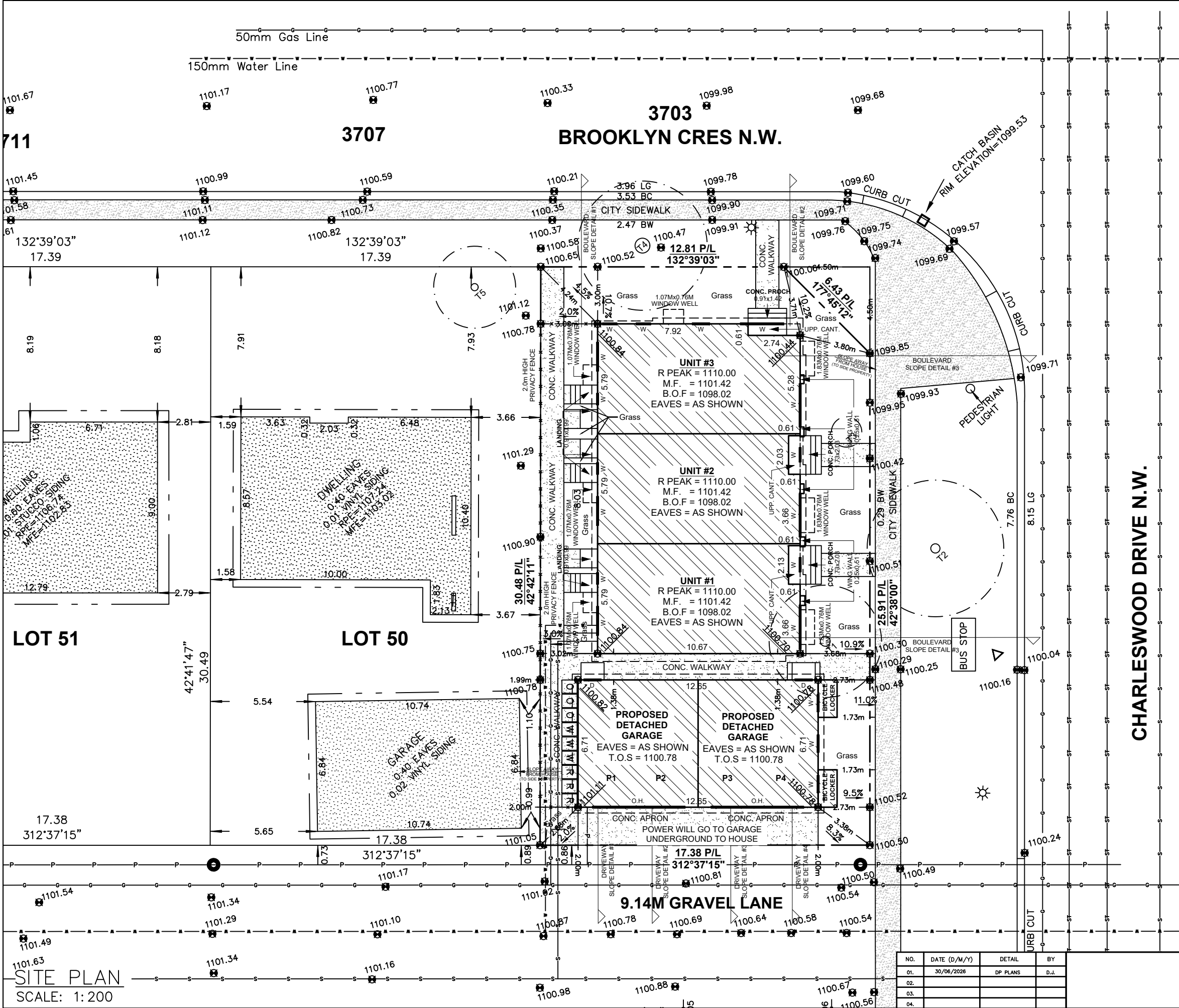




SITE PLAN

- LEGEND**
- ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- denotes Calculation points
 - $\blacksquare$ ----- denotes Water Valve
 - $\blacklozenge$ ----- denotes Gas Valve
 - $\odot$ ----- denotes Manhole
 - $\odot$ ----- denotes Tree
 - $\bullet$ ----- denotes Power Pole
 - $\triangle$ ----- denotes Sign
 - $\odot$ ----- denotes Light Standard
 - X---X--- denotes Fence
 - S--- denotes Sanitary Line
 - ST--- denotes Storm Line
 - W--- denotes Water Line
 - G--- denotes Gas Line
 - E--- denotes Electrical Line
 - A.G.T.--- denotes A.G.T. Line
 - denotes Utility Right of Way Line
 - denotes Property Line
 - denotes Door
 - denotes Main Floor Windows
 - denotes Second Floor Windows
 - denotes Basement Floor Windows
 - denotes Shed Hatch
 - denotes Detached Garage Hatch
 - denotes Main Building Hatch
 - denotes Concrete and Asphalt Hatch
 - denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lot 49
Block 10
Plan 1796 HV

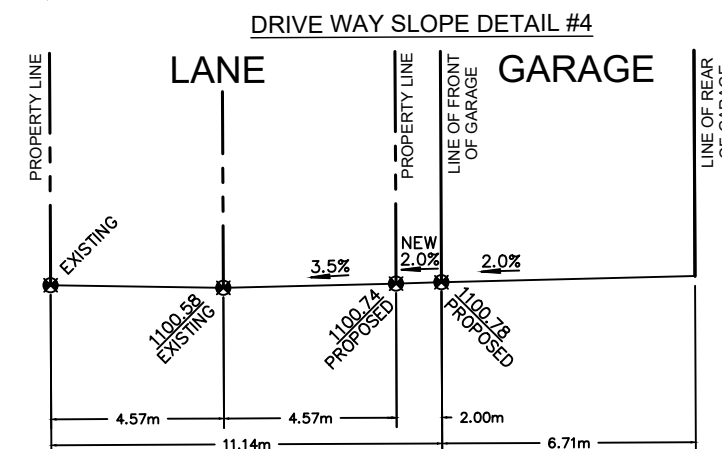
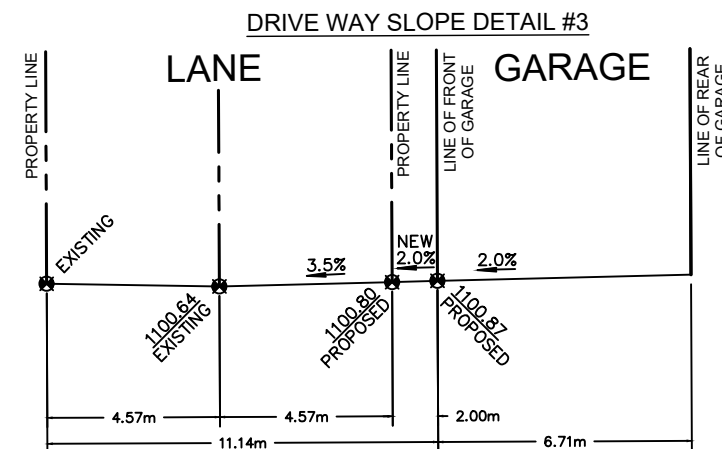
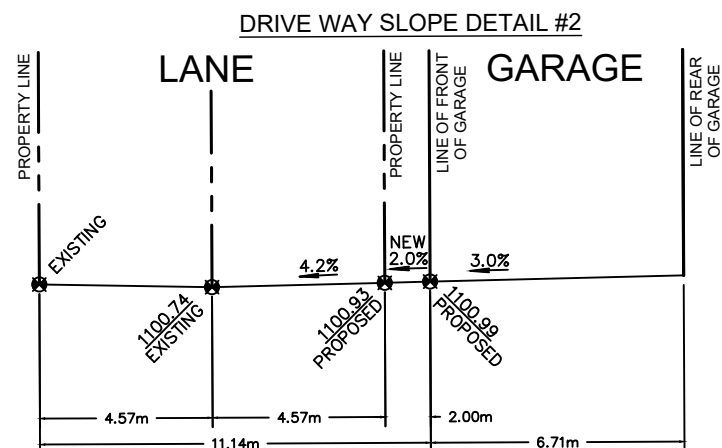
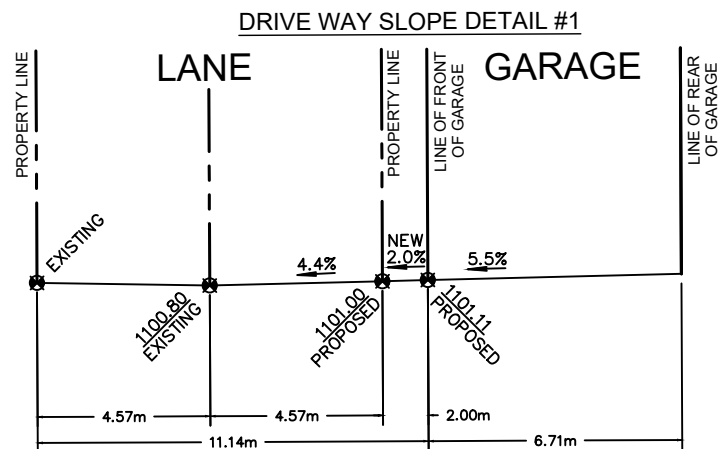
MUNICIPAL ADDRESS:

3703 Brooklyn Cr NW
Calgary, Alberta

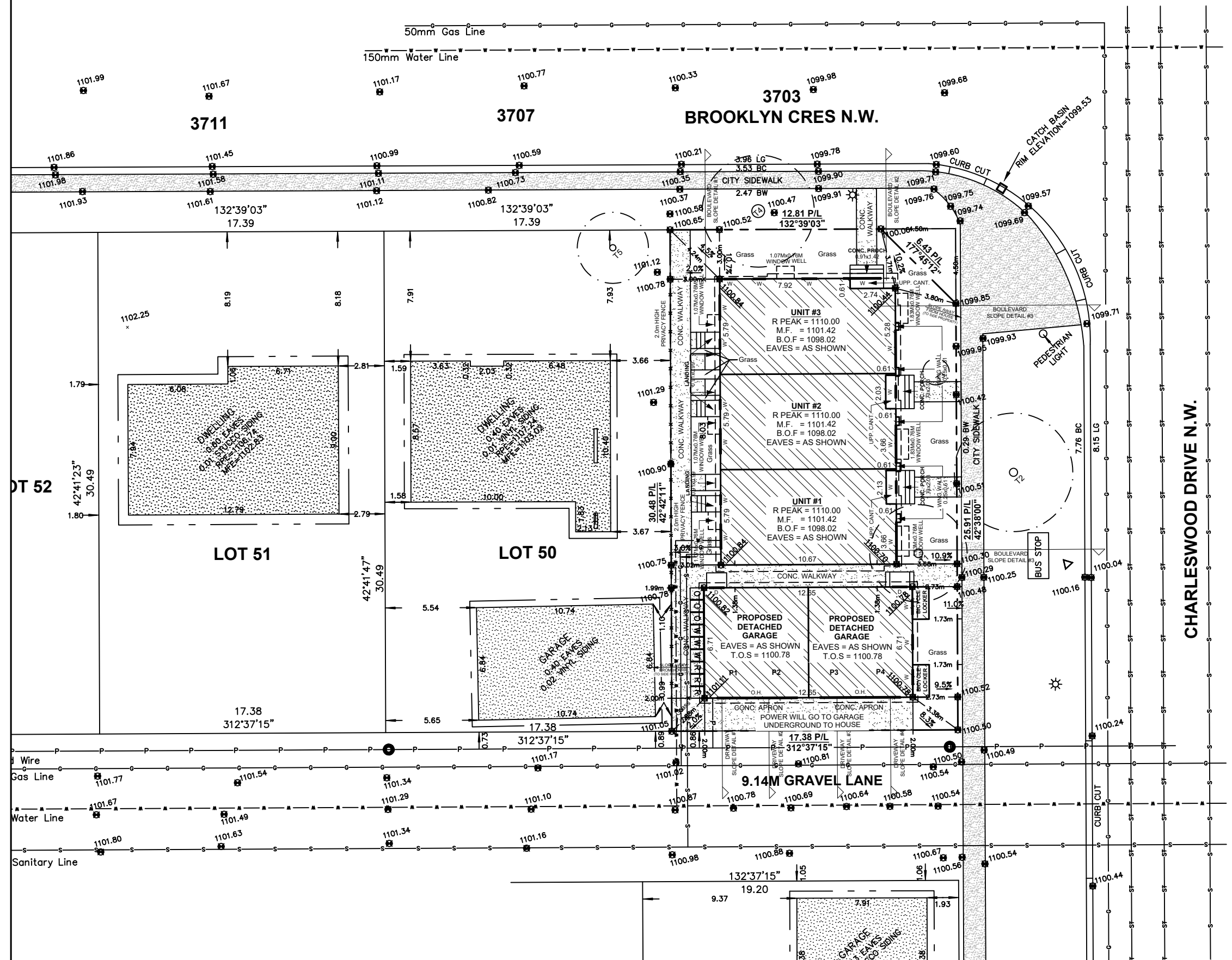
LOT COVERAGE DETAIL: (CLUSTER)	DENSITY:
LOT SIZE: 518.571 SQ M	TOTAL UNITS: 4
HOUSE SIZE: 181.192 SQ M	LOT SIZE: 518.571 SQ M (0.0518571 ha)
CANT.: 0.000 SQ M	DENSITY: 77 UNITS/ha
COVERED PORCH: 4.150 SQ M	PARKING:
GARAGE: 84.820 SQ M	PARKING PROVIDED: 4 STALLS
WINGWALL: 0.650 SQ M	CLASS #1 BIKE STORAGE: 3 STALLS
TOTAL: 270.812/518.571	
= 52.22%	

PROJECT NAME AND ADDRESS: 3703 Brooklyn Cr NW Calgary, Alberta	PROJECT: CLUSTER HOME	SCALE: 1: 200
Lot 49 Block 10 Plan 1796 HV	DATE: JUNE 30, 2026	DIVISION NUMBER: S 01

NO.	DATE (D/M/Y)	DETAIL	BY
01.	30/06/2026	DP PLANS	D.J.
02.			
03.			
04.			



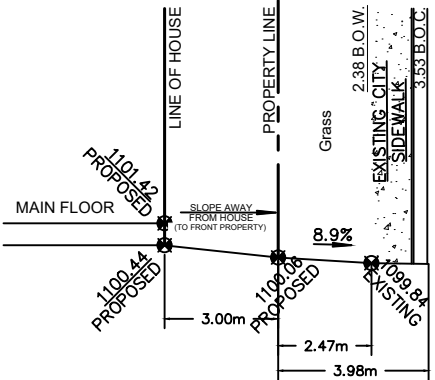
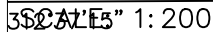
DRIVE WAY SLOPE DETAILS
SCALE: NTS



NO.	DATE (D/M/Y)	DETAIL	BY
01.	30/06/2026	DP PLANS	D.J.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS: 3703 Brooklyn Cr NW Calgary, Alberta		PROJECT: CLUSTER HOME	SCALE: 1: 200
Lot 49 Block 10 Plan 1796 HV		DATE: JUNE 30, 2026	DIVISION: NUMBER S 02

07



CHARLESWOOD DRIVE N.W.

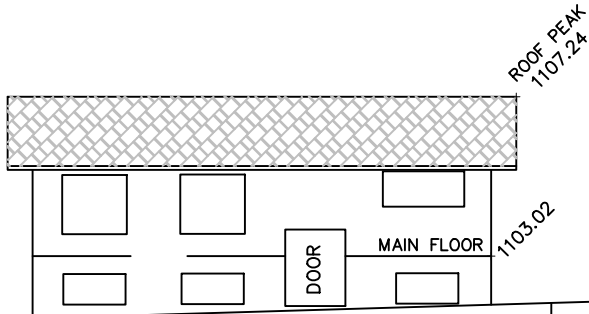
SCALE:
1: 200

DIVISION NUMBER
S 03

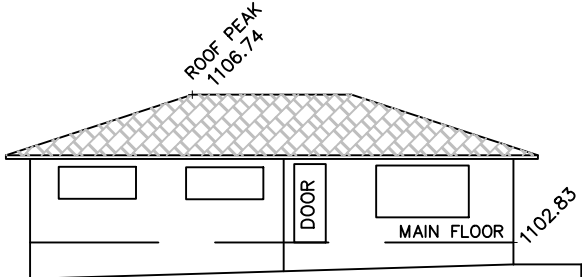
CHARLESWOOD DRIVE N.W.



Main Floor Elev.=1101.42
3703 BROOKLYN CRES N.W.
(LOT 49, BLOCK 10, PLAN 1796 HV)
FACING BROOKLYN CRES N.W.



3707 BROOKLYN CRES N.W.
(LOT 50, BLOCK 10, PLAN 1796 HV)
FACING BROOKLYN CRES N.W.

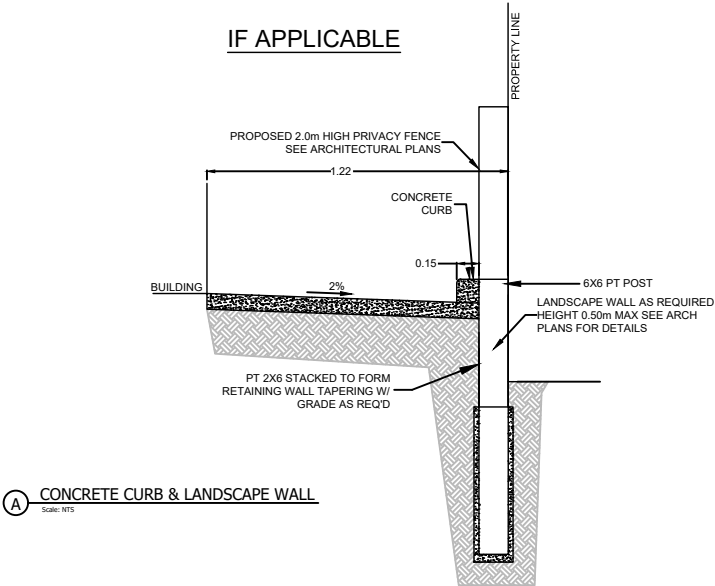


3711 BROOKLYN CRES N.W.
(LOT 51, BLOCK 10, PLAN 1796 HV)
FACING BROOKLYN CRES N.W.

LOT 52

NORTH EAST STREETSCAPE

IF APPLICABLE



CONCRETE CURB & LANDSCAPE WALL

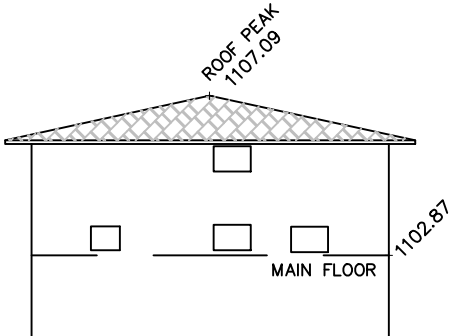
NOTE: USE ON SITE ONLY WHERE APPLICABLE

FENCE SECTION DETAIL

GROSS FLOOR AREAS

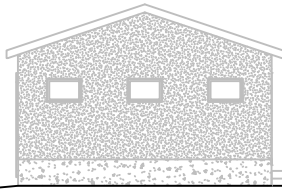
	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA
BASEMENT	665.00 SQ FT	665.00 SQ FT	660.33 SQ FT
MAIN FLOOR	651.57 SQ FT	651.57 SQ FT	647.00 SQ FT
UPPER FLOOR	665.00 SQ FT	665.00 SQ FT	665.00 SQ FT
TOTAL AREA	1316.57 SQ FT	1316.57 SQ FT	1312.00 SQ FT

BRECKEN ROAD N.W.



2704 BRECKEN ROAD N.W.
(LOT 48, BLOCK 10, PLAN 1796 HV)
FACING CHARLESWOOD DRIVE N.W.

NEW DEVELOPMENT
Roof Peak Elev.=1110.00



3703 BROOKLYN CRES N.W.
(LOT 49, BLOCK 10, PLAN 1796 HV)

BROOKLYN CRES N.W.

STREETSCAPE
SCALE: 1: 200

NO.	DATE (D/M/Y)	DETAIL	BY		PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	30/06/2026	DP PLANS	D.J.		3703 Brooklyn Cr NW Calgary, Alberta	CLUSTER HOME	1: 200
02.					Lot 49 Block 10 Plan 1796 HV	DATE:	DIVISION NUMBER
03.						JUNE 30, 2026	S 04
04.							



FLOOR AREA - UNIT#1

BASEMENT = 665.00 SQ. FT.

MAIN = 651.67 SQ. FT.
UPPER = 665.00 SQ. FT.
TOTAL = 1316.67 SQ. FT.

FLOOR AREA - UNIT#2

BASEMENT = 665.00 SQ. FT.

MAIN = 651.67 SQ. FT.
UPPER = 665.00 SQ. FT.
TOTAL = 1316.67 SQ. FT.

FLOOR AREA - UNIT#3

BASEMENT = 660.33 SQ. FT.

MAIN = 647.00 SQ. FT.
UPPER = 665.00 SQ. FT.
TOTAL = 1312.00 SQ. FT.

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections



PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/2026	CONCEPT	D.J.
02.	30/06/2026	DP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:

THREE UNIT ROWHOUSE

STATUS: --

SIGNATURES:

X

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PROJECT NAME:

3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER:

JT

SCALE:

AS SHOWN

JOB

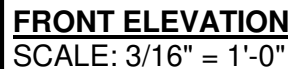
302-26

SHEET:

A-0.0

1	ASPHALT SHINGLES	4	SMART BOARD & BATTEN - DARK GREY	7	VINYL SIDING - LIGHT BROWN	10	CONCRETE PAVING
2	8" ALUM. FASCIA	5	HARDIE BOARD - BLACK FINISH	8	STONE - LIGHT GREY		
3	HARDIE BOARD - WHITE	6	STUCCO FINISH - WHITE	9	CAST IN PLACE CONCRETE		

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 (NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



A-2.0

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUM. FASCIA
- 3

HARDIE BOARD - WHITE
- 4

SMART BOARD & BATTEN - DARK GREY
- 5

HARDIE BOARD - BLACK FINISH
- 6

STUCCO FINISH - WHITE
- 7

VINYL SIDING - LIGHT BROWN
- 8

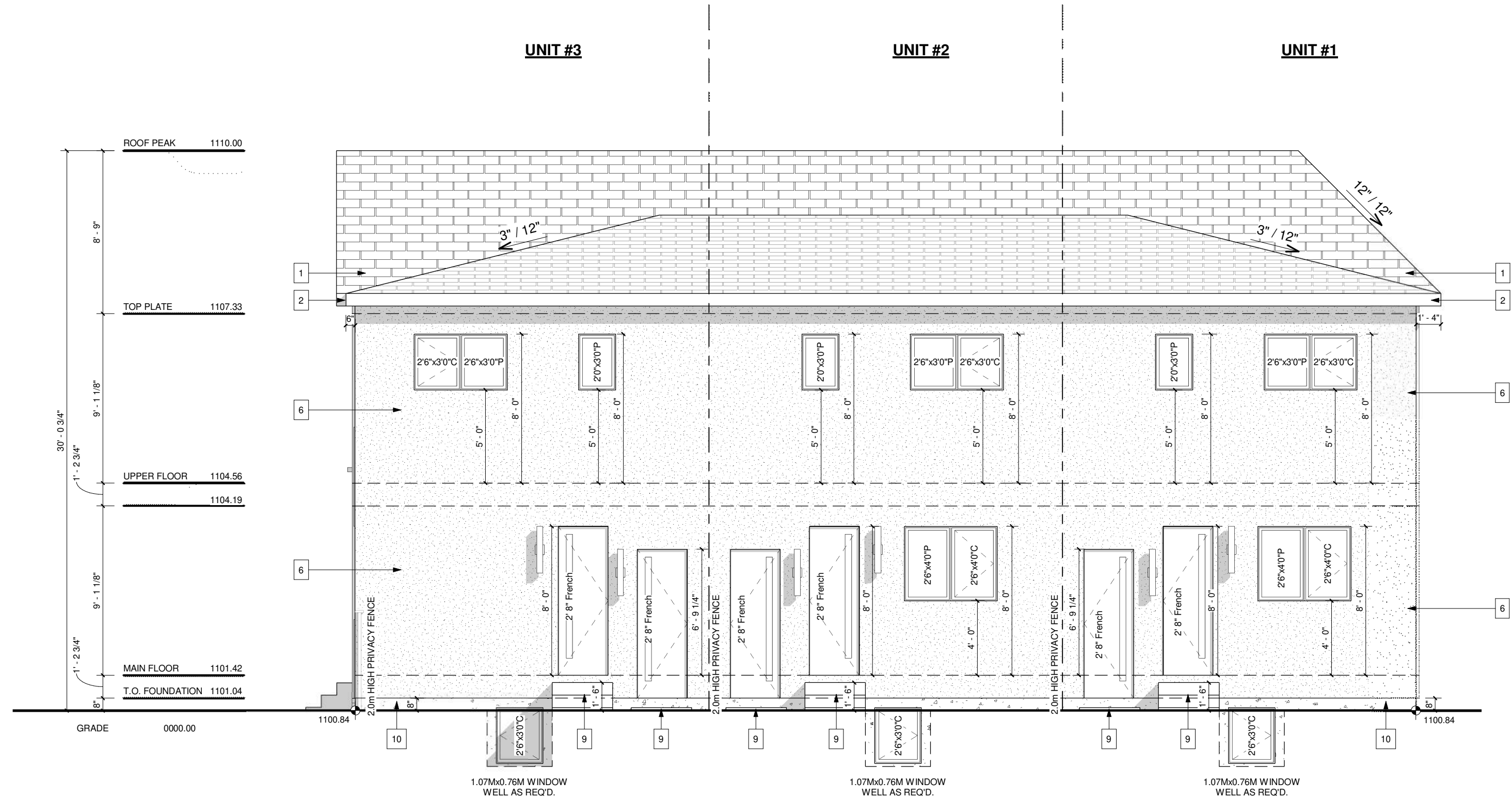
STONE - LIGHT GREY
- 9

CAST IN PLACE CONCRETE
- 10

CONCRETE PARGING

WINDOW CALCULATION:
(3.00m LIMITING DISTANCE)
WALL AREA = 1214.49 SQ. FT.
WINDOW AREA = 241.18 SQ. FT.
TOTAL: 241.18/1214.49 = 19.86%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/2026	CONCEPT	D.J.
02.	30/06/2026	DP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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AUTHORITIES.

PROJECT:

THREE UNIT ROWHOUSE

STATUS:

--

SIGNATURES:

X

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PROJECT NAME:

3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER:

JT

SCALE:

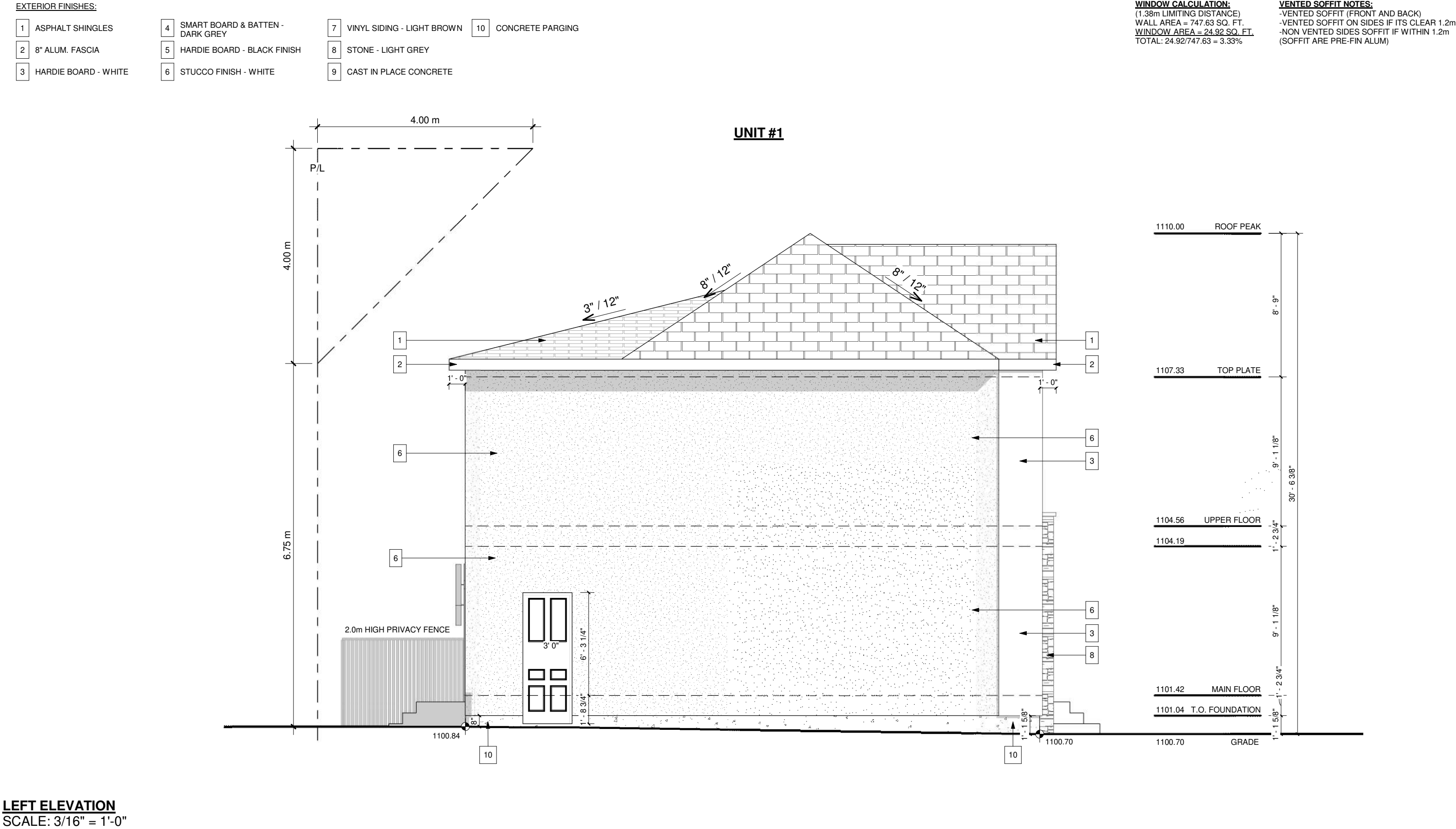
AS SHOWN

JOB

302-26

SHEET:

A-2.1



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

WINDOW CALCULATION:

(1.38m LIMITING DISTANCE)

WALL AREA = 747.63 SQ. FT.

WINDOW AREA = 24.92 SQ. FT.

TOTAL: 24.92/747.63 = 3.33%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)

-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m

-NON VENTED SIDES SOFFIT IF WITHIN 1.2m

(SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/2026	CONCEPT	D.J.
02.	30/06/2026	DP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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RECENT EDITION OF THE NATIONAL BUILDING
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AUTHORITIES.

PROJECT:

THREE UNIT ROWHOUSE

STATUS: --

SIGNATURES:
X

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PROJECT NAME:

3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER: JT

SCALE: AS SHOWN

JOB: 302-26

SHEET: A-2.3

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUM. FASCIA
- 3

HARDIE BOARD - WHITE
- 4

SMART BOARD & BATTEN - DARK GREY
- 5

HARDIE BOARD - BLACK FINISH
- 6

STUCCO FINISH - WHITE
- 7

VINYL SIDING - LIGHT BROWN
- 8

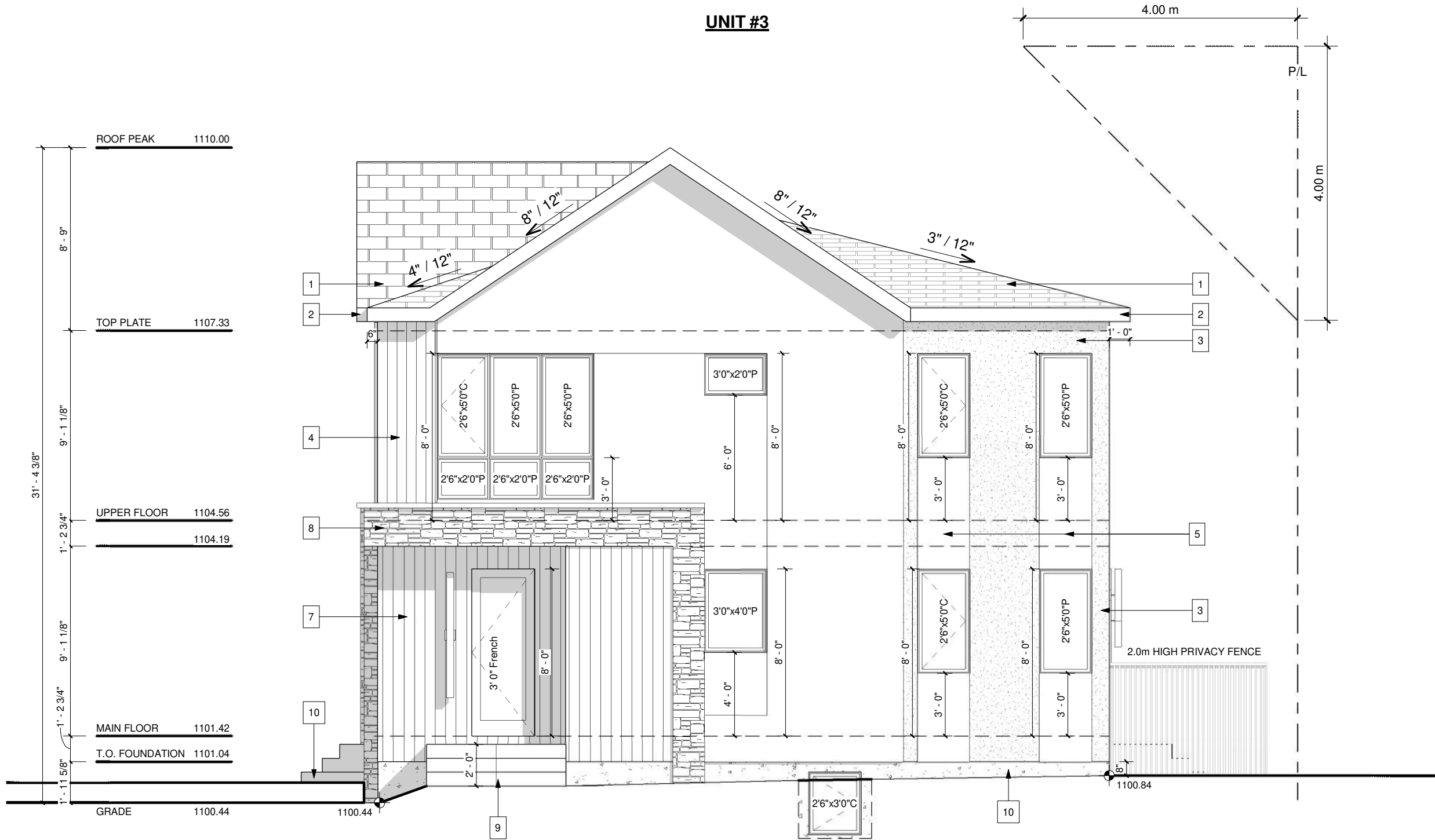
STONE - LIGHT GREY
- 9

CAST IN PLACE CONCRETE
- 10

CONCRETE PARGING

WINDOW CALCULATION:
(6.00m LIMITING DISTANCE)
WALL AREA = 773.67 SQ. FT.
WINDOW AREA = 150.18 SQ. FT.
TOTAL: 150.18/773.67 = 19.41%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:	DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:			
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02.	30/06/2026	DP PLANS	D.J.
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04.	--	--	--
05.	--	--	--

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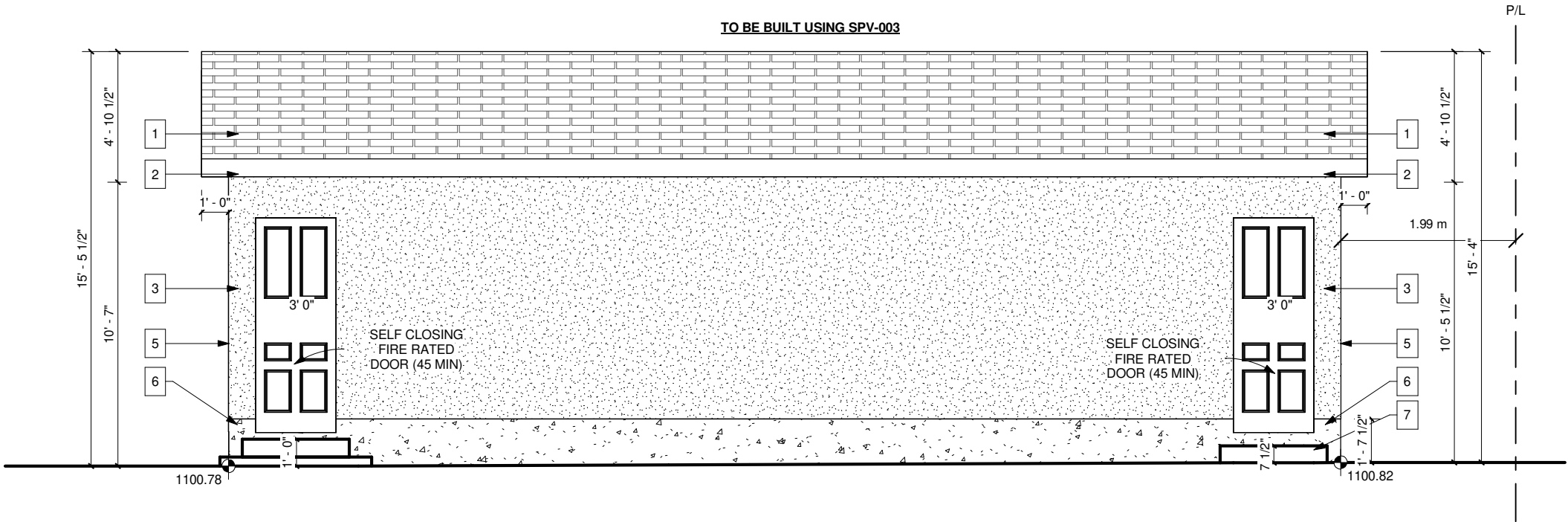
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PROJECT: THREE UNIT ROWHOUSE	
STATUS:	--
SIGNATURES:	X _____
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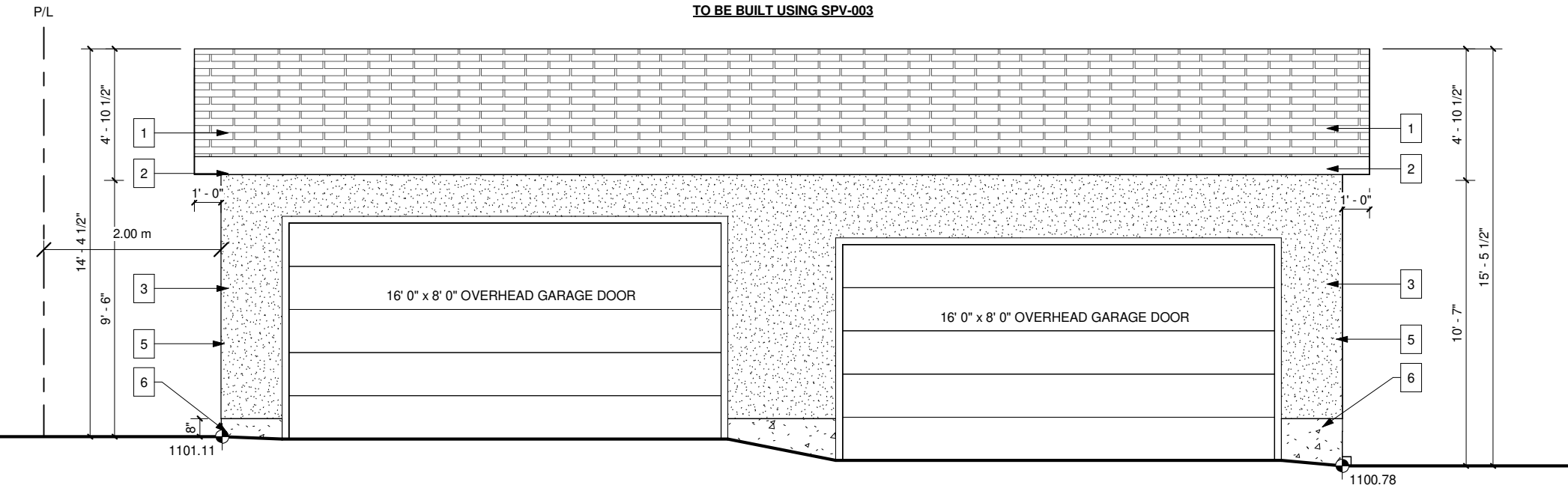
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PROJECT NAME: 3704 Brooklyn Cr N.W. CALGARY, ALBERTA	
DESIGNER: JT	JOB 302-26
SCALE: AS SHOWN	SHEET: A-2.2

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
 - 2 8" FASCIA
 - 3 VINYL SIDING FINISH
 - 4 CONCRETE PAVING



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE FRONT
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

GARAGE TO BE
BUILT USING
SPV-003

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ISSUES:

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03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:
THREE UNIT ROWHOUSE

STATUS: --

SIGNATURES:
X _____

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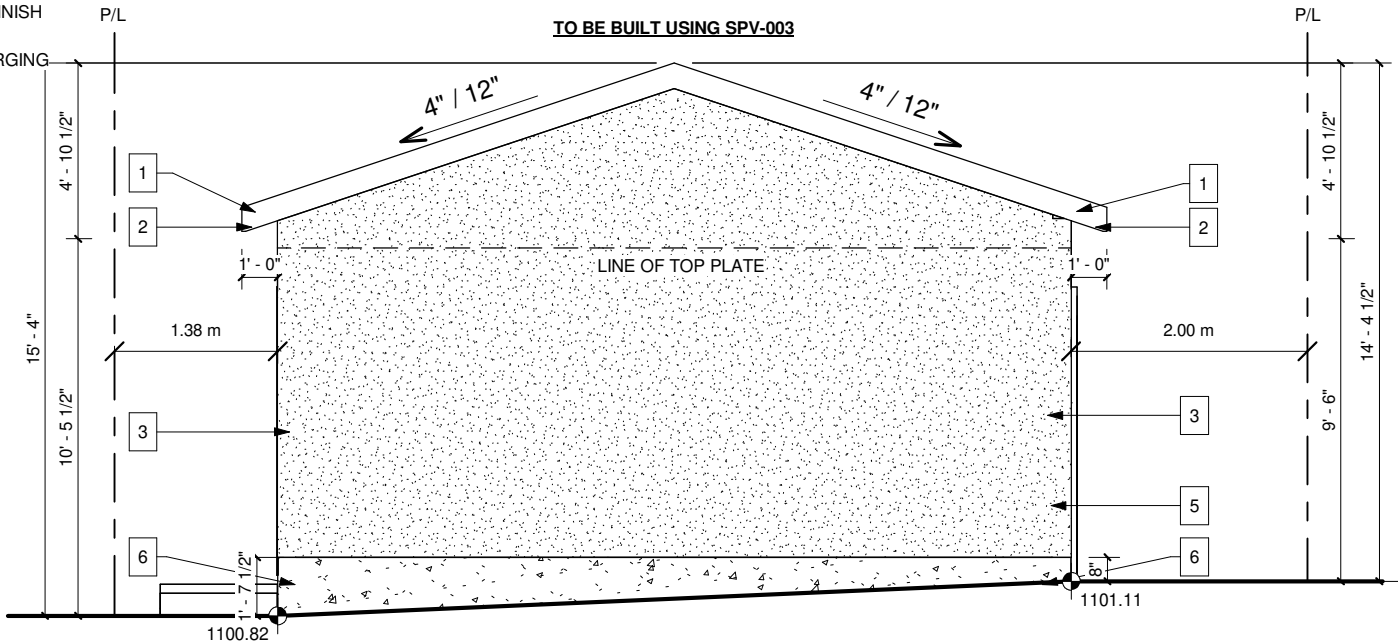
PROJECT NAME:
3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 302-26

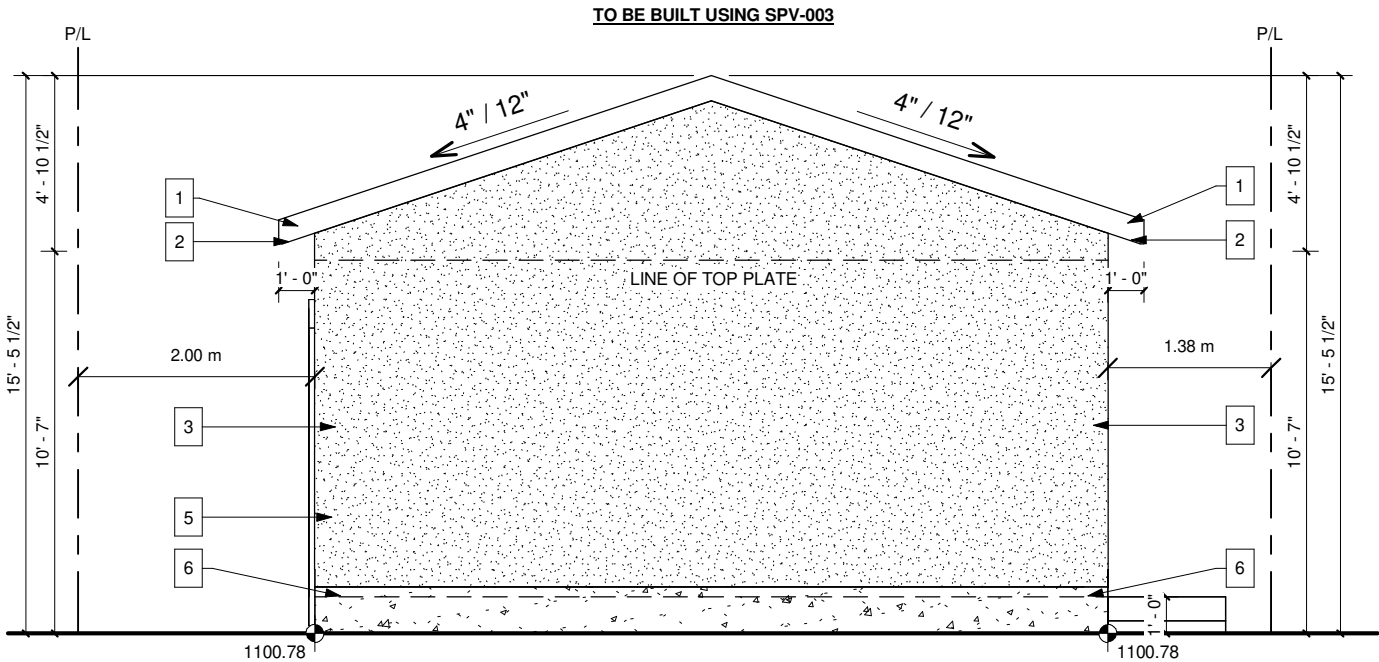
SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

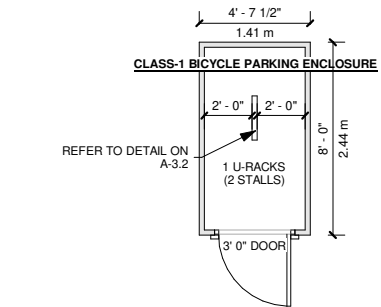
- 1 ASPHALT SHINGLES
- 2 8" FASCIA
- 3 VINYL SIDING FINISH
- 4 CONCRETE PAVING



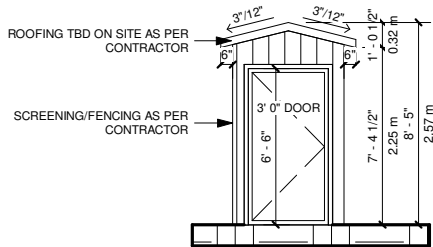
GARAGE LEFT
SCALE: 3/16" = 1'-0"



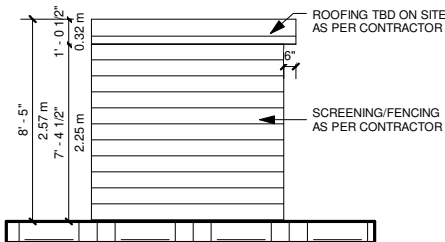
GARAGE RIGHT
SCALE: 3/16" = 1'-0"



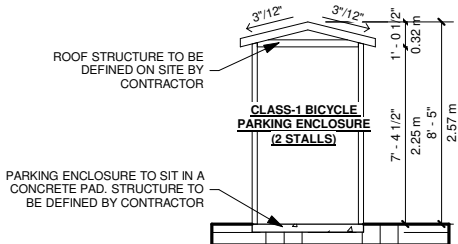
CLASS 1 ENCLOSURE - PLAN
SCALE: 3/16" = 1'-0"



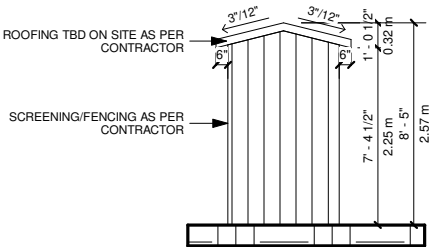
CLASS 1 ENCLOSURE - FRONT ELEV.
SCALE: 3/16" = 1'-0"



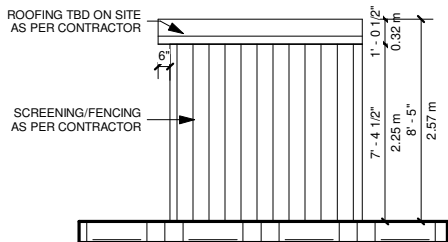
CLASS 1 ENCLOSURE - LEFT ELEV.
SCALE: 3/16" = 1'-0"



CLASS 1 ENCLOSURE - SECTION
SCALE: 3/16" = 1'-0"



CLASS 1 ENCLOSURE - REAR ELEV.
SCALE: 3/16" = 1'-0"



CLASS 1 ENCLOSURE - RIGHT ELEV.
SCALE: 3/16" = 1'-0"



MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27

ULINE
1-LOOP WAVE STYLE BIKE RACK

CLASS 1 U-RACKS DETAIL
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

GARAGE TO BE BUILT USING SPV-003

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/2026	CONCEPT	D.J.
02.	30/06/2026	DP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NATIONAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **THREE UNIT ROWHOUSE**

STATUS: --

SIGNATURES:
X _____

PRINTED: 2026-07-02 11:12:48 AM

PROJECT NAME:
3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 302-26

SCALE: AS SHOWN SHEET: A-3.2