMENT C:

FIRE COMPARTMENT D:

BUILDING FACADE					
	ITEM	CALCULATED AREA		ITEM	CALCULATED AREA
EAST ELEV COMPARTMENT A	FACADE AREA	305.37 ft ²	WEST ELEV COMPARTMENT B	FACADE AREA	655.11 ft ²
	DOOR/ WINDOW AREA	208.10 ft ²		DOOR/ WINDOW AREA	264.00 ft ²
	PERCENTAGE OF DOOR & WINDOW	68.15%		PERCENTAGE OF DOOR & WINDOW	40.30%
	DISTANCE	4.1m		DISTANCE	6.32m
EAST ELEV COMPARTMENT C	FACADE AREA	867.60 ft ²	WEST ELEV COMPARTMENT C	FACADE AREA	317.16 ft ²
	DOOR/ WINDOW AREA	96.00 ft ²		DOOR/ WINDOW AREA	72.00 ft ²
	PERCENTAGE OF DOOR & WINDOW	11.06%		PERCENTAGE OF DOOR & WINDOW	22.70%
	DISTANCE	4.1m		DISTANCE	6.32m
EAST ELEV COMPARTMENT D	FACADE AREA	216.77 ft ²	WEST ELEV COMPARTMENT D	FACADE AREA	324.88 ft ²
	DOOR/ WINDOW AREA	138.70 ft ²		DOOR/ WINDOW AREA	69.00 ft ²
	PERCENTAGE OF DOOR & WINDOW	63.98%		PERCENTAGE OF DOOR & WINDOW	21.23%
	DISTANCE	4.1m		DISTANCE	6.3m
SOUTH ELEV COMPARTMENT B	FACADE AREA	324.11 ft ²			
	DOOR/ WINDOW AREA	64.00 ft ²			
	PERCENTAGE OF DOOR & WINDOW	19.75%			
	DISTANCE	11.88m			

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3 STREETSCAPE VIEW
DP3.2 SCALE: 3/32" = 1'-0"

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