

4_PLEX
7448 21TH STREET S.E.,
CALGARY, ALBERTA
PLAN 955AV, BLOCK 5, LOTS 25 & 26



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-06-17

REVISION DATE : 2026-07-06

LIST OF DRAWINGS:

- G-001 : GENERAL NOTES

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A-002 : EXISTING & PROPOSED SITE PLAN

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A-105 : AREA PLANS
- A-201 : PROPOSED FRONT & REAR ELEVATIONS

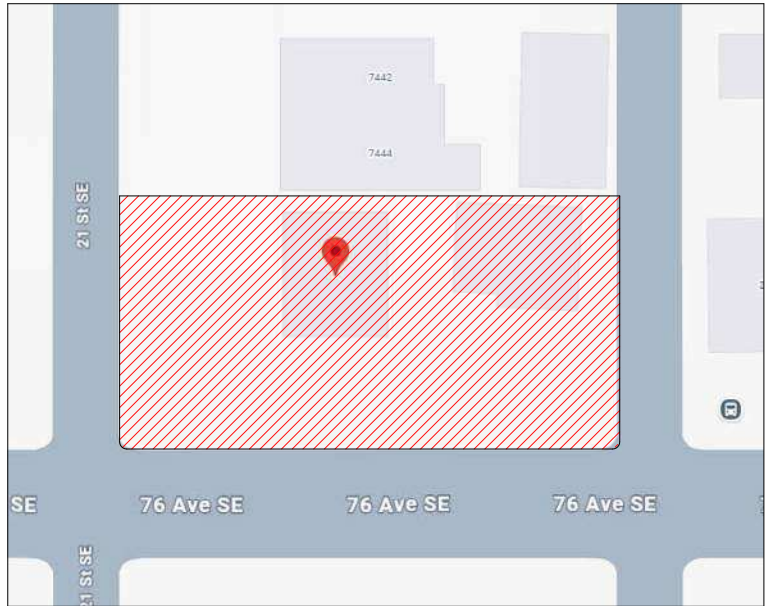
A-202 : PROPOSED RIGHT & LEFT ELEVATIONS

A-301 : PROPOSED BUILDING SECTIONS

A-401 : PROPOSED ACCESSORY BUILDING (GARAGE)

UNIT 1				UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	681.21	63.29		MAIN FLOOR	690.06	64.11
	UPPER FLOOR	732.42	68.04		UPPER FLOOR	731.88	67.99
	TOTAL	1413.63	131.33		TOTAL	1421.94	132.10
	LEGAL SUITE FLOOR	529.84	49.22		LEGAL SUITE FLOOR	566.40	52.62
	GRAND TOTAL	1943.47	180.55		GRAND TOTAL	1988.34	184.72
UNIT 3				UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	687.28	63.85		MAIN FLOOR	685.07	63.65
	UPPER FLOOR	730.27	67.84		UPPER FLOOR	727.72	67.61
	TOTAL	1417.55	131.69		TOTAL	1412.79	131.25
	LEGAL SUITE FLOOR	568.12	52.78		LEGAL SUITE FLOOR	538.87	50.06
	GRAND TOTAL	1985.67	184.47		GRAND TOTAL	1951.66	181.32

KEY PLAN :



PROJECT NO. :

26-1057



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Calgary, AB.
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info@tricordesigns.com
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SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

7448 - 21 STREET S.E., CALGARY, ALBERTA

LEGAL ADDRESS:-

PLAN 955AV , BLOCK 5 , LOTS 25 & 26

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

COVERAGE CALCULATION:

LOT AREA = 604.54m²

MAXIMUM COVERAGE (55%) = 332.50m²

PROPOSED BUILDING COVERAGE = 257.83m²

PROPOSED GARAGE COVERAGE = 71.19 m²

TOTAL PROPOSED COVERAGE = 329.02 m² = 54.42%

PROJECT SETBACK REQUIREMENTS:

1. MINIMUM BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0m.

(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.6m INTO THE FRONT SETBACK AREA)

2. MINIMUM 1.20m REAR SETBACK

3. MINIMUM 1.20m SIDE SETBACK

4. FOR A CORNER PARCEL THE MINIMUM IS 0.60m FROM A SIDE PROPERTY LINE SHARED WITH A STREET.

5. FOR A CORNER PARCEL, THERE IS NO MAX. BLDG. DEPTH WHERE MIN. BLDG. SETBACK FROM SIDE PROPERTY LINE SHARED WITH ANOTHER PARCEL IS 3.0m FOR ANY PORTION OF BLDG.

NOTES:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND	LEGEND	LEGEND	LEGEND

TREE NO.	TREE TYPE	Ø	SPREAD	HEIGHT	LOCATION	REMOVED
1	Bush	---	1.00	1.30	In Subject Property	REMOVED
2	Bush	---	1.00	2.00	In Subject Property	REMOVED
3	Coniferous	0.35	5.00	10.00	In Subject Property	REMOVED
4	Coniferous	0.35	6.00	10.00	In Subject Property	REMOVED
5	Bush	---	1.50	2.00	In Subject Property	REMOVED
6	Bush	---	0.70	1.50	In Subject Property	REMOVED
7	Bush	---	1.00	1.50	In Subject Property	REMOVED
8	Bush	---	0.50	1.50	In Subject Property	REMOVED
9	Bush	---	0.50	1.50	In Subject Property	REMOVED
10	Bush	---	3.00	3.00	In Subject Property	REMOVED
11	Bush	---	1.00	2.00	In Subject Property	REMOVED
12	Bush	---	1.50	1.50	In Subject Property	REMOVED
13	Coniferous	0.40	6.50	10.00	In Subject Property	REMOVED

NOTES:

- BUILDING READY FOR SOLAR PANEL INSTALLATION.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.

- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

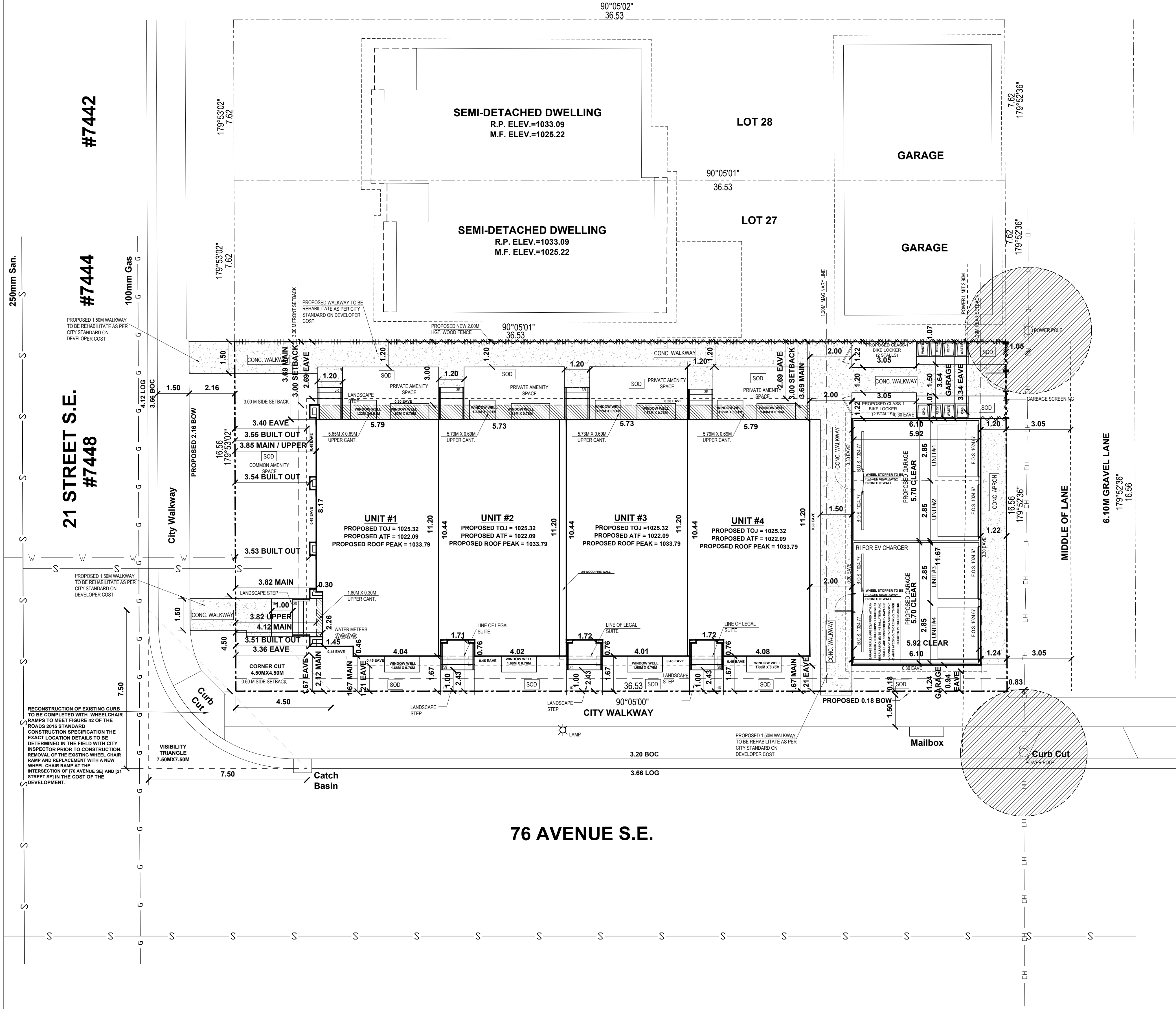
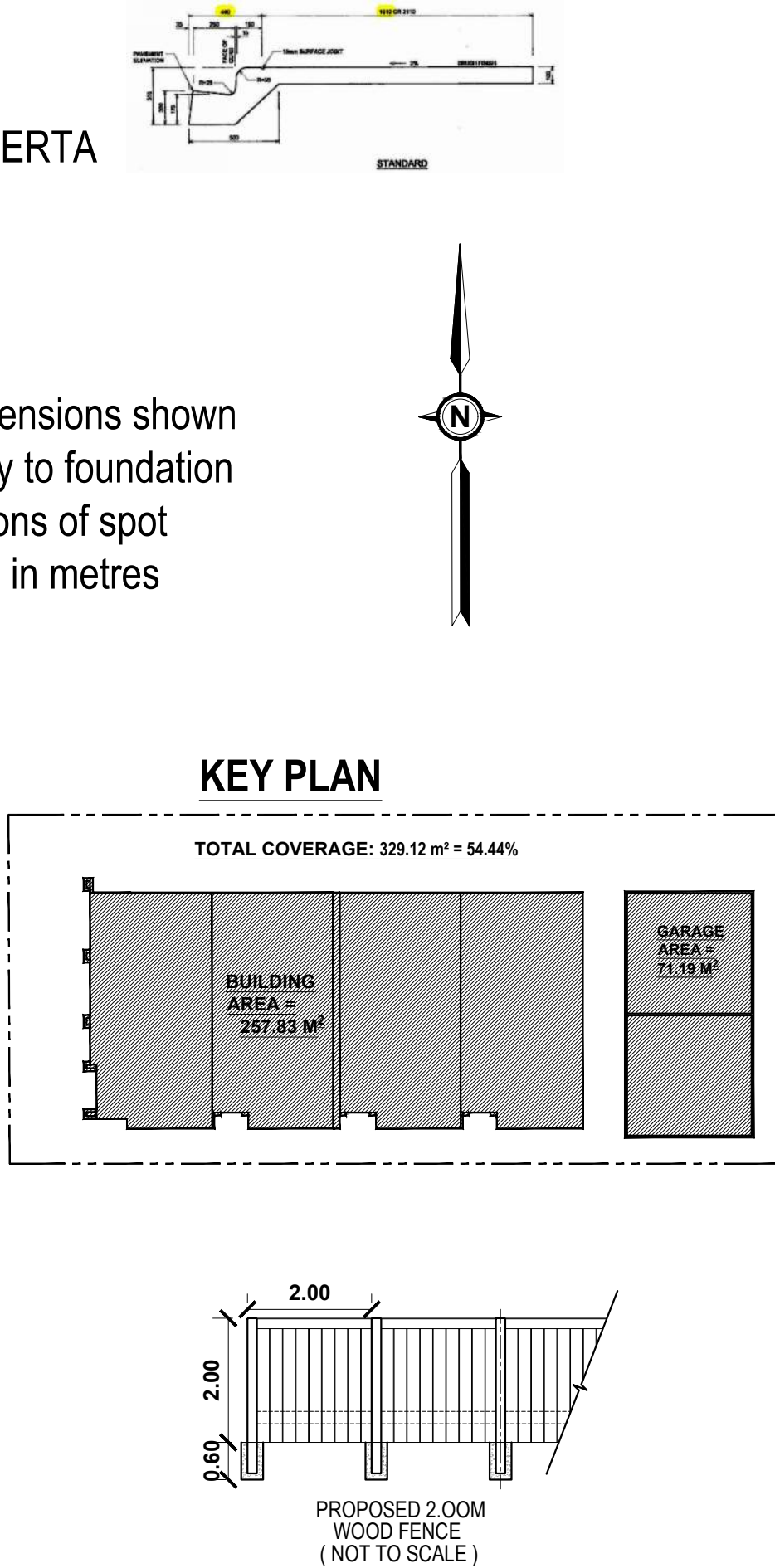
- FOR A 1.5M MONOLITHIC SIDEWALK WITH A LOW PROFILE ROLLED CURB. THE ACTUAL SIDEWALK WIDTH IS 1.50M. REFER TO THE 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS.

- EXISTING, UNUSED DRIVEWAY / SIDEWALK CROSSINGS AND CURB CUTS ARE TO BE "CLOSED, REMOVED AND REHABILITATED AS PER THE CITY OF CALGARY 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS, AT THE EXPENSE OF THE DEVELOPER.

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.

- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.

- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.



DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202, 4216 18th STREET NE

CALGARY, AB

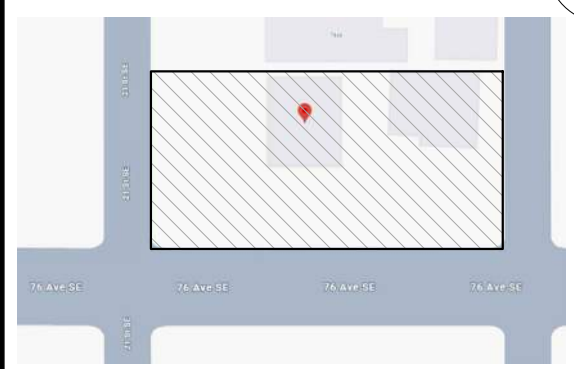
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KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-07-06	CLIENT CHANGES	M.A/R.E	A.K

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-17	DEVELOPMENT PERMIT SET	R.N/E.R	E.Z/E.R

THE CLIENT:

ACCORD HOMES LTD.

PROJECT:

4_PLEX

ADDRESS:

7448 21TH STREET S.E.,
CALGARY, ALBERTA
PLAN 955AV, BLOCK 5, LOTS 25 & 26

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO.:

26-1057

CHECKED BY:

A.K

DATE:

2026-07-06

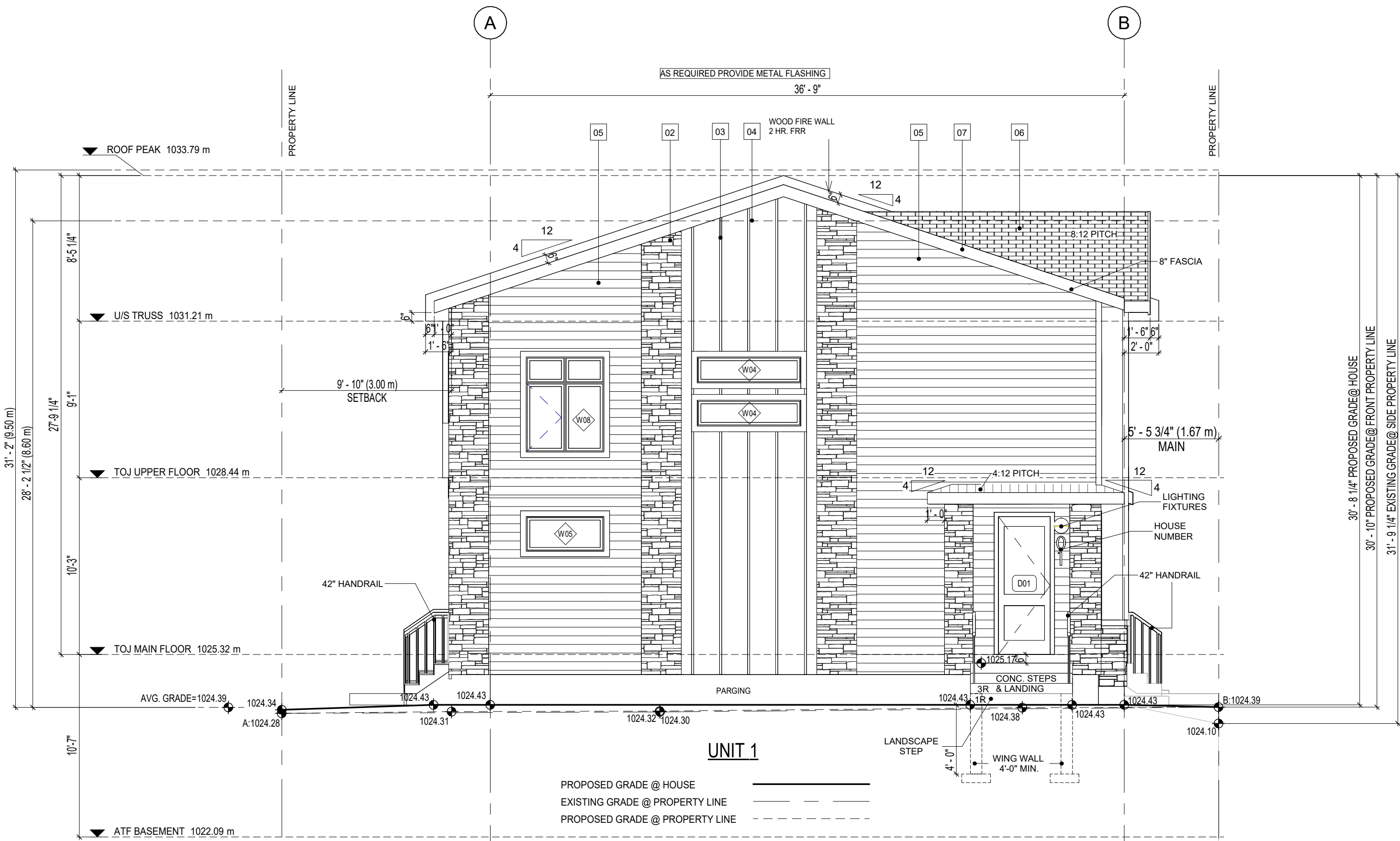
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M.A/R.E

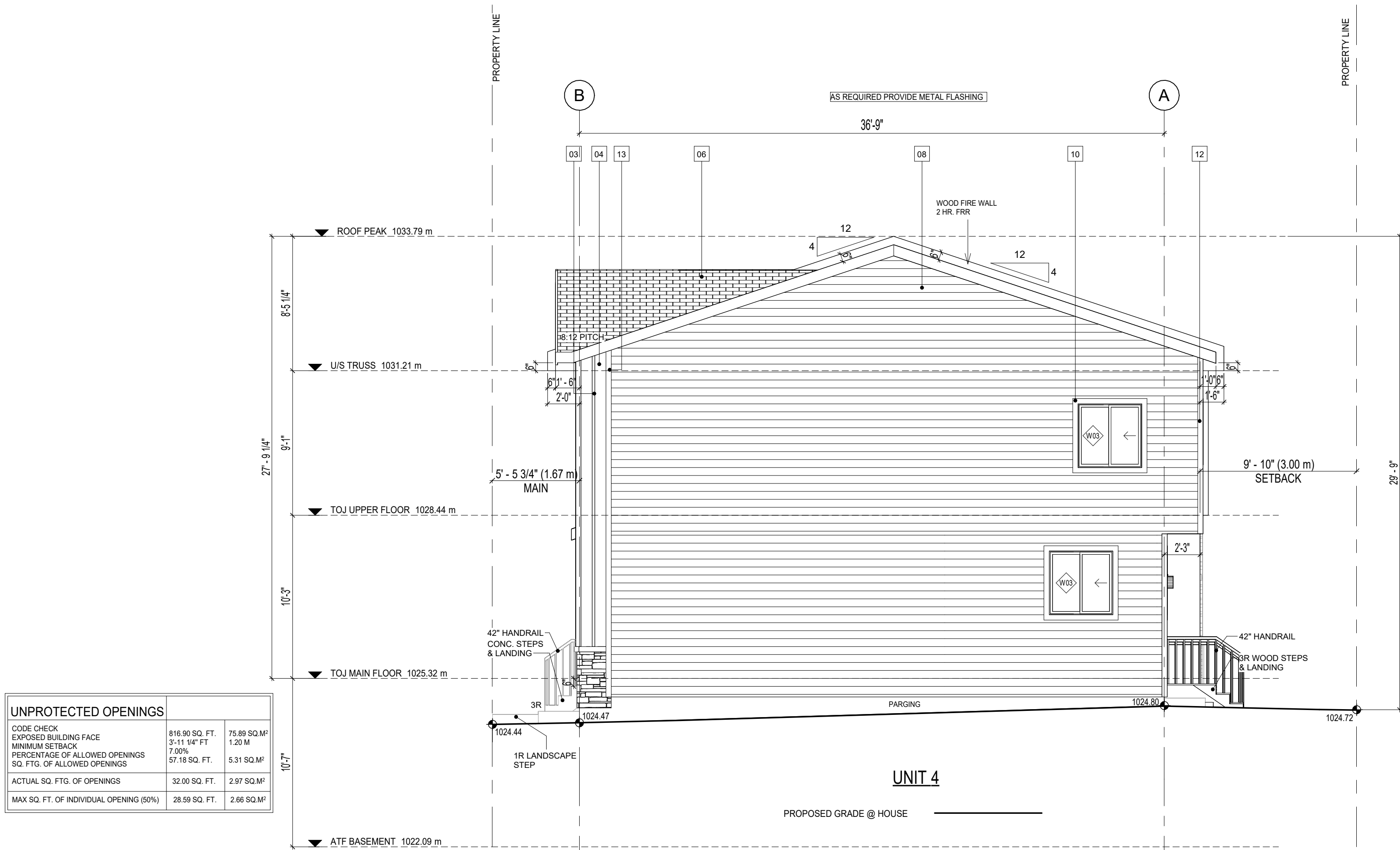
SCALE:

1:100

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	CORNER BOARD 4" WHITE
02	STONE VENEER BLACK
03	1.5" BATTEN
04	BOARD AND BATTEN
05	HORIZONTAL SIDING WHITE - HARDIE
06	ASPHALT SHINGLES
07	PRE-FINISHED METAL FASCIA
08	HORIZONTAL SIDING GRAY - HORIZONTAL HARDIE
09	METAL ROOF
10	4" TRIM DARK GRAY
11	SMART BOARD GRAY
12	CORNER BOARD 4" GRAY
13	4" TRIM



1 PROPOSED FRONT (WEST) ELEVATION
3/16" = 1'-0"



UNPROTECTED OPENINGS		
CODE CHECK	816.90 SQ. FT.	75.89 SQ.M²
EXPOSED BUILDING FACE	3'-11 1/4" FT	1.20 M
MINIMUM SETBACK	7.00%	
PERCENTAGE OF ALLOWED OPENINGS	57.18 SQ. FT.	5.31 SQ.M²
SQ. FTG. OF ALLOWED OPENINGS	32.00 SQ. FT.	2.97 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	28.59 SQ. FT.	2.66 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)		

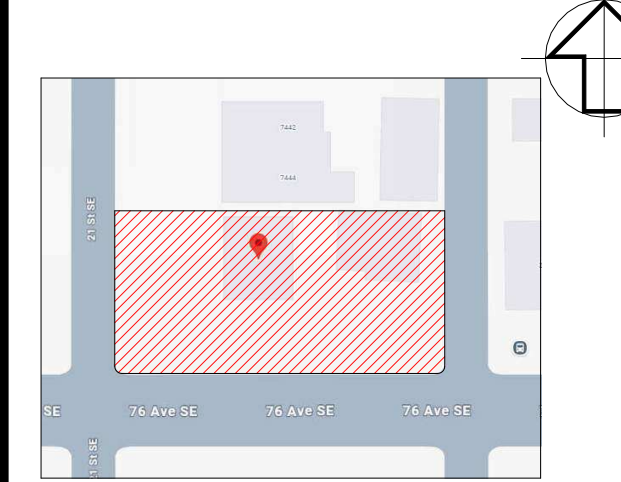
2 PROPOSED REAR (EAST) ELEVATION
3/16" = 1'-0"

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TRICOR
DESIGN GROUP

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-07-08	CLIENT CHANGES	M.A.R.E	A.K
02				
03				
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05				
06				
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ISSUES:

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01	2026-06-17	DEVELOPMENT PERMIT SET	R.E.R.N	E.Z.E.R
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THE CLIENT:

ACCORD HOMES LTD.

PROJECT:

4_PLEX

ADDRESS:

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PLAN 955AV, BLOCK 5, LOTS 25 & 26

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

PROJECT NO.:

26-1057

CHECKED BY:

A.K

DATE:

2026-07-08

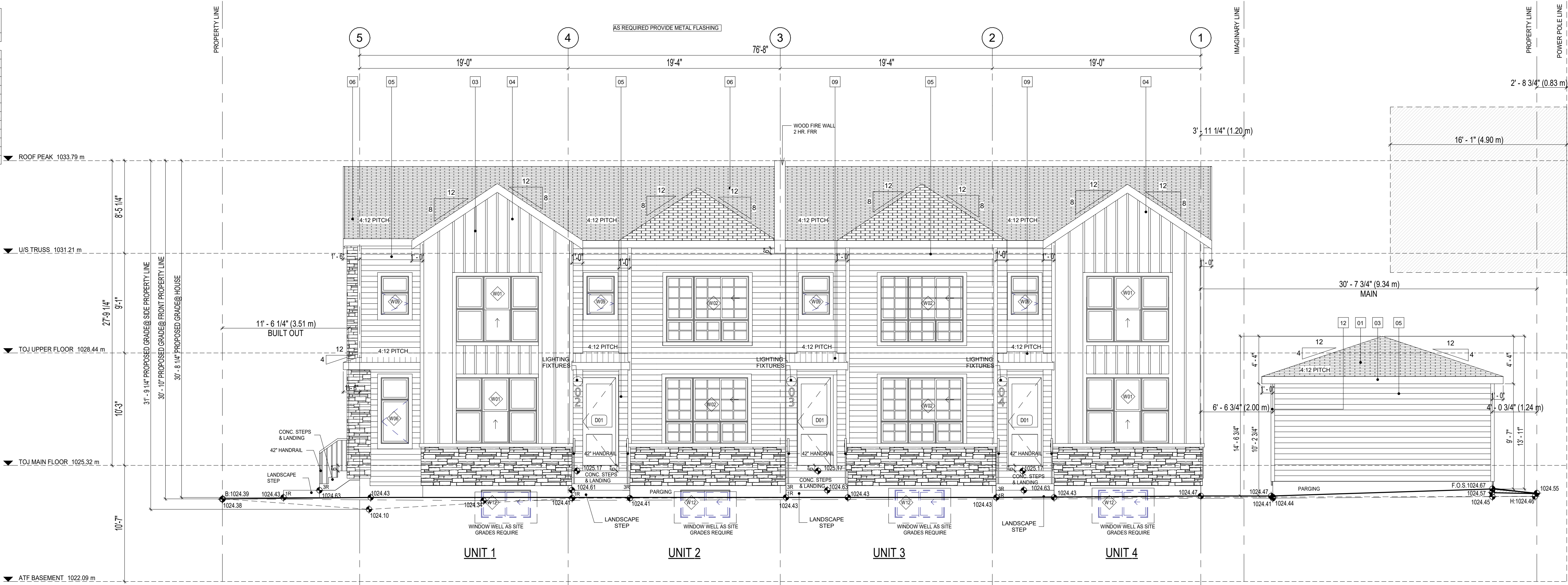
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M.A.R.E

SCALE:

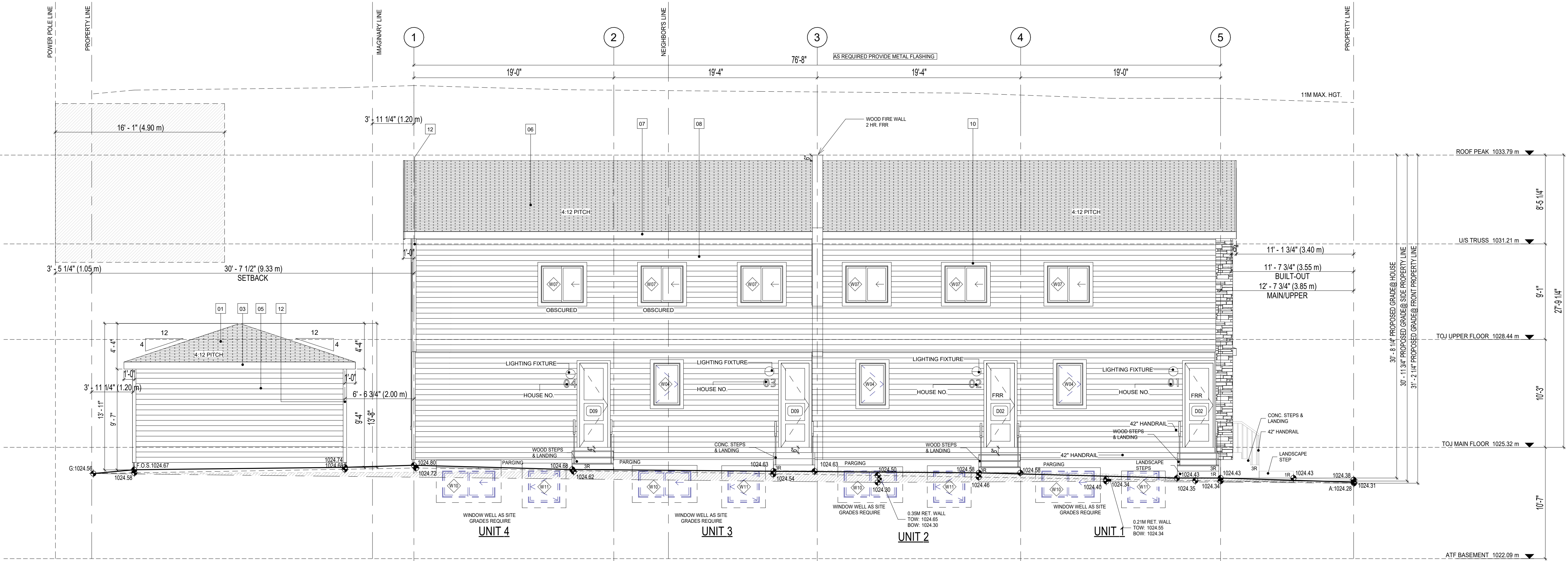
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MARK	NAME
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10	4" TRIM DARK GRAY
11	SMART BOARD GRAY
12	CORNER BOARD 4" GRAY
13	4" TRIM



1 PROPOSED RIGHT (SOUTH) ELEVATION
3/16" = 1'-0"

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE



2 PROPOSED LEFT (NORTH) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS(INC. 2 DOORS)	
CODE CHECK	1584.30 SQ. FT. 136.47 SQ. M ²
EXPOSED BUILDING FACE	9'-10" T ¹ 3.00 M
MINIMUM SETBACK	10.00% T ¹
PERCENTAGE OF ALLOWED OPENINGS	158.42 SQ. FT. 15.65 SQ. M ²
SQ. FTG. OF ALLOWED OPENINGS	
ACTUAL SQ. FTG. OF OPENINGS	158.35 SQ. FT. 14.52 SQ. M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	84.21 SQ. FT. 7.82 SQ. M ²

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

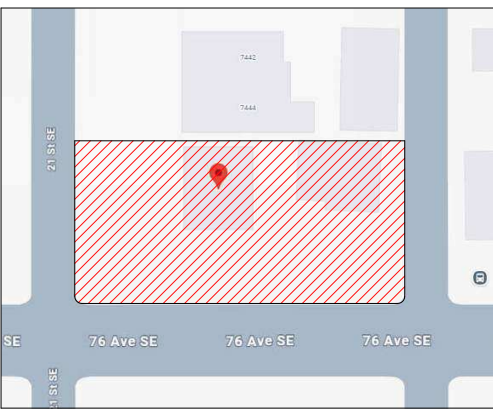
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KEY PLAN



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PLAN 955AV, BLOCK 5, LOTS 25 & 26

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO.:

CHECKED BY:

DATE:

A.K

2026-07-08

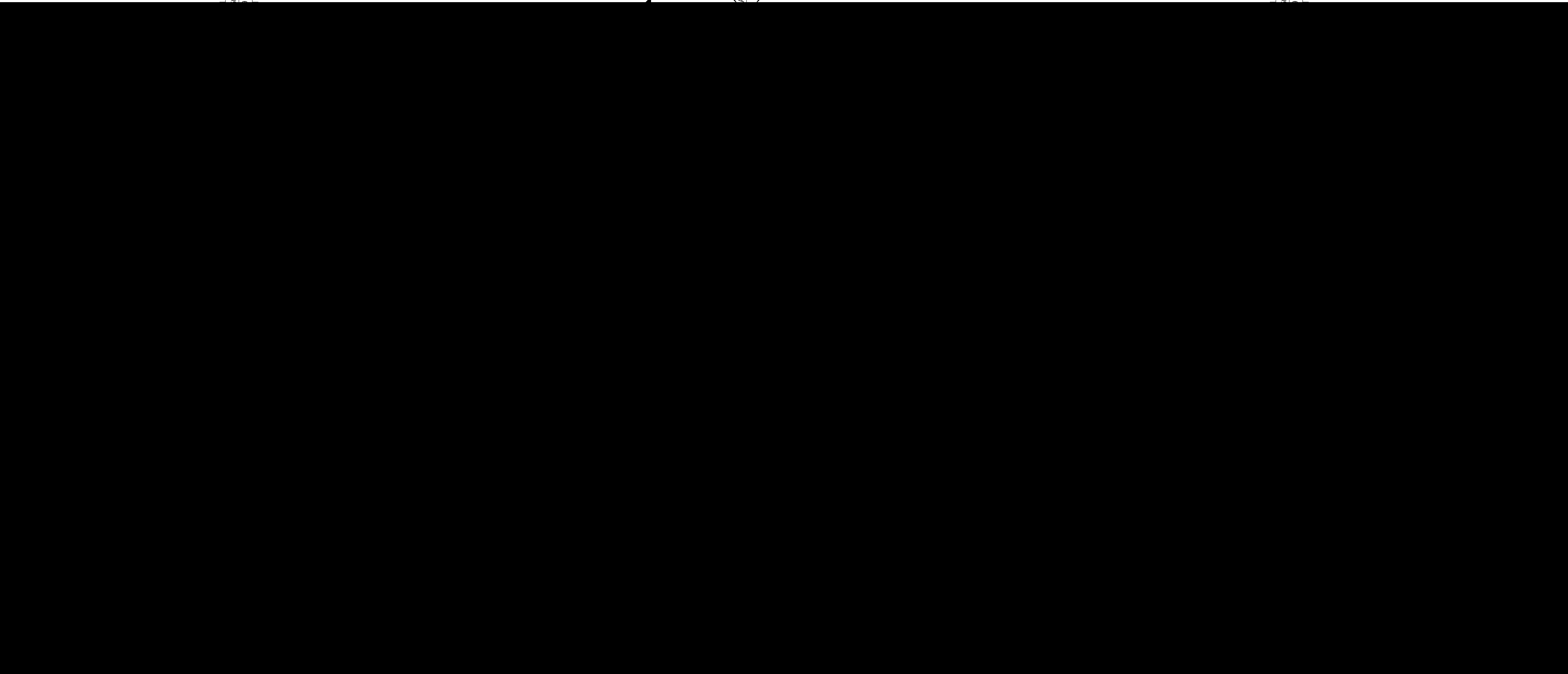
26-1057

DRAWN BY:

SCALE:

3/16" = 1'-0"

NOTE: FOLLOW ENGINEERING DESIGN FOR SIZES AND SPECS



NOTE
GARAGE TO BE BUILT AS PER VARIANCE (SPV003)

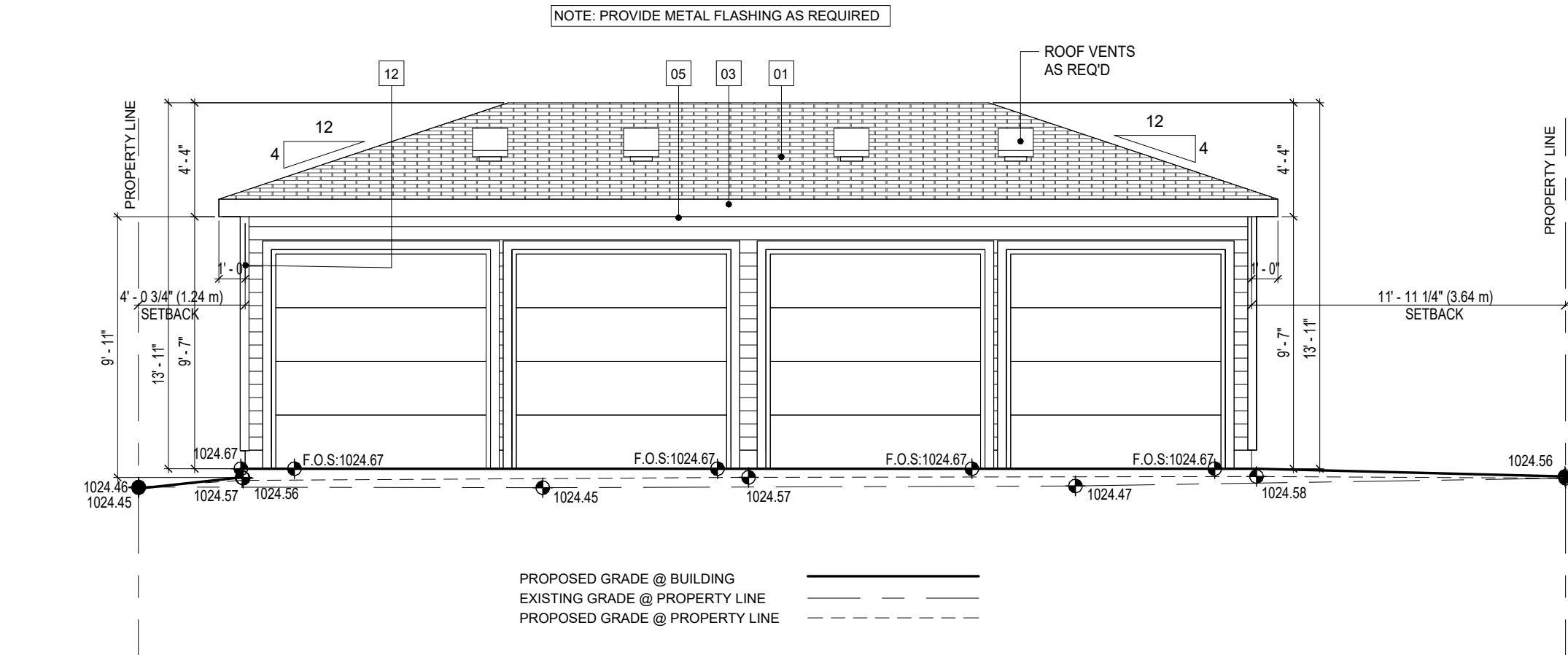
GR-1
ROOF AND CEILINGS
-ASPHALT SHINGLE ROOFING AS SPEC'D
-BUILDING PAPER
-1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.
-APPROVED WOOD TRUSSES @ 24" O/C
(EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)(2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
-MIN R35 LOOSE FILL/ OR CELLULOSE INSUL.
-VAPOUR BARRIER (6 MIL POLY)
-5/8" TYPE 'X' DRYWALL

GF-4
GARAGE SLAB
4" DURACRETE CONC. SLAB
5" COMP. GRAVEL (SLOPE 4")
(EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

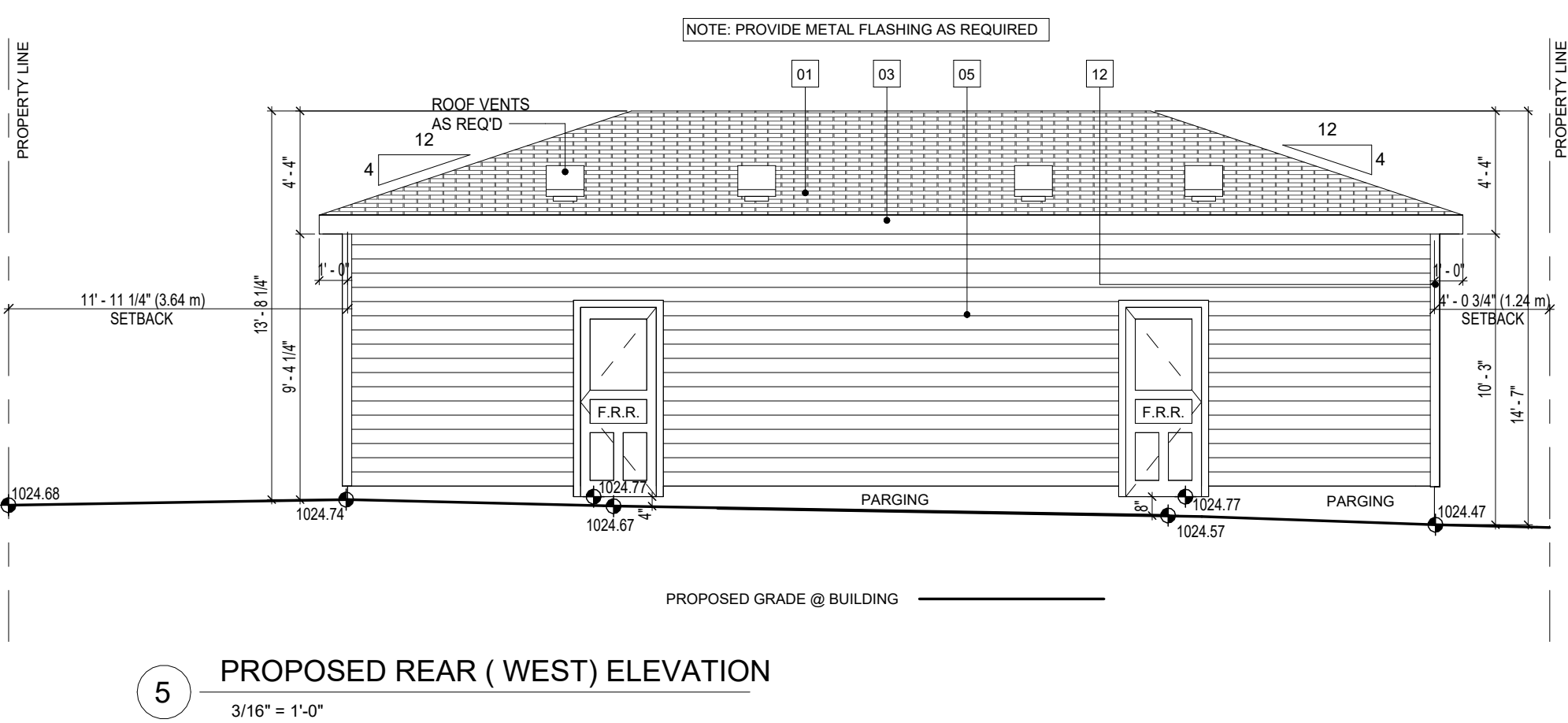
GW-13
EXTERIOR WALLS AS PER SPV 003
UL U465, ULC W415 1-HOUR
- 1-LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
- SINGLE PLY AIR BARRIER
- MINIMUM 38MM X 89MM (2" X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC – AE
- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

W-7
(W13-A) 1HR FRR STC-57
- 5/8" TYPE 'X' DRYWALL
- 6 MIL POLY V-B
- 2X4 STUDS ON EDGE @ 24" OC
- 6 MIL POLY V-B
- 5/8" TYPE 'X' DRYWALL
NOTE
- SOIL BEARING CAPACITY 2000 # FT²
- DOORS TO 45 MIN. FRR AND SELF CLOSING

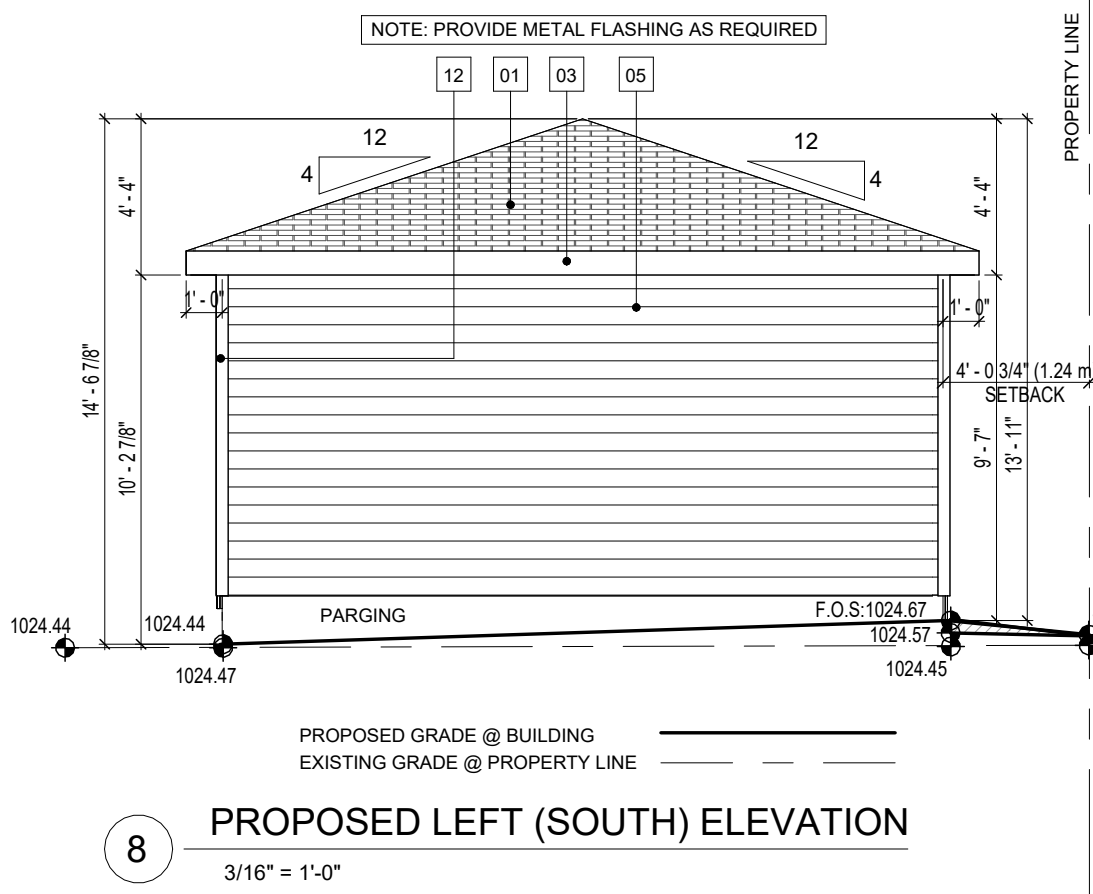
TRC_SCHEDULE OF FINISHES	
MARK	NAME
01	ASPHALT SHINGLE BLACK
03	8" PRE-FINISHED METAL FASCIA
05	HORIZONTAL SIDING -WHITE HARDIE
12	4" CORNER BOARD LIGHT



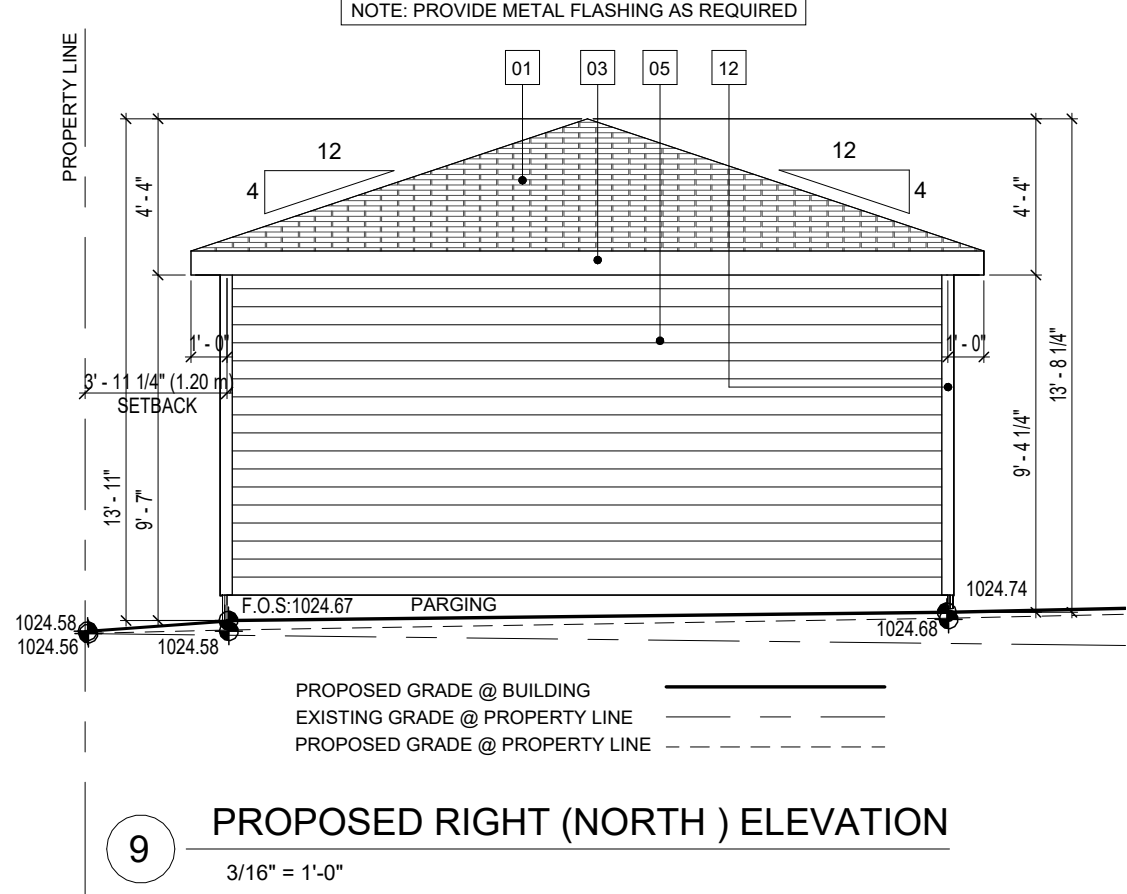
4
PROPOSED FRONT (EAST) ELEVATION
3/16" = 1'-0"



5
PROPOSED REAR (WEST) ELEVATION
3/16" = 1'-0"



8
PROPOSED LEFT (SOUTH) ELEVATION
3/16" = 1'-0"



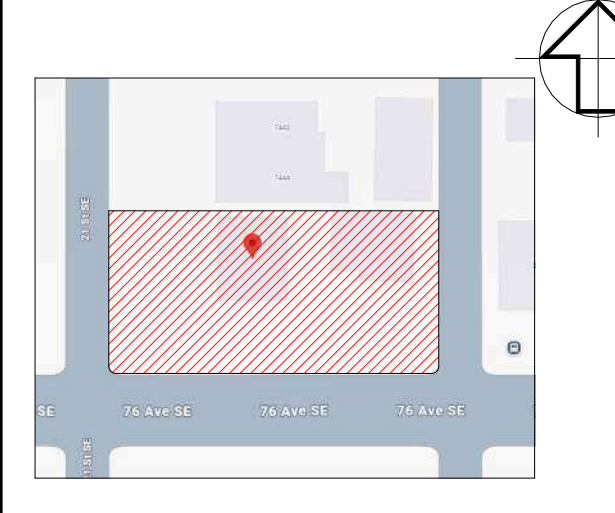
9
PROPOSED RIGHT (NORTH) ELEVATION
3/16" = 1'-0"

DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB. T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01				
02	2026-07-08	CLIENT CHANGES	M.A/R.E	A.K
03				
04				
05				
06				
07				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-17	DEVELOPMENT PERMIT SET	H.E	E.Z/E.R
02				
03				
04				
05				

THE CLIENT:

ACCORD HOMES LTD.

PROJECT:

4_PLEX

ADDRESS:

**7448 - 21 STREET S.E.,
CALGARY, ALBERTA
PLAN 955AV , BLOCK 5 , LOTS 25 & 26**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

GARAGE (ACCESSORY BUILDING)

DRAWING NO.

A-501

PROJECT NO:	CHECKED BY: A.K	DATE: 2026-07-08
26-1057	DRAWN BY: M.A	SCALE: 3/16" = 1'-0"