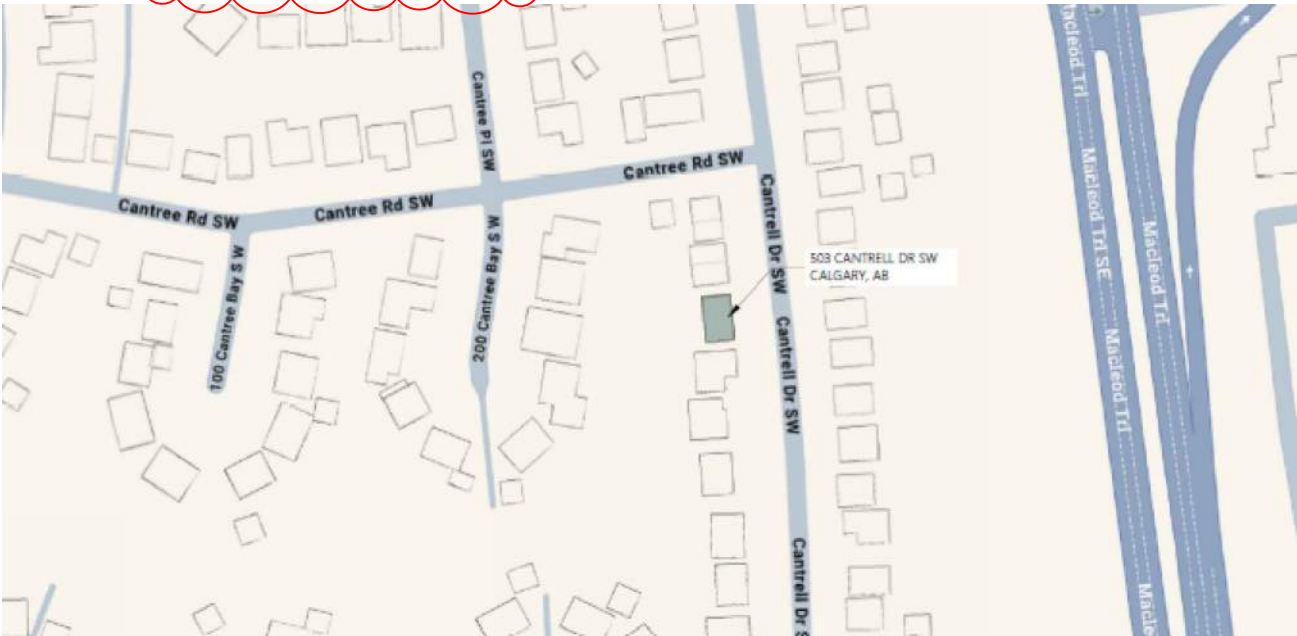


503 CANTRELL DRIVE SW  
ISSUED FOR REVISED DEVELOPMENT PERMIT  
JULY 2026



1  
A0.0  
RENDERING  
SCALE: NTS

04



1  
A0.0  
VICINITY PLAN  
SCALE: NTS

BUILDING CODE REVIEW:

THE FOLLOWING NOTES PROVIDE INFORMATION HIGHLIGHTING BUILDING DESIGN CRITERIA. IT IS NOT INTENDED TO DESCRIBE ALL DESIGN & CONSTRUCTION REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE BUILDING CODE.

- THE BUILDINGS ARE TO BE CONSTRUCTED UNDER PART 9 OF THE 2023 NATIONAL BUILDING CODE - ALBERTA EDITION.
- MAJOR OCCUPANCIES: GROUP/DIV. C - RESIDENTIAL
- BUILDING HEIGHT: PROPOSED 1 STORY ABOVE GRADE
- BUILDING AREAS:

|                              |             |              |
|------------------------------|-------------|--------------|
| EXISTING BASEMENT            | 1020 SQ. FT | (95 SQ. M)   |
| EXISTING MAIN FLOOR          | 1173 SQ. FT | (109 SQ. M)  |
| PROPOSED ADDITION BASEMENT   | 511 SQ. FT  | (47.5 SQ. M) |
| PROPOSED ADDITION MAIN FLOOR | 511 SQ. FT  | (47.5 SQ. M) |
| PROPOSED NEW BASEMENT AREA   | 1531 SQ. FT | (142 SQ. M)  |
| PROPOSED NEW MAIN FLOOR AREA | 1684 SQ. FT | (156 SQ. M)  |

|                                            |            |
|--------------------------------------------|------------|
| PROPOSED MAIN FLOOR<br>INTERIOR ALTERATION | 526 SQ. FT |
| PROPOSED BASEMENT<br>INTERIOR ALTERATION   | 123 SQ. FT |
| PROPOSED GARAGE                            | 483 SQ. FT |

- SIZE & CONSTRUCTION RELATIVE TO OCCUPANCY:

SPRINKLERED: NO  
CONSTRUCTION: COMBUSTIBLE  
STOREYS: 1

9.10.8.1 DOES NOT APPLY WHERE THERE IS NO DWELLING UNIT ABOVE DWELLING UNIT OR ABOVE OR BELOW ANOTHER MAJOR OCCUPANCY, I.E. FIRE RESISTANCE RATING OF FLOORS IS NOT REQUIRED. SEE 9.10.8.10

- HEADROOM CLEARANCES:  
EXITS:  
STAIRS AND STAIR LANDINGS:  
DOORWAYS:

6'-11" (2100mm) 9.9.3.4.(1)-MAINTAIN  
MIN. 6'-11" (2100mm) ALONG EXIT PATH OF TRAVEL  
6'-8 3/4" (2050mm) 9.8.2.2.(1).(a)  
6'-6" (1980mm) 9.9.6.2.(2)

- WIDTHS:  
HALLWAYS:  
ENTRANCE:  
STAIRS:

MINIMUM 2'-10" (860mm) 9.5.4.1.  
MINIMUM 2'-8" (810mm) 9.5.5.1  
MINIMUM 2'-11 1/2" (900mm) 9.8.2.1

- HANDRAIL & GUARDRAILS:

ONE HANDRAIL IS REQUIRED MIN 2'-10" (865mm) PER STAIR 9.8.7.4  
GUARDRAILS ARE REQUIRED IF A DIFFERENCE OF ELEVATION MORE THAN 1'-11 1/2" (600mm) IS PRESENT. 9.8.8.1

- EGRESS WINDOWS:

EACH BEDROOM SHALL HAVE ONE OUTSIDE WINDOW CONFORMING TO 9.9.10.1. WINDOW/DOOR SHALL PROVIDE AN UNOBSTRUCTED OPENING OF NOT LESS THAN 0.35m<sup>2</sup> IN AREA WITH NO DIMENSION LESS THAN 1'-3" (380mm).

- DOORS & WINDOWS:

AS PER 9.7.3.3 FOR CALGARY (-30) WINDOWS AND DOORS ARE TO HAVE MAX. U VALUE GREATER THAN 2.0 & MIN. TEMP INDEX LESS THAN 68.

AS PER THE ABC 2014 9.7.6.1 WINDOWS, DOORS & SKYLIGHTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE AAMA/WDMA/CSA 101/I.S.2/A440 NAFS SPECIFICATION, AS WELL AS THE MANUFACTURES SPECIFICATIONS.

SYMBOLS LEGEND:



NORTH

D#

DOOR NUMBER

W#

WINDOW TYPE

00

DEMOLITION NOTE

00

KEYNOTE

00

REVISION

W#

WALL ASSEMBLY TYPE TAG

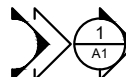
F#

FINISH TAG (INTERIOR OR EXTERIOR)



WALL SECTION  
SCALE: 3/4" = 1'-0"

SHEET NUMBER:



FILLED ARROW: SECTION

A1

UNFILLED ARROW: ELEVATION

LANDUSE:

PLAN 731344; BLOCK 13; LOT 33

LANDUSE DISTRICT R-CG

SIDE SETBACK 1.2m  
FRONT SETBACK 3.0m  
REAR SETBACK 7.5m

DRAWING SHEETS:

ARCHITECTURAL:  
A0.0 - COVER PAGE, CODE REVIEW & SYMBOL LEGEND  
A1.0 - PROPOSED SITE PLAN  
A1.1 - PROPOSED LANDSCAPE PLAN  
A1.2 - SITE PHOTOS  
A2.0 - EXISTING BASEMENT PLAN  
A2.1 - EXISTING MAIN FLOOR PLAN  
A2.2 - PROPOSED BASEMENT PLAN  
A2.3 - PROPOSED MAIN FLOOR PLAN  
A3.0 - ELEVATIONS  
A3.1 - ELEVATIONS  
A3.2 - ELEVATIONS



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| 03 | 2026.07.03 | ISSUED FOR BUILDING PERMIT REVISIONS |

CONSULTANTS

CLIENT

PROJECT

ADDITION &  
RENOVATION TO:

503 CANTRELL DR SW  
CALGARY, AB

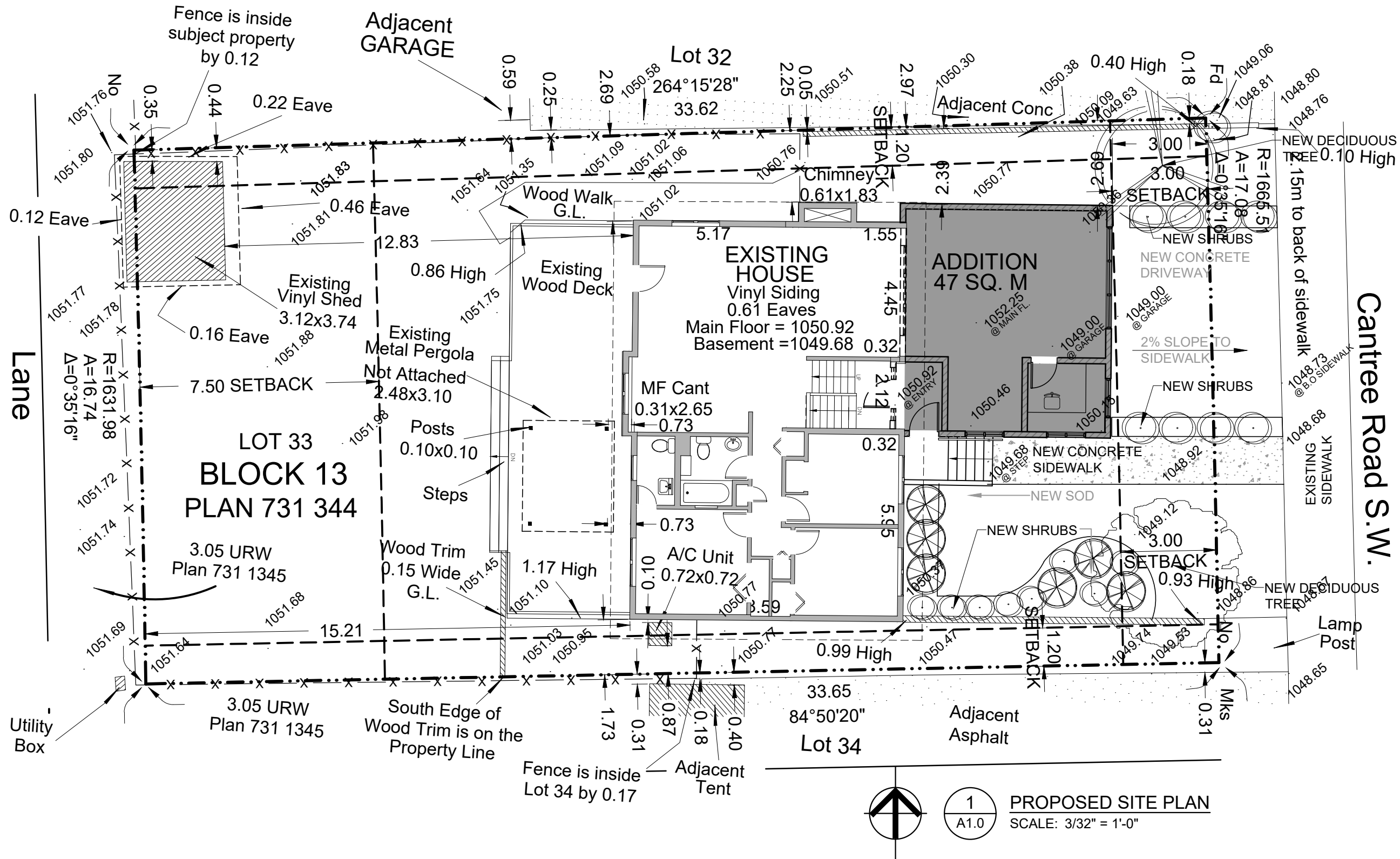
DATE: 2025.09.22  
DRAWN/CHECKED: HR/MB

SCALE: AS NOTED  
JOB NO: 2503

SHEET TITLE

COVER PAGE,  
CODE REVIEW &  
SYMBOLS LEGEND

A0.0





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DATE:  
2025.09.22

DRAWN/CHECKED:  
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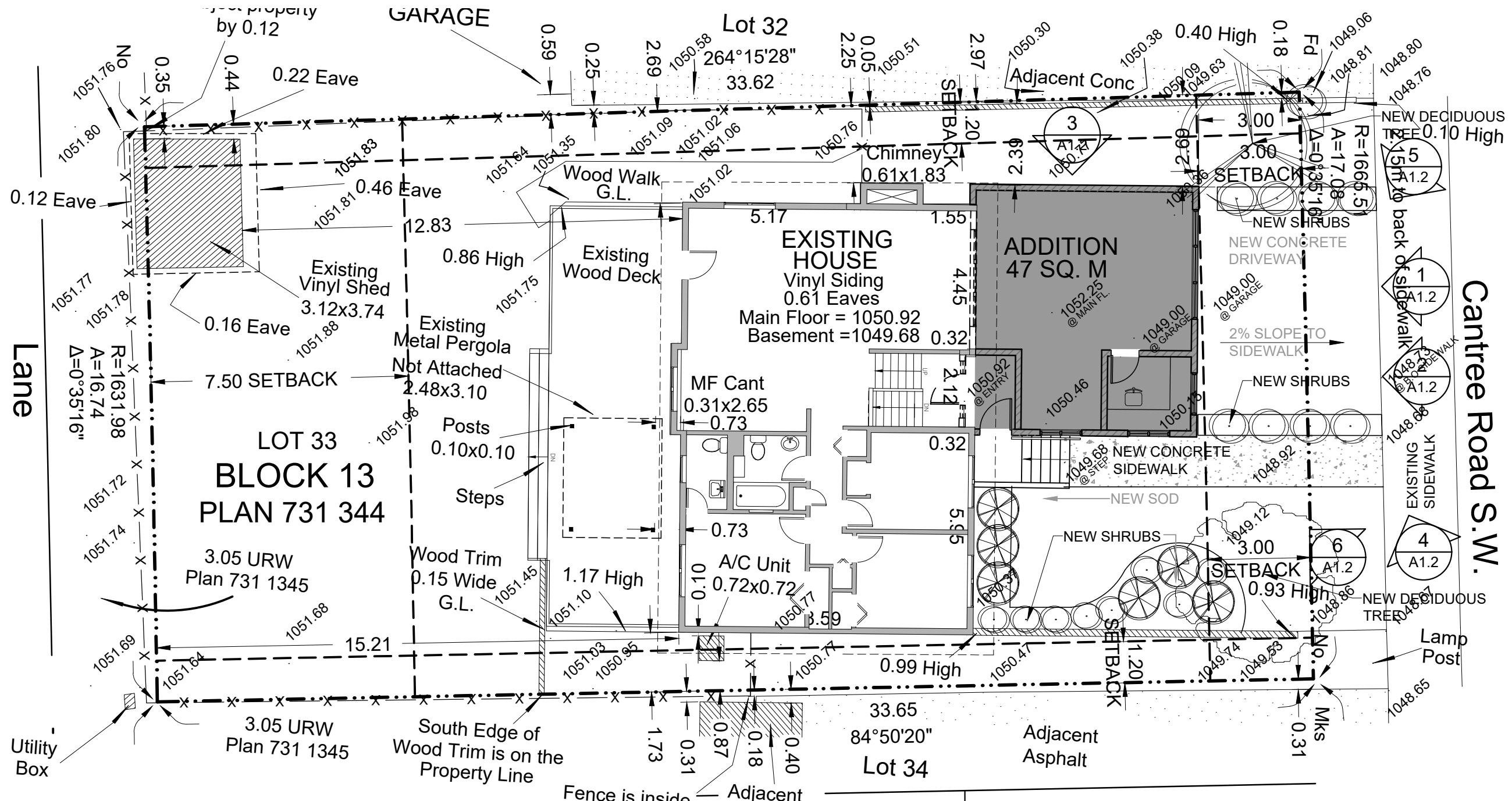
SCALE:  
AS NOTED

JOB NO:  
2503

SHEET TITLE

LANDSCAPE  
PLAN

## A1.1



1  
A1.1

## PROPOSED LANDSCAPE PLAN

SCALE: 3/32" = 1'-0"

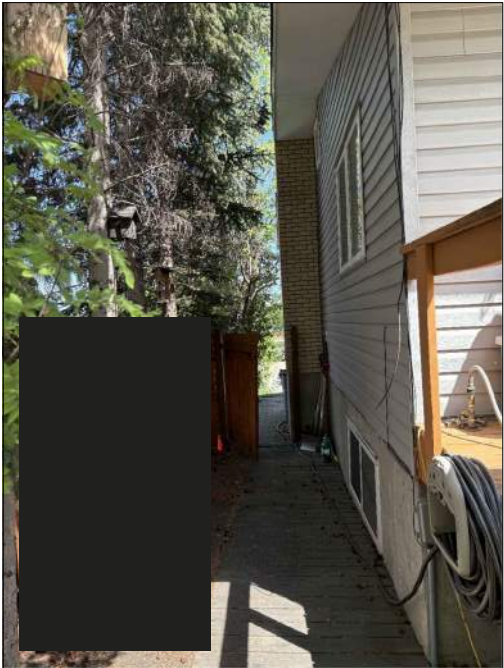




1 FRONT VIEW LOOKING WEST  
A1.2 SCALE: NTS



2 FRONT VIEW LOOKING WEST  
A1.2 SCALE: NTS



3 VIEW ALONG NORTH PL  
A1.2 SCALE: NTS



4 FRONT VIEW LOOKING NW  
A1.2 SCALE: NTS



5 FRONT VIEW LOOKING SW  
A1.2 SCALE: NTS



6 VIEW ALONG SOUTH PL  
A1.2 SCALE: NTS



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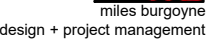
CLIENT

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RENOVATION TO:  
  
503 CANTRELL DR SW  
CALGARY, AB

|            |                |
|------------|----------------|
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| SCALE:     | JOB NO:        |
| AS NOTED   | 2503           |

SHEET TITLE  
SITE PHOTOS





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CALGARY, AB

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DRAWN/CHECKED: HR/MB

|          |         |
|----------|---------|
| SCALE:   | JOB NO: |
| AS NOTED | 2503    |

SHEET TITLE

## ELEVATIONS

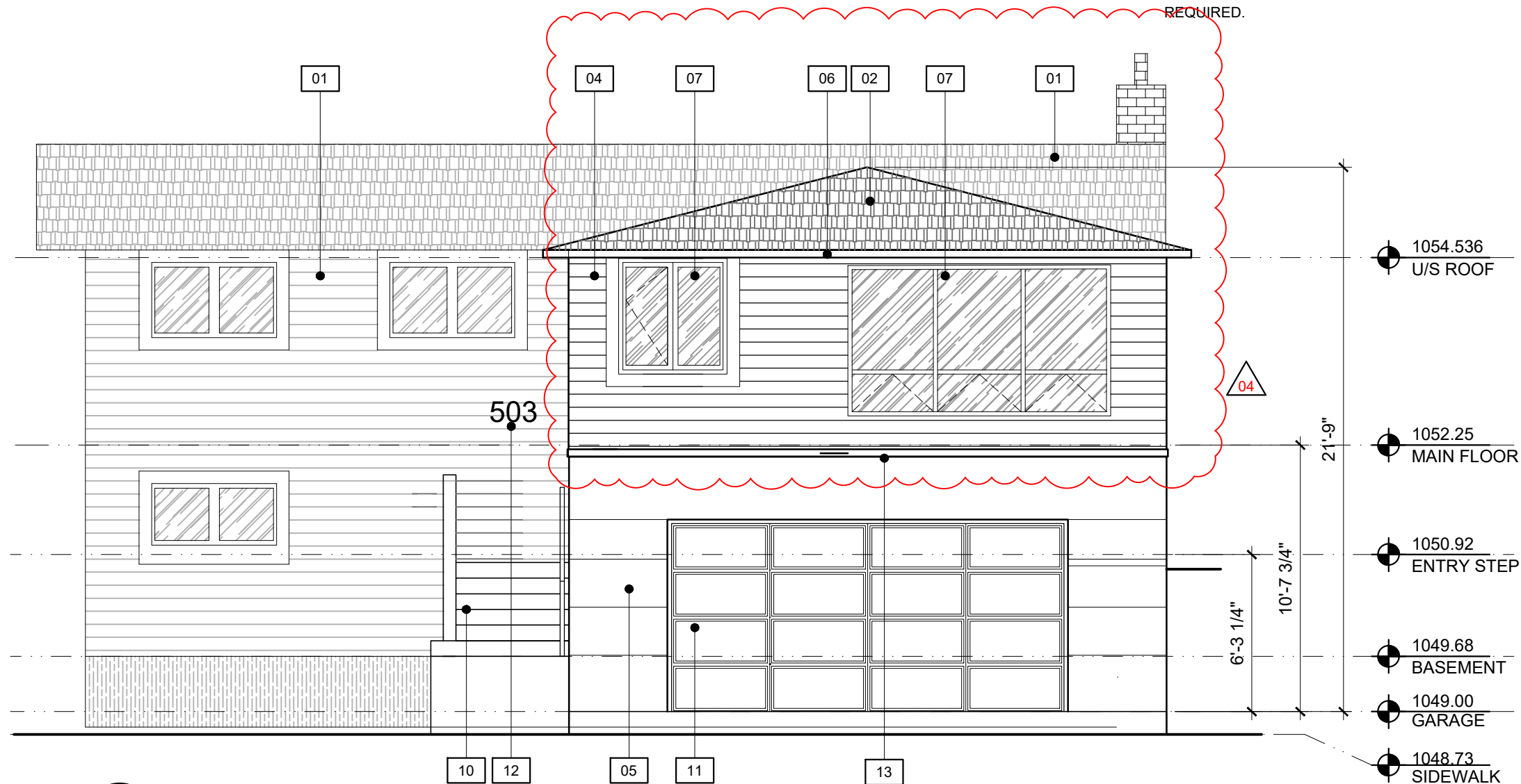
## A3.0

MATERIAL LEGEND:

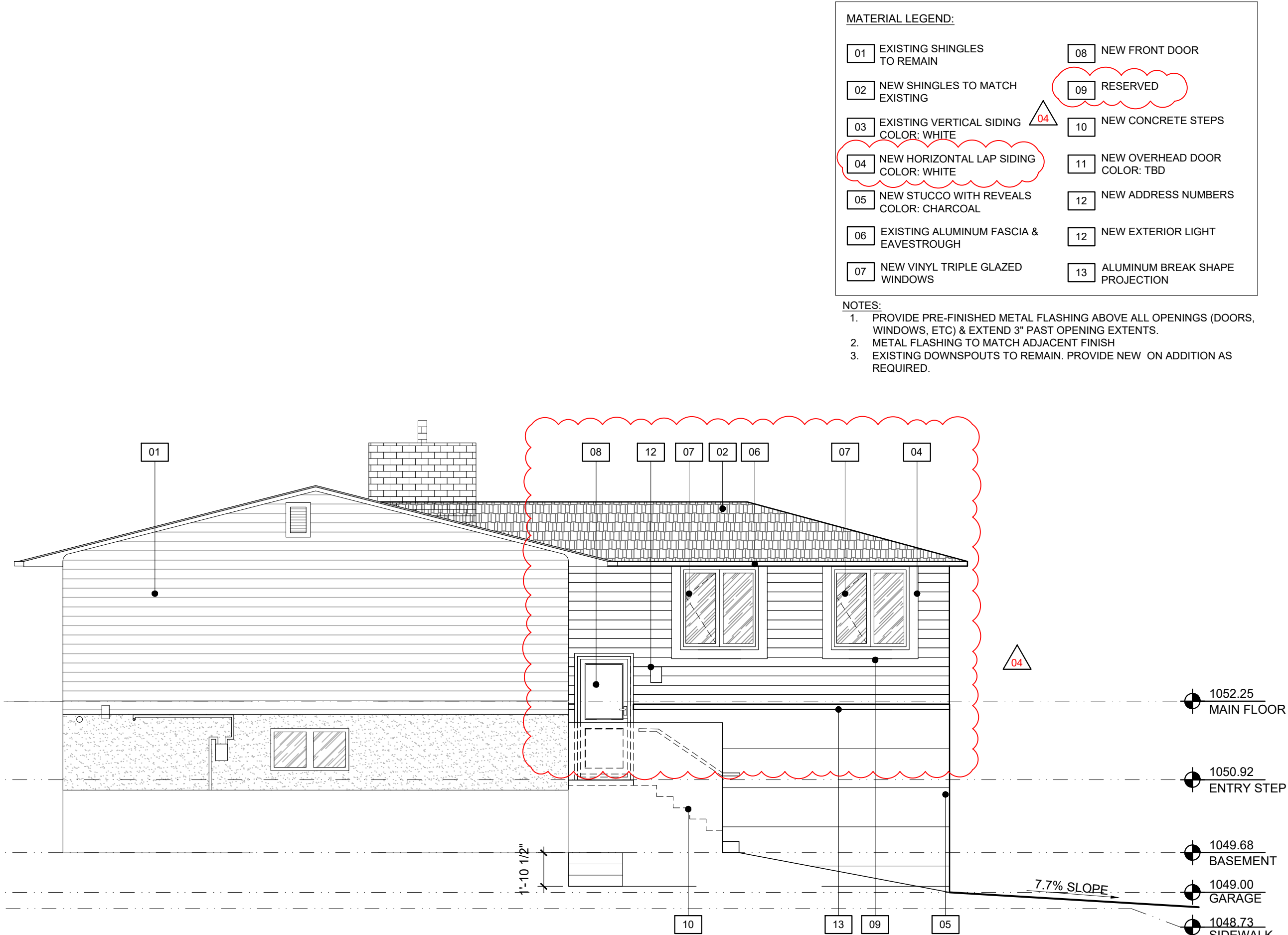
- |                                                          |                                                  |
|----------------------------------------------------------|--------------------------------------------------|
| <div>01</div> EXISTING SHINGLES<br>TO REMAIN             | <div>08</div> NEW FRONT DOOR                     |
| <div>02</div> NEW SHINGLES TO MATCH<br>EXISTING          | <div>09</div> RESERVED                           |
| <div>03</div> EXISTING VERTICAL SIDING<br>COLOR: WHITE   | <div>10</div> NEW CONCRETE STEPS                 |
| <div>04</div> NEW HORIZONTAL LAP SIDING<br>COLOR: WHITE  | <div>11</div> NEW OVERHEAD DOOR<br>COLOR: TBD    |
| <div>05</div> NEW STUCCO WITH REVEALS<br>COLOR: CHARCOAL | <div>12</div> NEW ADDRESS NUMBERS                |
| <div>06</div> EXISTING ALUMINUM FASCIA &<br>EAVESTROUGH  | <div>12</div> NEW EXTERIOR LIGHT                 |
| <div>07</div> NEW VINYL TRIPLE GLAZED<br>WINDOWS         | <div>13</div> ALUMINUM BREAK SHAPE<br>PROJECTION |

NOTES:

1. PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, ETC) & EXTEND 3" PAST OPENING EXTENTS.
2. METAL FLASHING TO MATCH ADJACENT FINISH
3. EXISTING DOWNSPOUTS TO REMAIN. PROVIDE NEW ON ADDITION AS REQUIRED.



1 FRONT ELEVATION  
A3.0 SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION  
A3.1 SCALE: 3/16" = 1'-0"

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|------------|----------------|
| 2025.09.22 | HR/MB          |
| SCALE:     | JOB NO:        |
| AS NOTED   | 2503           |

SHEET TITLE  
ELEVATIONS

MATERIAL LEGEND:

01

EXISTING SHINGLES TO REMAIN

02

NEW SHINGLES TO MATCH EXISTING

03

EXISTING VERTICAL SIDING COLOR: WHITE

04

NEW HORIZONTAL LAP SIDING COLOR: WHITE

05

NEW STUCCO WITH REVEALS COLOR: CHARCOAL

06

EXISTING ALUMINUM FASCIA & EAVESTROUGH

07

NEW VINYL TRIPLE GLAZED WINDOWS

08

NEW FRONT DOOR

09

RESERVED

10

NEW CONCRETE STEPS

11

NEW OVERHEAD DOOR COLOR: TBD

12

NEW ADDRESS NUMBERS

12

NEW EXTERIOR LIGHT

13

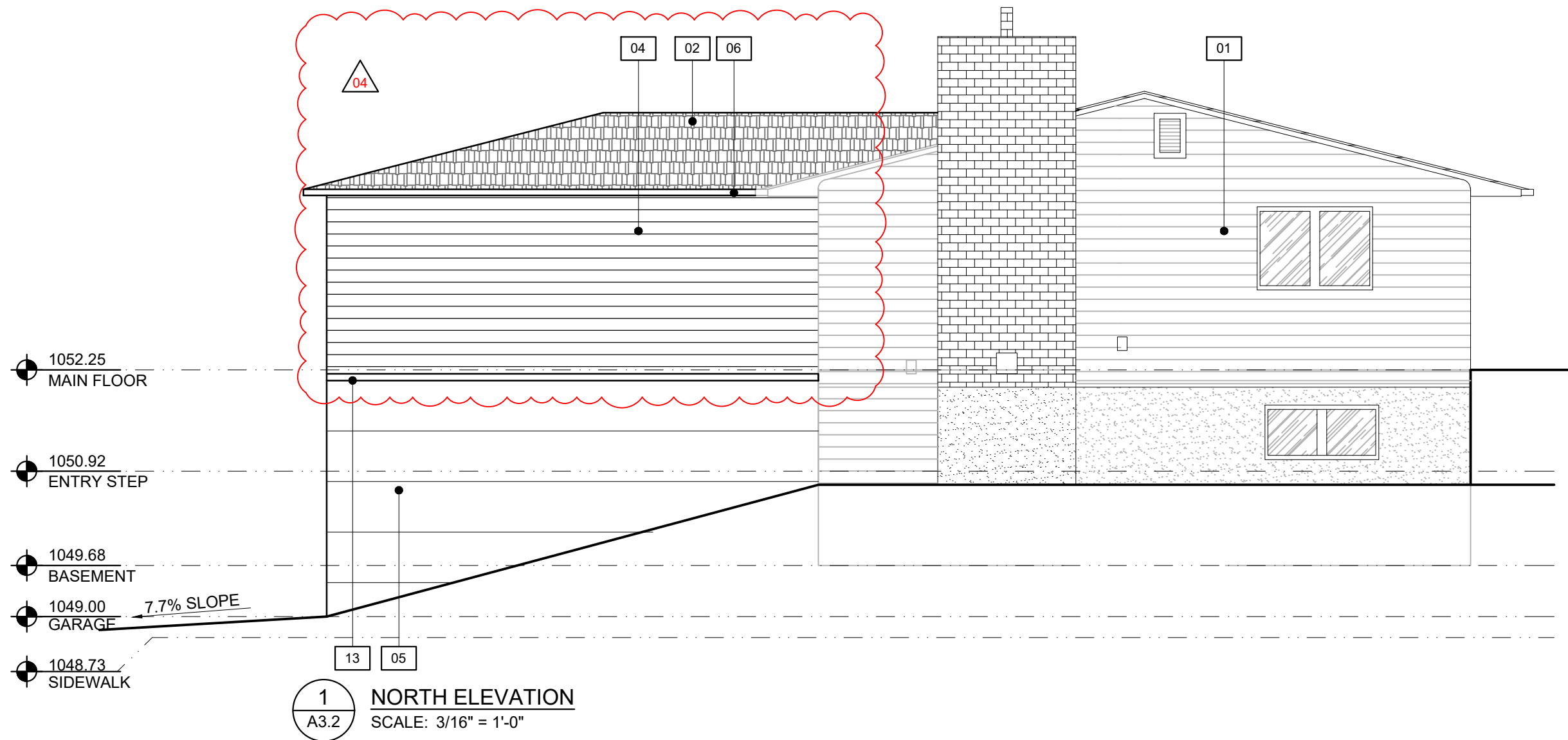
ALUMINUM BREAK SHAPE PROJECTION

- NOTES:
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PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, ETC) & EXTEND 3" PAST OPENING EXTENTS.
2.

METAL FLASHING TO MATCH ADJACENT FINISH
3.

EXISTING DOWNSPOUTS TO REMAIN. PROVIDE NEW ON ADDITION AS REQUIRED.



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SCALE:

AS NOTED

JOB NO:

2503

SHEET TITLE

ELEVATIONS

A3.2