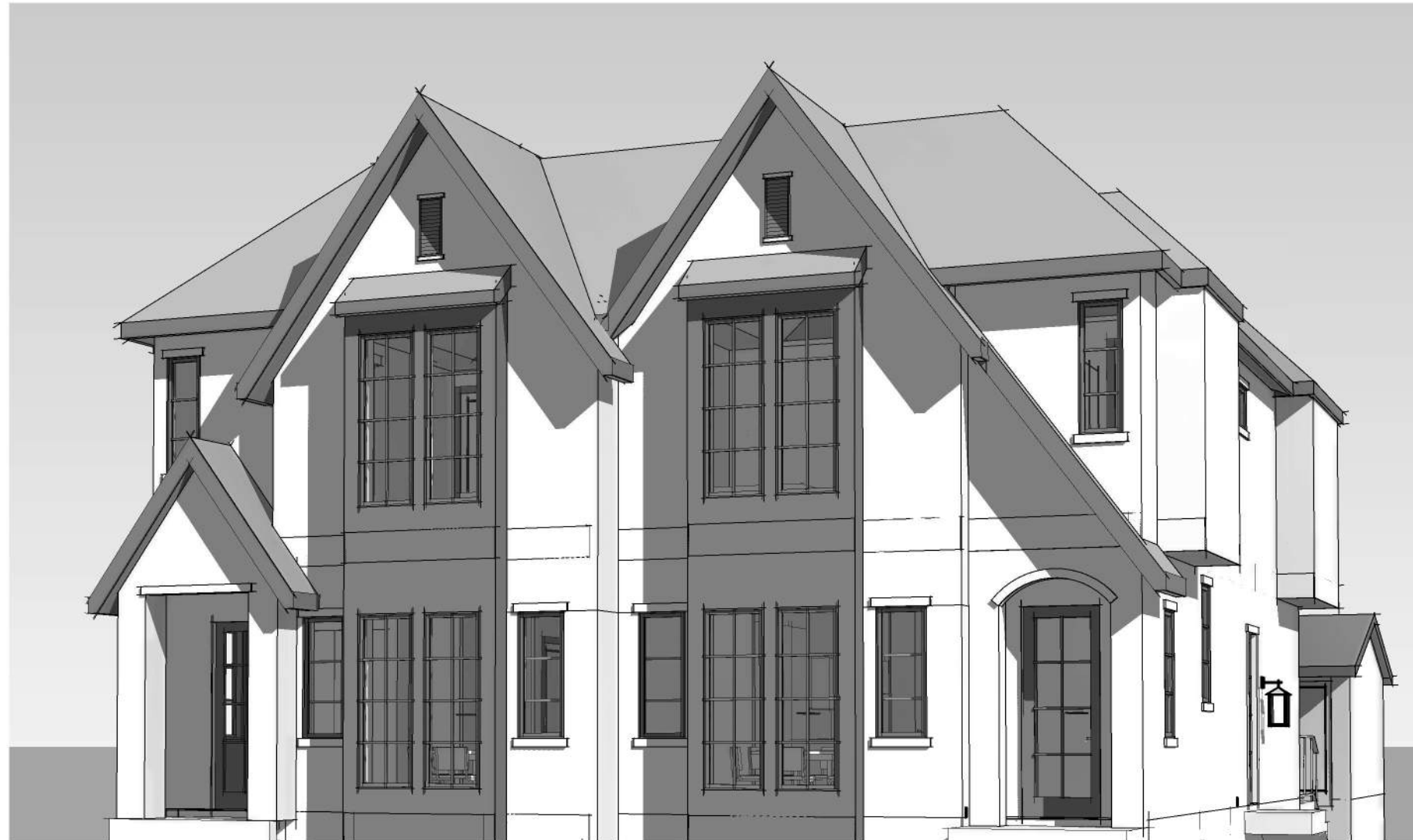


2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15, PLAN 2748 GL



GENERAL

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

FOUNDATIONS

STRUCTURAL

FRAMING

DOOR AND WINDOWS

MECHANICAL

ELECTRICAL

SHEET #	SHEET NAME
AS.1	SITE PLAN - PROPOSED
AS.2	BLOCK PLAN - PROPOSED
A1.0a	BASEMENT PLAN - PROPOSED
A1.1	MAIN FLOOR PLAN - PROPOSED
A1.2	UPPER FLOOR PLAN - PROPOSED
A3.1	FRONT ELEVATION - PROPOSED
A3.2	LEFT ELEVATION - PROPOSED
A3.3	REAR ELEVATION - PROPOSED
A3.4	RIGHT ELEVATION - PROPOSED
G1.0	GARAGE PLANS - PROPOSED
G1.1	GARAGE ELEVATIONS - PROPOSED

1	-
2	-

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MAIN FL:	926.66 sq.ft.	926.66 sq.ft.
UPPER FL:	917.80 sq.ft.	917.80 sq.ft.
TOTAL:	1844.46 sq.ft.	1844.46 sq.ft.
GARAGE:	759.81 sq.ft.	759.81 sq.ft.
BSMT DEV:	413.41 sq.ft.	413.41 sq.ft.

CLIENT:

2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

[illegible]

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:

COVER SHEET

CHECKED BY:

A.K.

SCALE: As indicated

SHEET #:

110

200mm Sanitary Line



NOTES:

.AS.1



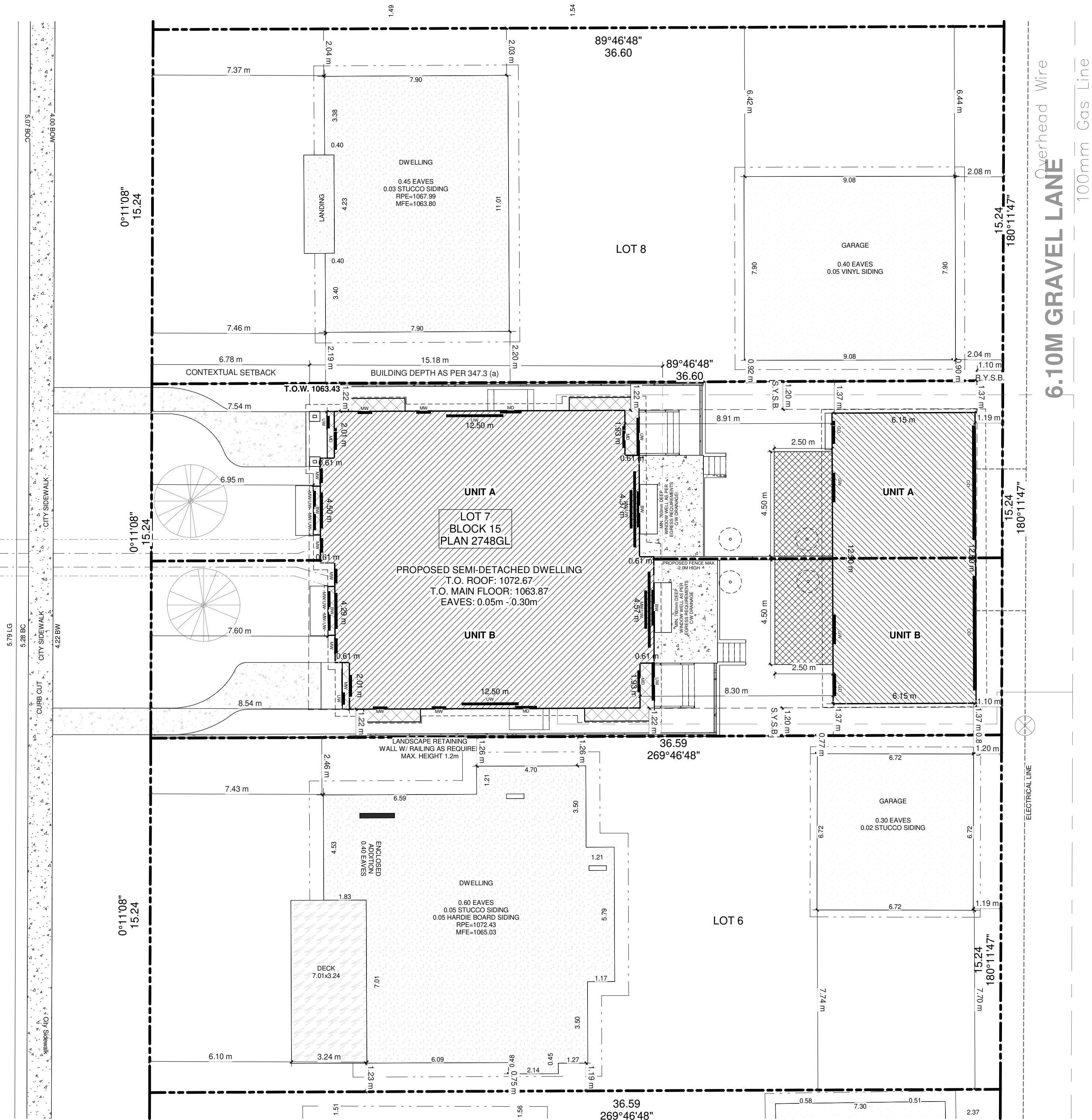
2518
26 STREET S.E.

2514
200mm Sanitary Line

2520

300mm Water Line

1 BLOCK PLAN
1" = 10'-0"



E

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CLIENT:

**SEMI -
DETACHED**

2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

No.	Date:	Description:	By:
1.	25-JUNE-26	DP DRAWINGS	AK

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:

BLOCK PLAN -
PROPOSED

CHECKED BY:

A.K.

DRAWN BY:

TY

SCALE:

As indicated

SHEET #:

.AS.2



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CLIENT:

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DETACHED**

2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

No.	Date:	Description:	By:
1.	07-JUNE-26	DP DRAWINGS	AK

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:
FRONT ELEVATION -
PROPOSED

CHECKED BY:
A.K.

DRAWN BY:
TY

SCALE: As indicated

SHEET #:

A3.1

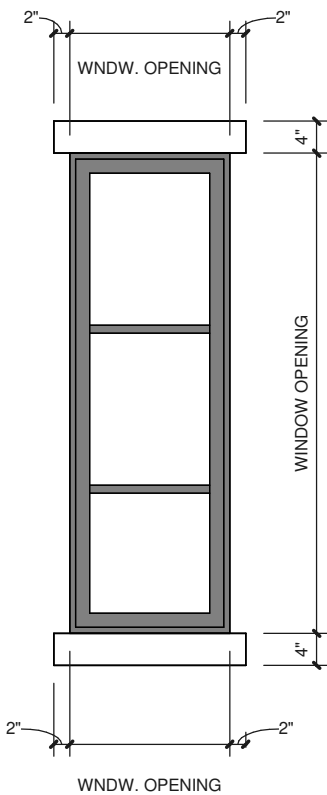


FRONT ELEVATION - PROPOSED

3/16" = 1'-0"

WINDOW TRIM DETAIL

1/2" = 1'-0"



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CLIENT:

**SEMI -
DETACHED**

2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

[illegible]

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:

LEFT ELEVATION -
PROPOSED

CHECKED BY

A.K.

DRAWN BY:

TY

SCALE: 3/16" = 1'-0"

SHEET #:

A3.2



1 LEFT ELEVATION - PROPOSED
3/16" = 1'-0"



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CLIENT:

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2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

No.	Date:	Description:	By:
1.	07-JUNE-26	DP DRAWINGS	AK

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:
REAR ELEVATION -
PROPOSED

CHECKED BY:
A.K.

DRAWN BY:
TY

SCALE: 3/16" = 1'-0"

SHEET #:

A3.3



1 REAR ELEVATION - PROPOSED
3/16" = 1'-0"



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CLIENT:

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2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

No.	Date:	Description:	By:
1.	07-JUNE-26	DP DRAWINGS	AK

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:

RIGHT ELEVATION -
PROPOSED

CHECKED BY:

A.K.

DRAWN BY:

TY

SCALE:

3/16" = 1'-0"

SHEET #:

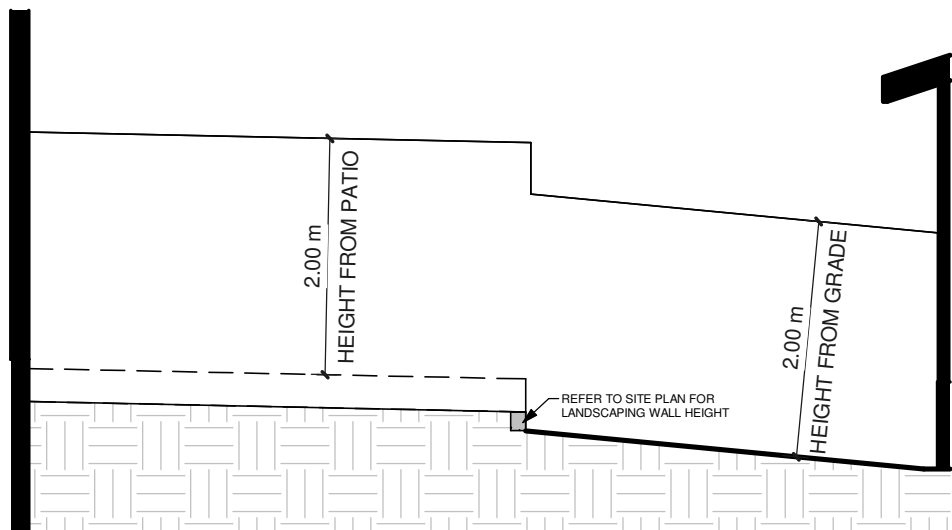
A3.4

LIMITING DISTANCE
ACTUAL:
LIMITING DISTANCE - 1.22m
TOTAL EXPOSING FACE - 759.30 sq.ft.
WINDOW AREA - 50.81 sq.ft.
% OPENINGS - 6.69%
PER NBC 2023 (AE)
ALLOWABLE OPENINGS: 7.00% (53.15 sq.ft.)



1 RIGHT ELEVATION - PROPOSED
3/16" = 1'-0"

2 PRIVACY WALL & FENCE ELEVATION
3/16" = 1'-0"





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2518 26 STREET SE
CALGARY, ALBERTA
LOT 7, BLOCK 15,
PLAN 2748 GL

No.	Date:	Description:	By:
1.	07-JUNE-26	DP DRAWINGS	AK

NOTES:

STATUS:

ISSUED FOR
CONSTRUCTION

DRAWING NAME:
GARAGE ELEVATIONS -
PROPOSED

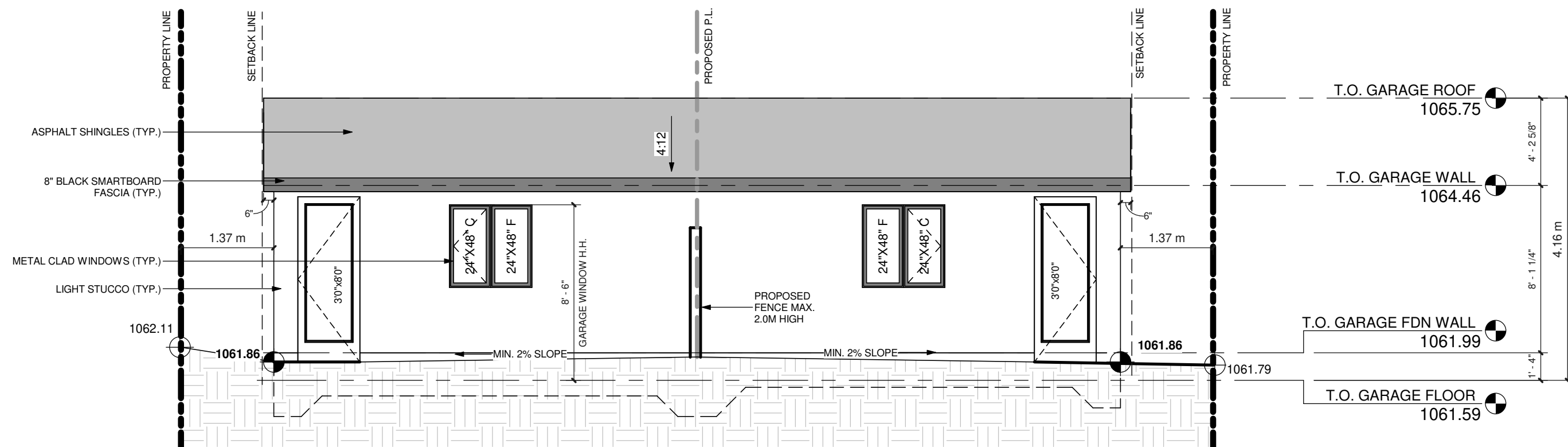
CHECKED BY:
A.K.

DRAWN BY:
TY

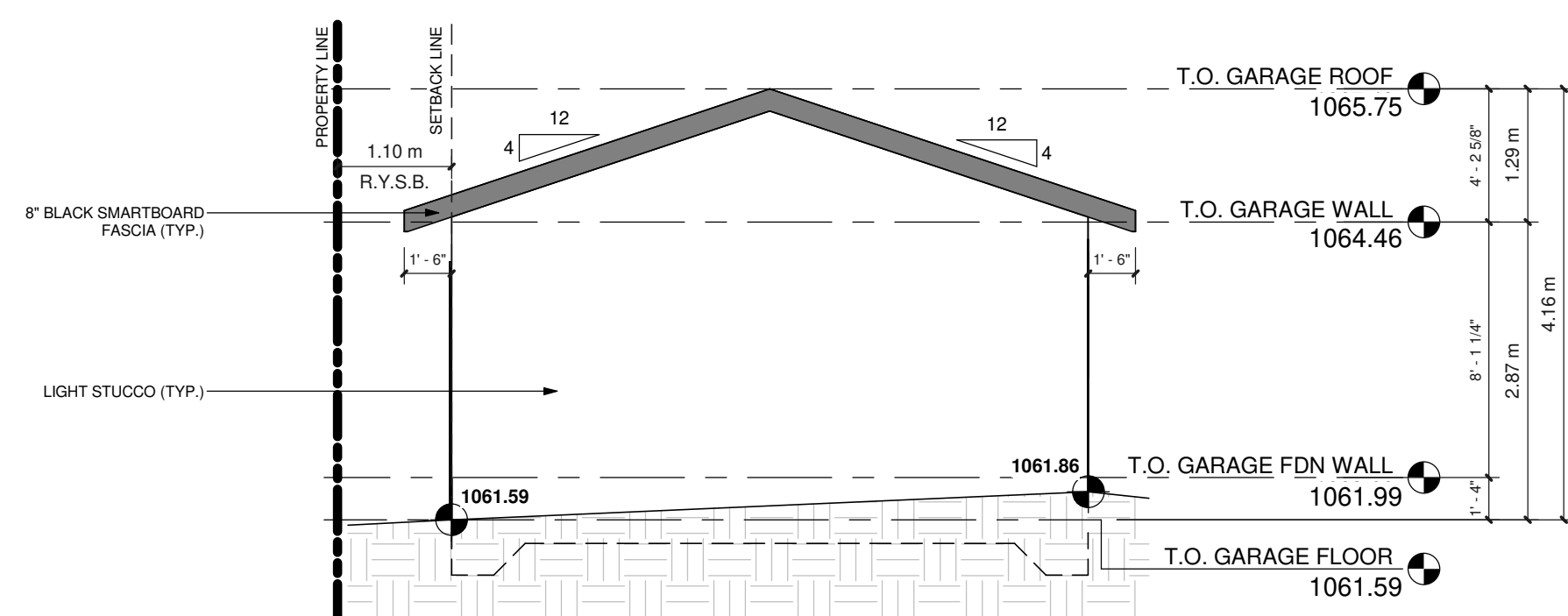
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SHEET #:

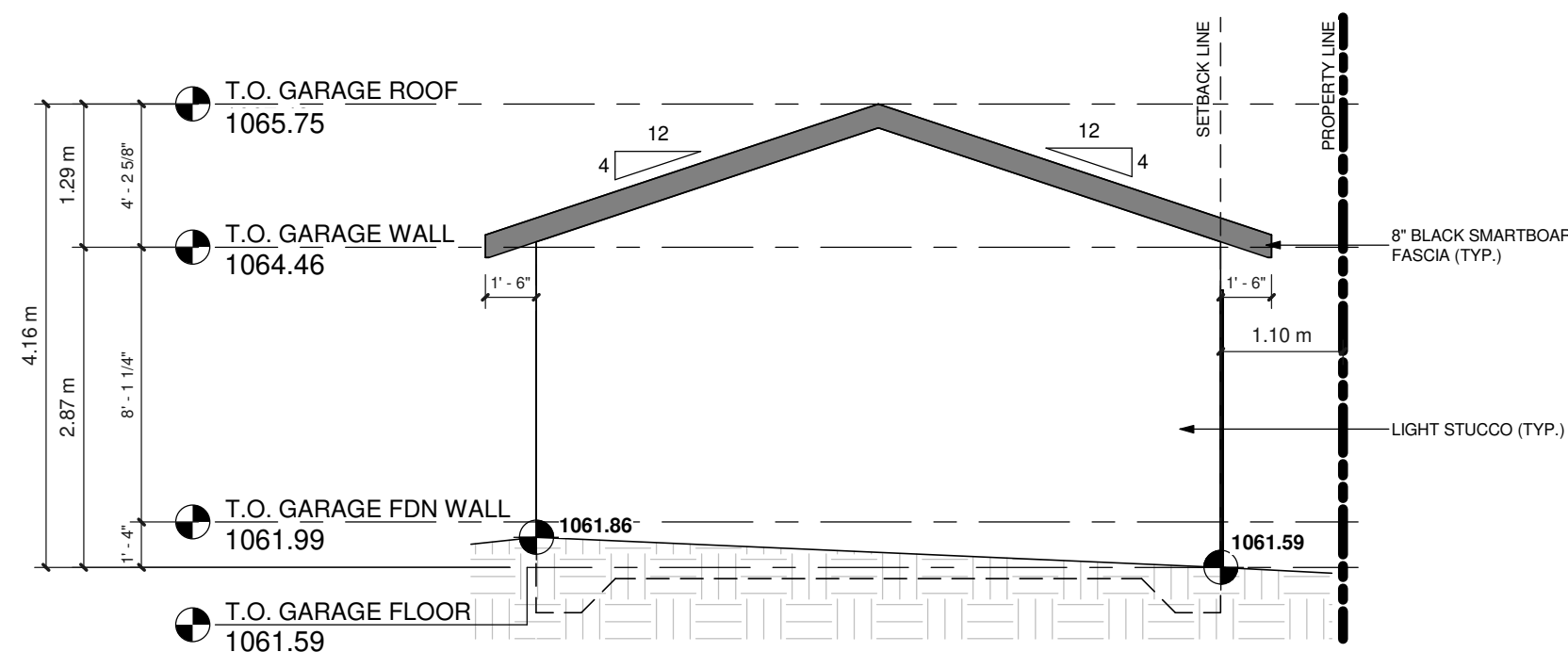
G1.1



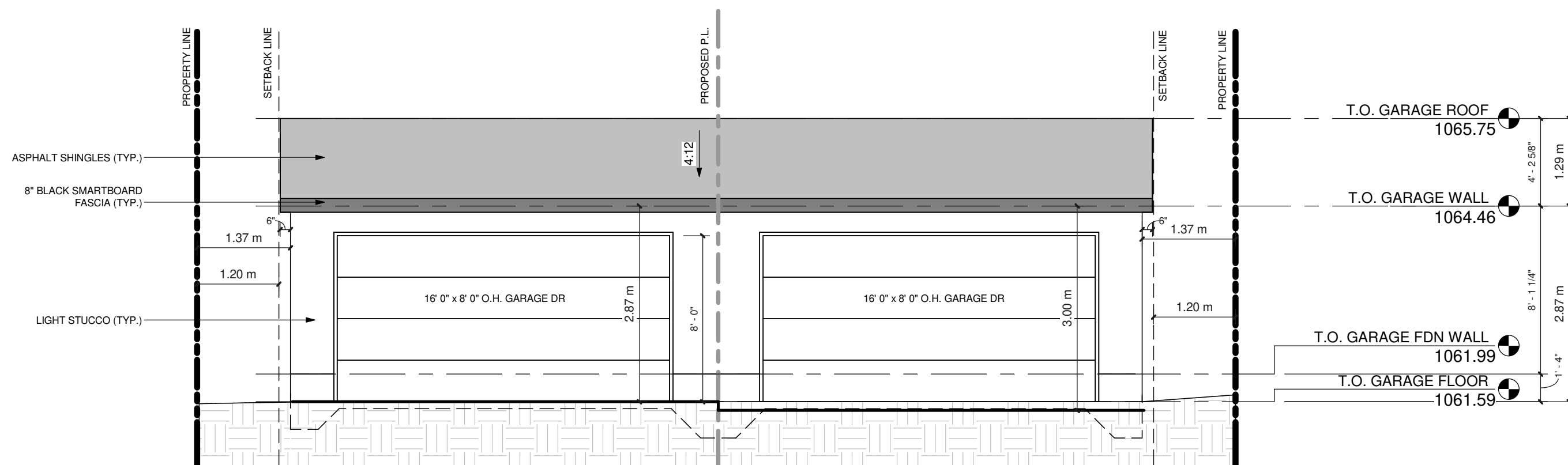
1 FRONT ELEVATION - PROPOSED
3/16" = 1'-0"



2 LEFT ELEVATION - PROPOSED
3/16" = 1'-0"



3 RIGHT ELEVATION - PROPOSED
3/16" = 1'-0"



4 REAR ELEVATION - PROPOSED
3/16" = 1'-0"