

503 CANTRELL DRIVE SW

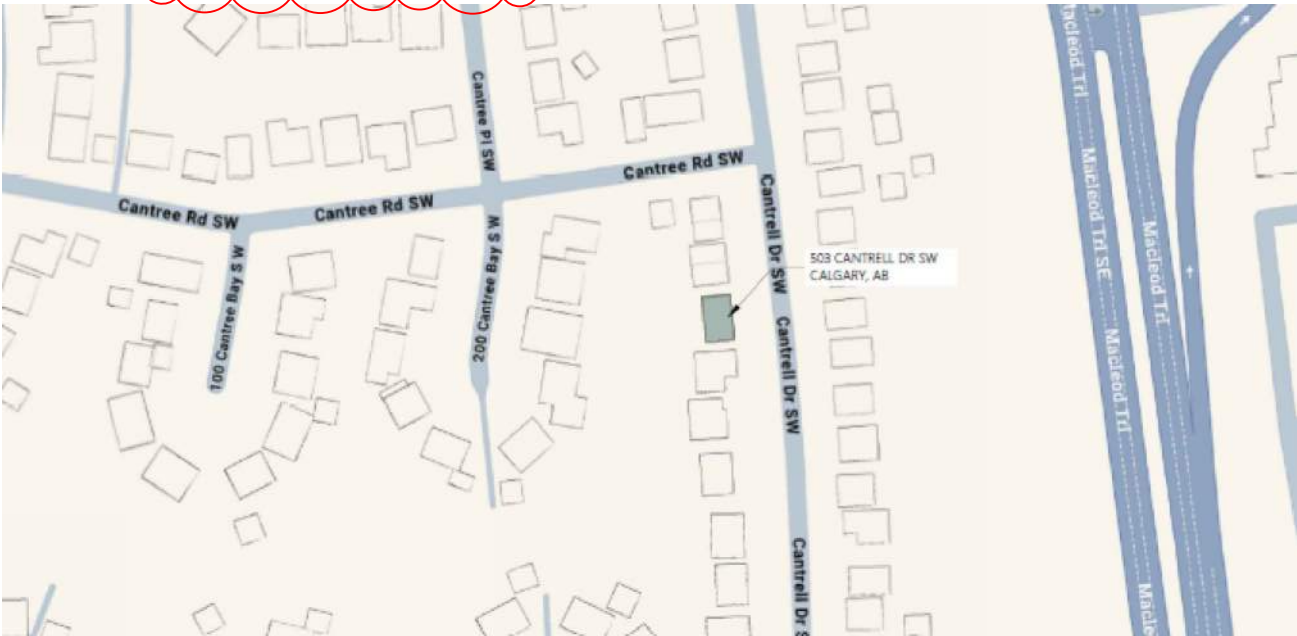
ISSUED FOR REVISED DEVELOPMENT PERMIT

JULY 2026



1
A0.0
RENDERING
SCALE: NTS

04



1
A0.0
VICINITY PLAN
SCALE: NTS

BUILDING CODE REVIEW:

THE FOLLOWING NOTES PROVIDE INFORMATION HIGHLIGHTING BUILDING DESIGN CRITERIA. IT IS NOT INTENDED TO DESCRIBE ALL DESIGN & CONSTRUCTION REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE BUILDING CODE.

1. THE BUILDINGS ARE TO BE CONSTRUCTED UNDER PART 9 OF THE 2023 NATIONAL BUILDING CODE - ALBERTA EDITION.

2. MAJOR OCCUPANCIES: GROUP/DIV. C - RESIDENTIAL

3. BUILDING HEIGHT: PROPOSED 1 STORY ABOVE GRADE

4. BUILDING AREAS:

EXISTING BASEMENT	1020 SQ. FT	(95 SQ. M)
EXISTING MAIN FLOOR	1173 SQ. FT	(109 SQ. M)
PROPOSED ADDITION BASEMENT	511 SQ. FT	(47.5 SQ. M)
PROPOSED ADDITION MAIN FLOOR	511 SQ. FT	(47.5 SQ. M)
PROPOSED NEW BASEMENT AREA	1531 SQ. FT	(142 SQ. M)
PROPOSED NEW MAIN FLOOR AREA	1684 SQ. FT	(156 SQ. M)

PROPOSED MAIN FLOOR INTERIOR ALTERATION	526 SQ. FT
PROPOSED BASEMENT INTERIOR ALTERATION	123 SQ. FT
PROPOSED GARAGE	483 SQ. FT

5. SIZE & CONSTRUCTION RELATIVE TO OCCUPANCY:

SPRINKLERED: NO
CONSTRUCTION: COMBUSTIBLE
STOREYS: 1

9.10.8.1 DOES NOT APPLY WHERE THERE IS NO DWELLING UNIT ABOVE DWELLING UNIT OR ABOVE OR BELOW ANOTHER MAJOR OCCUPANCY, I.E. FIRE RESISTANCE RATING OF FLOORS IS NOT REQUIRED. SEE 9.10.8.10

6. HEADROOM CLEARANCES: 6'-11" (2100mm) 9.9.3.4.(1)-MAINTAIN
MIN. 6'-11" (2100mm) ALONG EXIT PATH OF TRAVEL
EXITS: 6'-8 3/4" (2050mm) 9.8.2.2.(1).(a)
6'-6" (1980mm) 9.9.6.2.(2)

STAIRS AND STAIR LANDINGS:
DOORWAYS:

7. WIDTHS: MINIMUM 2'-10" (860mm) 9.5.4.1.
MINIMUM 2'-8" (810mm) 9.5.5.1
HALLWAYS: MINIMUM 2'-11 1/2" (900mm) 9.8.2.1
ENTRANCE:
STAIRS:

8. HANDRAIL & GUARDRAILS:

ONE HANDRAIL IS REQUIRED MIN 2'-10" (865mm) PER STAIR 9.8.7.4

GUARDRAILS ARE REQUIRED IF A DIFFERENCE OF ELEVATION MORE THAN 1'-11 1/2" (600mm) IS PRESENT. 9.8.8.1

9. EGRESS WINDOWS:

EACH BEDROOM SHALL HAVE ONE OUTSIDE WINDOW CONFORMING TO 9.9.10.1. WINDOW/DOOR SHALL PROVIDE AN UNOBSTRUCTED OPENING OF NOT LESS THAN 0.35m² IN AREA WITH NO DIMENSION LESS THAN 1'-3" (380mm).

10. DOORS & WINDOWS:

AS PER 9.7.3.3 FOR CALGARY (-30) WINDOWS AND DOORS ARE TO HAVE MAX. U VALUE GREATER THAN 2.0 & MIN. TEMP INDEX LESS THAN 68.

AS PER THE ABC 2014 9.7.6.1 WINDOWS, DOORS & SKYLIGHTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE AAMA/WDMA/CSA 101/I.S.2/A440 NAFS SPECIFICATION, AS WELL AS THE MANUFACTURES SPECIFICATIONS.

SYMBOLS LEGEND:



NORTH

D#

DOOR NUMBER

W#

WINDOW TYPE

00

DEMOLITION NOTE

00

KEYNOTE

00

REVISION

W#

WALL ASSEMBLY TYPE TAG

F#

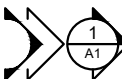
FINISH TAG (INTERIOR OR EXTERIOR)



WALL SECTION

SCALE: 3/4" = 1'-0"

SHEET NUMBER:



FILLED ARROW: SECTION

UNFILLED ARROW: ELEVATION

LANDUSE:

PLAN 731344; BLOCK 13; LOT 33

LANDUSE DISTRICT R-CG

SIDE SETBACK 1.2m

FRONT SETBACK 3.0m

REAR SETBACK 7.5m

DRAWING SHEETS:

ARCHITECTURAL:

A0.0 - COVER PAGE, CODE REVIEW & SYMBOL LEGEND

A1.0 - PROPOSED SITE PLAN

A1.1 - PROPOSED LANDSCAPE PLAN

A1.2 - SITE PHOTOS

A2.0 - EXISTING BASEMENT PLAN

A2.1 - EXISTING MAIN FLOOR PLAN

A2.2 - PROPOSED BASEMENT PLAN

A2.3 - PROPOSED MAIN FLOOR PLAN

A3.0 - ELEVATIONS

A3.1 - ELEVATIONS

A3.2 - ELEVATIONS


miles burgoyne
design + project management
452 12 STREET NW
CALGARY, ALBERTA
T2N 1Y8
O 403 233 8448
ext: 32
C 403 390 9185
milesburgoyne@shaw.ca

THIS DRAWING WAS PREPARED BY MILES BURGUYNE DESIGN. FOR OUR CLIENT, NOTED BELOW. THE MATERIAL IN THE DRAWING REFLECTS OUR BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE AT THE TIME OF PREPARATION.
THIS DRAWING IS COPYRIGHT OF MILES BURGUYNE DESIGN. AND MAY NOT BE USED WITHOUT WRITTEN PERMISSION.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED TO THE DESIGNER IMMEDIATELY.
THIS DRAWING MUST NOT BE SCALED.

REVISIONS:

NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT
02	2026.05.27	ISSUED FOR BUILDING PERMIT
03	2026.07.03	ISSUED FOR BUILDING PERMIT REVISIONS

CONSULTANTS

CLIENT

PROJECT

ADDITION &
RENOVATION TO:

503 CANTRELL DR SW
CALGARY, AB

DATE: 2025.09.22
DRAWN/CHECKED: HR/MB

SCALE: AS NOTED
JOB NO: 2503

SHEET TITLE

COVER PAGE,
CODE REVIEW &
SYMBOLS LEGEND

A0.0

THIS DRAWING WAS PREPARED BY MILES BURGOWNE DESIGN.
FOR OUR CLIENT, NOTED BELOW. THE MATERIAL IN THE DRAWING
REFLECTS OUR BEST JUDGMENT IN LIGHT OF THE INFORMATION
AVAILABLE AT THE TIME OF PREPARATION.

THIS DRAWING IS COPYRIGHT OF MILES BURGOYNE DESIGN.
AND MAY NOT BE USED WITHOUT WRITTEN PERMISSION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO
COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS
MUST BE REPORTED TO THE DESIGNER IMMEDIATELY.

THIS DRAWING MUST NOT BE SCALED.

REVISIONS:

NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT
02	2026.05.27	ISSUED FOR BUILDING PERMIT
03	2026.07.03	ISSUED FOR BUILDING PERMIT REVISIONS

CONSULTANTS

CLIENT

PROJECT

ADDITION &
RENOVATION TO:

503 CANTRELL DR SW
CALGARY, AB

DATE:
2025.09.22

DRAWN/CHECKED:
HR/MB

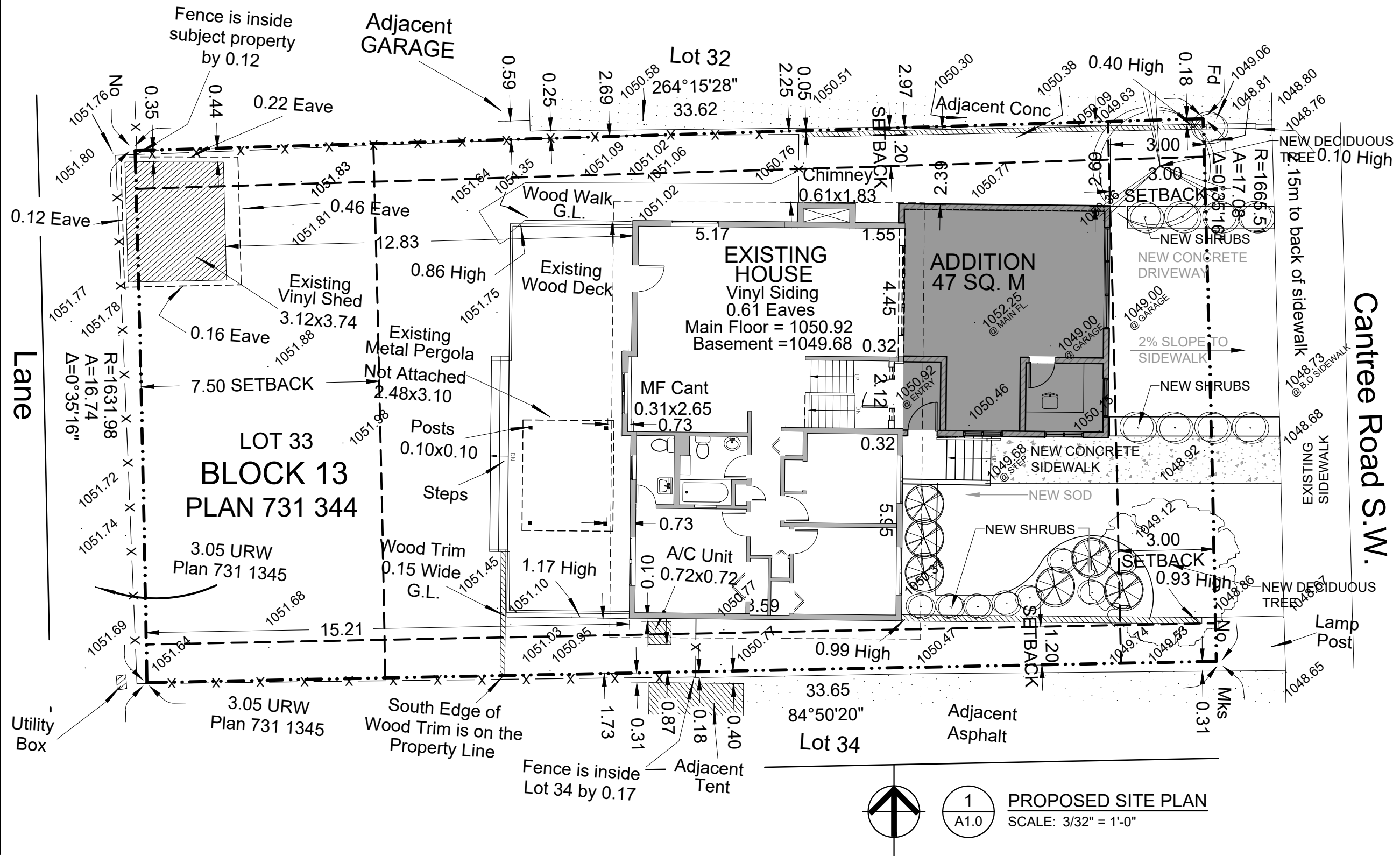
SCALE:
AS NOTED

JOB NO:
2503

SHEET TITLE

SITE PLAN

A1.0



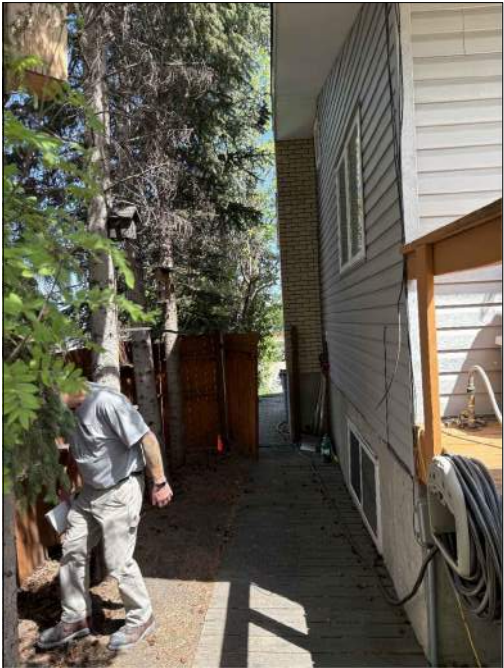
PROPOSED LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"



1 FRONT VIEW LOOKING WEST
A1.2 SCALE: NTS



2 FRONT VIEW LOOKING WEST
A1.2 SCALE: NTS



3 VIEW ALONG NORTH PL
A1.2 SCALE: NTS



4 FRONT VIEW LOOKING NW
A1.2 SCALE: NTS



5 FRONT VIEW LOOKING SW
A1.2 SCALE: NTS



6 VIEW ALONG SOUTH PL
A1.2 SCALE: NTS



miles burgoyne
design + project management

452 12 STREET NW
CALGARY, ALBERTA
T2N 1Y8
O 403 233 8448
ext: 32
C 403 390 9185
milesburgoynedesign@shaw.ca

THIS DRAWING WAS PREPARED BY MILES BURGOPYNE DESIGN.
FOR OUR CLIENT, NOTED BELOW, THE MATERIAL IN THE DRAWING
REFLECTS OUR BEST JUDGMENT IN LIGHT OF THE INFORMATION
AVAILABLE AT THE TIME OF PREPARATION.
THIS DRAWING IS COPYRIGHT OF MILES BURGOPYNE DESIGN.
AND MAY NOT BE USED WITHOUT WRITTEN PERMISSION.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO
COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS
MUST BE REPORTED TO THE DESIGNER IMMEDIATELY.
THIS DRAWING MUST NOT BE SCALED.

REVISIONS:		
NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT
02	2026.05.27	ISSUED FOR BUILDING PERMIT
03	2026.07.03	ISSUED FOR BUILDING PERMIT REVISIONS

CONSULTANTS

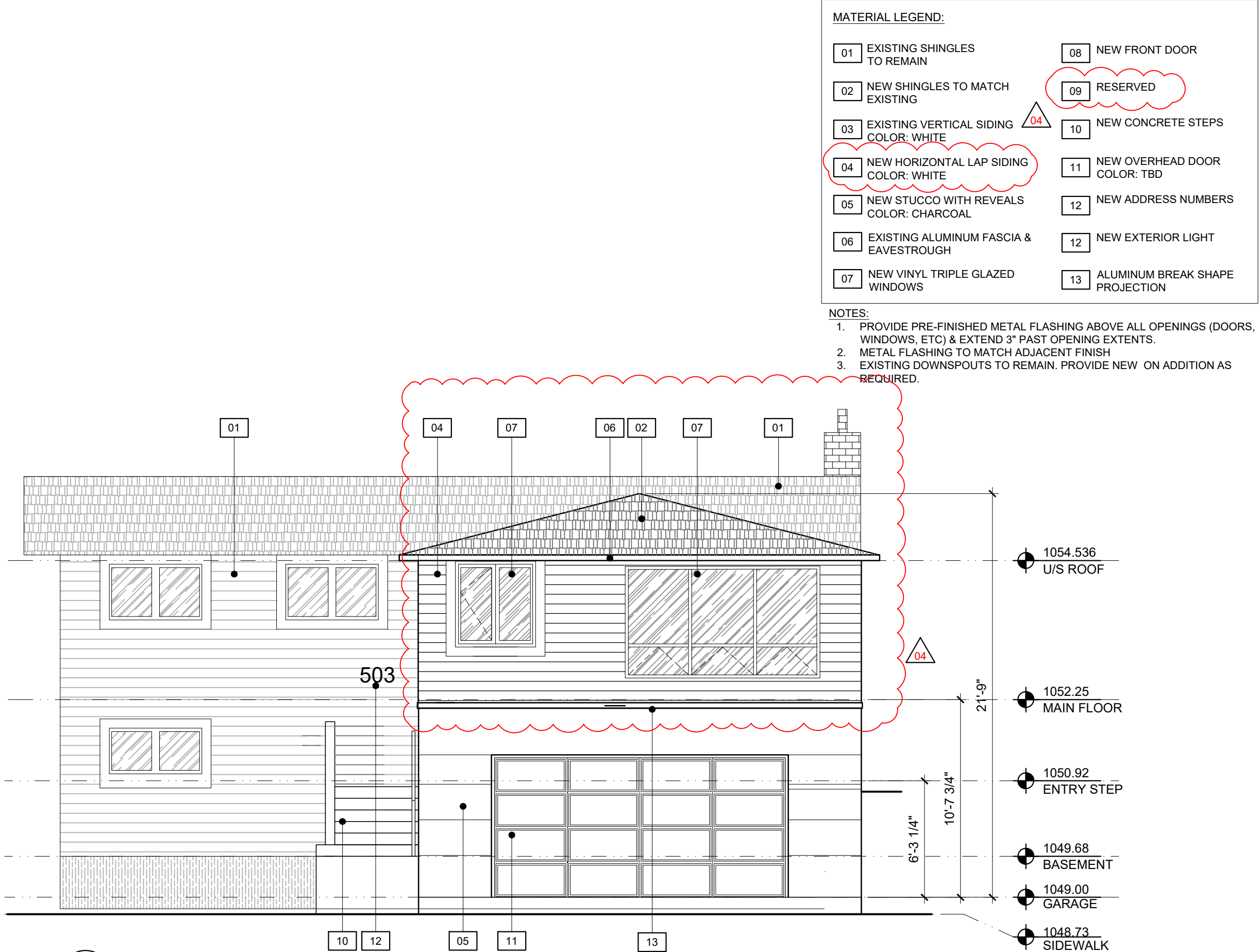
CLIENT

PROJECT
ADDITION &
RENOVATION TO:

503 CANTRELL DR SW
CALGARY, AB

DATE:	DRAWN/CHECKED:
2025.09.22	HR/MB
SCALE:	JOB NO:
AS NOTED	2503

SHEET TITLE
SITE PHOTOS



1 FRONT ELEVATION
A3.0 SCALE: 3/16" = 1'-0"

THIS DRAWING WAS PREPARED BY MILES BURGOWNE DESIGN. FOR OUR CLIENT, NOTED BELOW. THE MATERIAL IN THE DRAWING REFLECTS OUR BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE AT THE TIME OF PREPARATION. THIS DRAWING IS COPYRIGHT OF MILES BURGOWNE DESIGN. AND MAY NOT BE USED WITHOUT WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED TO THE DESIGNER IMMEDIATELY. THIS DRAWING MUST NOT BE SCALED.

REVISIONS:		
NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT
02	2026.05.27	ISSUED FOR BUILDING PERMIT
03	2026.07.03	ISSUED FOR BUILDING PERMIT REVISIONS

CONSULTANTS

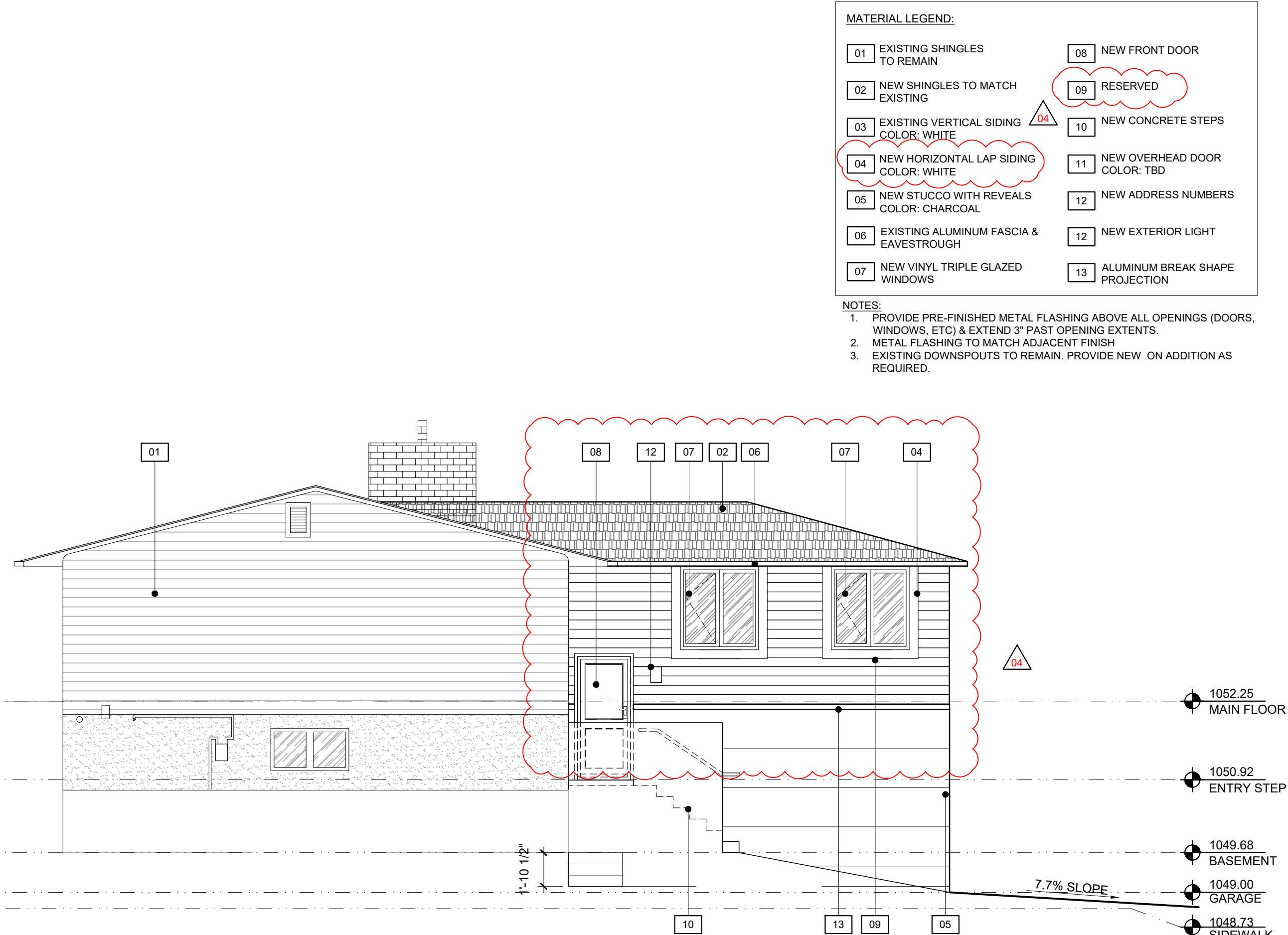
CLIENT

PROJECT
ADDITION & RENOVATION TO:
503 CANTRELL DR SW
CALGARY, AB

DATE: 2025.09.22
DRAWN/CHECKED: HR/MB

SCALE: AS NOTED
JOB NO: 2503

SHEET TITLE
ELEVATIONS



1 SOUTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

THIS DRAWING WAS PREPARED BY MILES BURGUYNE DESIGN. FOR OUR CLIENT, NOTED BELOW. THE MATERIAL IN THE DRAWING REFLECTS OUR BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE AT THE TIME OF PREPARATION.
THIS DRAWING IS COPYRIGHT OF MILES BURGUYNE DESIGN. AND MAY NOT BE USED WITHOUT WRITTEN PERMISSION.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED TO THE DESIGNER IMMEDIATELY.
THIS DRAWING MUST NOT BE SCALED.

REVISIONS:		
NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT
02	2026.05.27	ISSUED FOR BUILDING PERMIT
03	2026.07.03	ISSUED FOR BUILDING PERMIT REVISIONS

CONSULTANTS

CLIENT

PROJECT

ADDITION &
RENOVATION TO:

503 CANTRELL DR SW
CALGARY, AB

DATE:	DRAWN/CHECKED:
2025.09.22	HR/MB

SCALE:	JOB NO:
AS NOTED	2503

SHEET TITLE
ELEVATIONS

MATERIAL LEGEND:

01

EXISTING SHINGLES
TO REMAIN

02

NEW SHINGLES TO MATCH
EXISTING

03

EXISTING VERTICAL SIDING
COLOR: WHITE

04

NEW HORIZONTAL LAP SIDING
COLOR: WHITE

05

NEW STUCCO WITH REVEALS
COLOR: CHARCOAL

06

EXISTING ALUMINUM FASCIA &
EAVESTROUGH

07

NEW VINYL TRIPLE GLAZED
WINDOWS

08

NEW FRONT DOOR

09

RESERVED

10

NEW CONCRETE STEPS

11

NEW OVERHEAD DOOR
COLOR: TBD

12

NEW ADDRESS NUMBERS

12

NEW EXTERIOR LIGHT

13

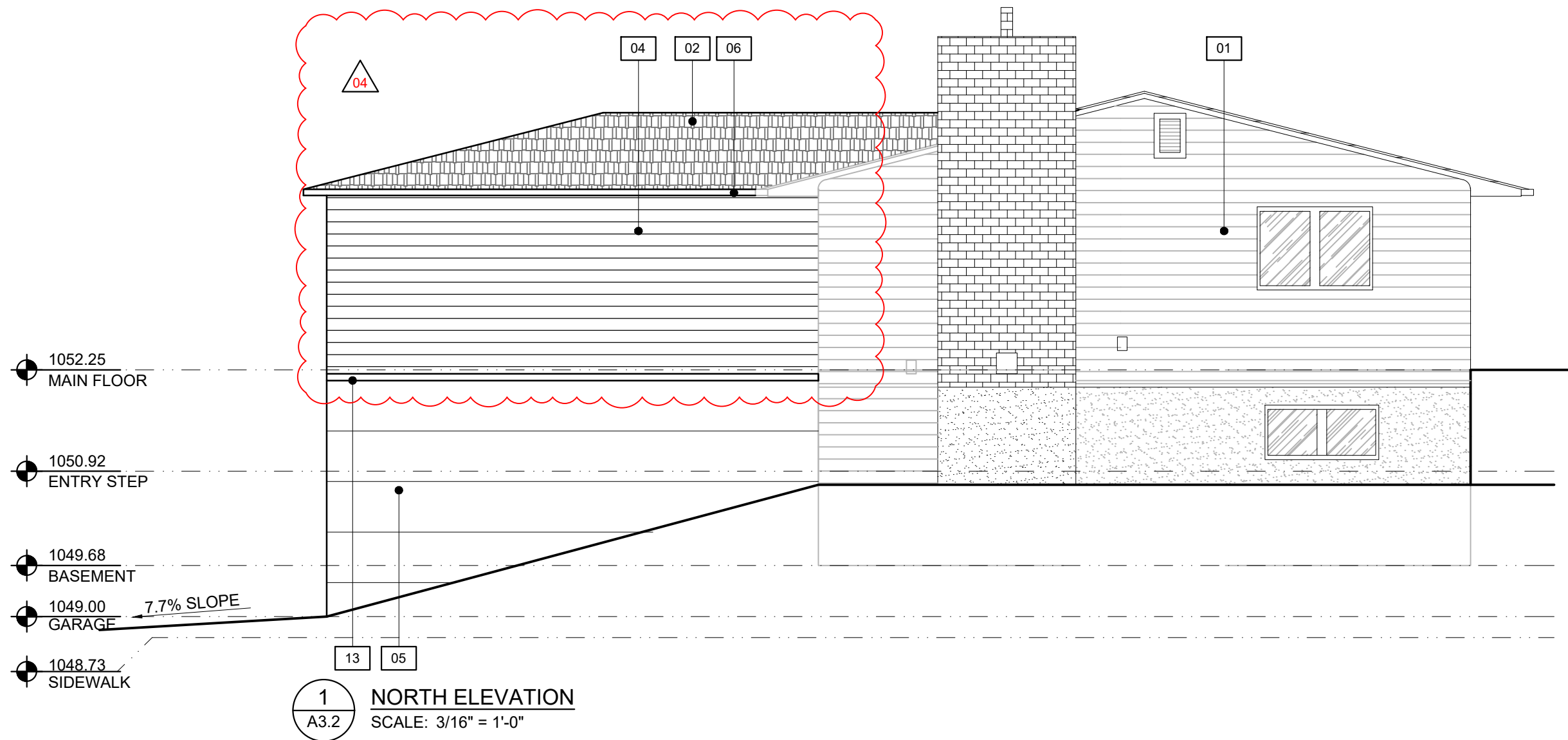
ALUMINUM BREAK SHAPE
PROJECTION

- NOTES:
1.

PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS,
WINDOWS, ETC) & EXTEND 3" PAST OPENING EXTENTS.
2.

METAL FLASHING TO MATCH ADJACENT FINISH
3.

EXISTING DOWNSPOUTS TO REMAIN. PROVIDE NEW ON ADDITION AS
REQUIRED.



miles burgoyne

design + project management

452 12 STREET NW

CALGARY, ALBERTA

T2N 1Y8

O 403 233 8448

ext: 32

C 403 390 9185

milesburgoynedesign@shaw.ca

THIS DRAWING WAS PREPARED BY MILES BURGUYNE DESIGN. FOR OUR CLIENT, NOTED BELOW. THE MATERIAL IN THE DRAWING REFLECTS OUR BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE AT THE TIME OF PREPARATION.

THIS DRAWING IS COPYRIGHT OF MILES BURGUYNE DESIGN. AND MAY NOT BE USED WITHOUT WRITTEN PERMISSION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED TO THE DESIGNER IMMEDIATELY.

THIS DRAWING MUST NOT BE SCALED.

REVISIONS:

NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT
02	2026.05.27	ISSUED FOR BUILDING PERMIT
03	2026.07.03	ISSUED FOR BUILDING PERMIT REVISIONS

CONSULTANTS

CLIENT

PROJECT

ADDITION & RENOVATION TO:

503 CANTRELL DR SW

CALGARY, AB

DATE:

2025.09.22

DRAWN/CHECKED:

HR/MB

SCALE:

AS NOTED

JOB NO:

2503

SHEET TITLE

ELEVATIONS

A3.2