

#2823 CANMORE RD. NW

GARAGE ADDITION
ATTACHED TO EXISTING DWELLING

LOT 12, BLOCK 9,
PLAN 907 GS

BANFF TRAIL, NW CALGARY
LOT ZONING: R-2



Exterior 3D Perspective - For Design Purpose Only - N.T.S

Contents

- A1 COVER PAGE & SITE PLAN
A2 GARAGE FLOOR PLAN & ELEVATIONS
A3 ELEVATIONS

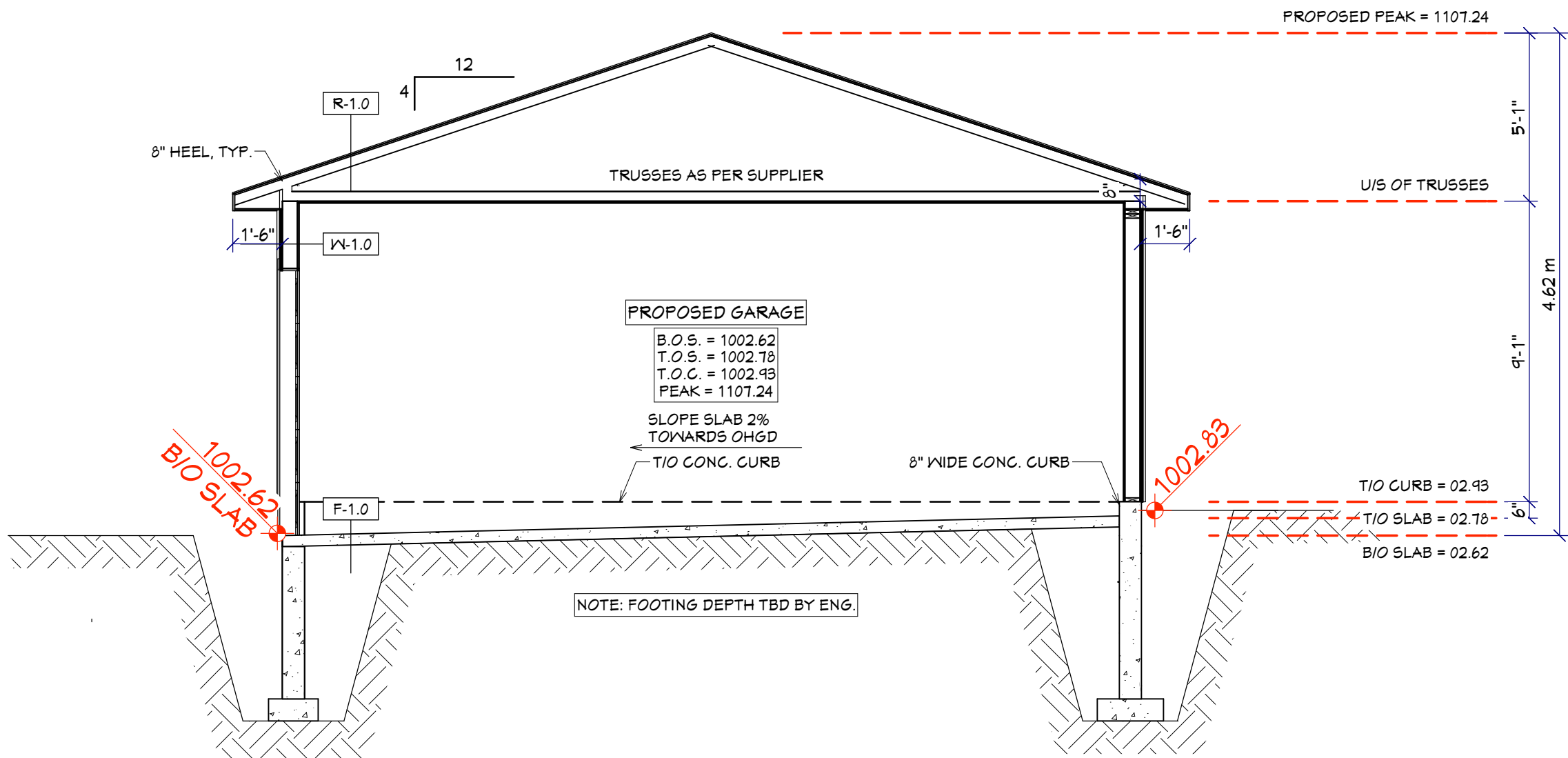
Building Statistics

BUILDING HEIGHT
PROPOSED PEAK GEODETIC = 1107.24m
LOWEST ADJACENT GRADE = 1102.62m
PROPOSED GARAGE HEIGHT = 4.62m

PARCEL COVERAGE 44.91 %
Lot area = 558.03 m² (6006.61 sf)
Building footprint = 165.46 m² (1781.03 sf)
Proposed Garage footprint = 85.17 m² (916.80 sf)

Total coverage area = 250.63 m² (2697.76 sf)
Total coverage area allowed = 251.11m² (2702.97 sf)

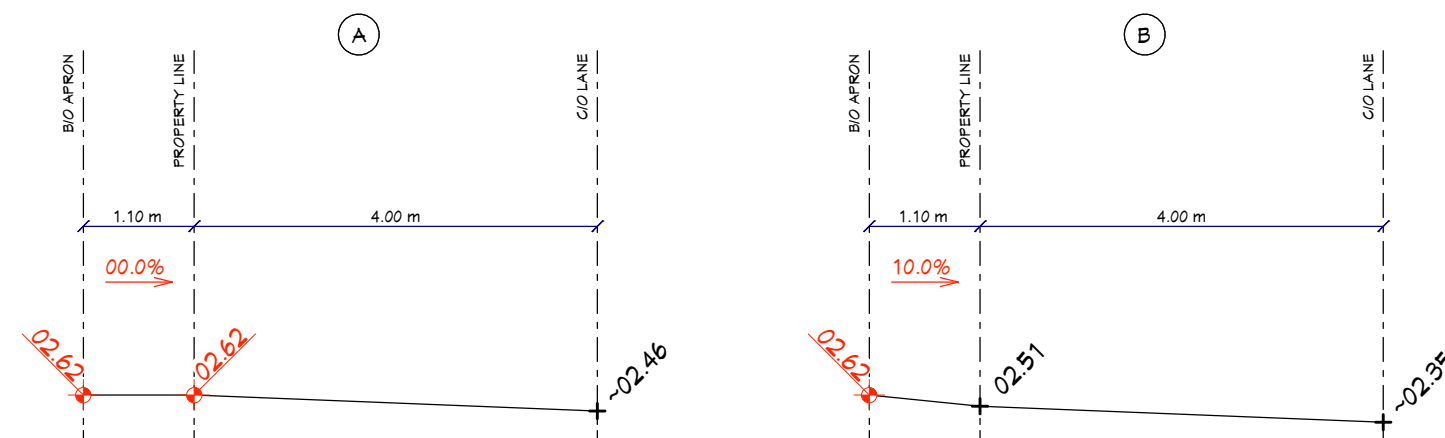
REAR SETBACK 1.10 m



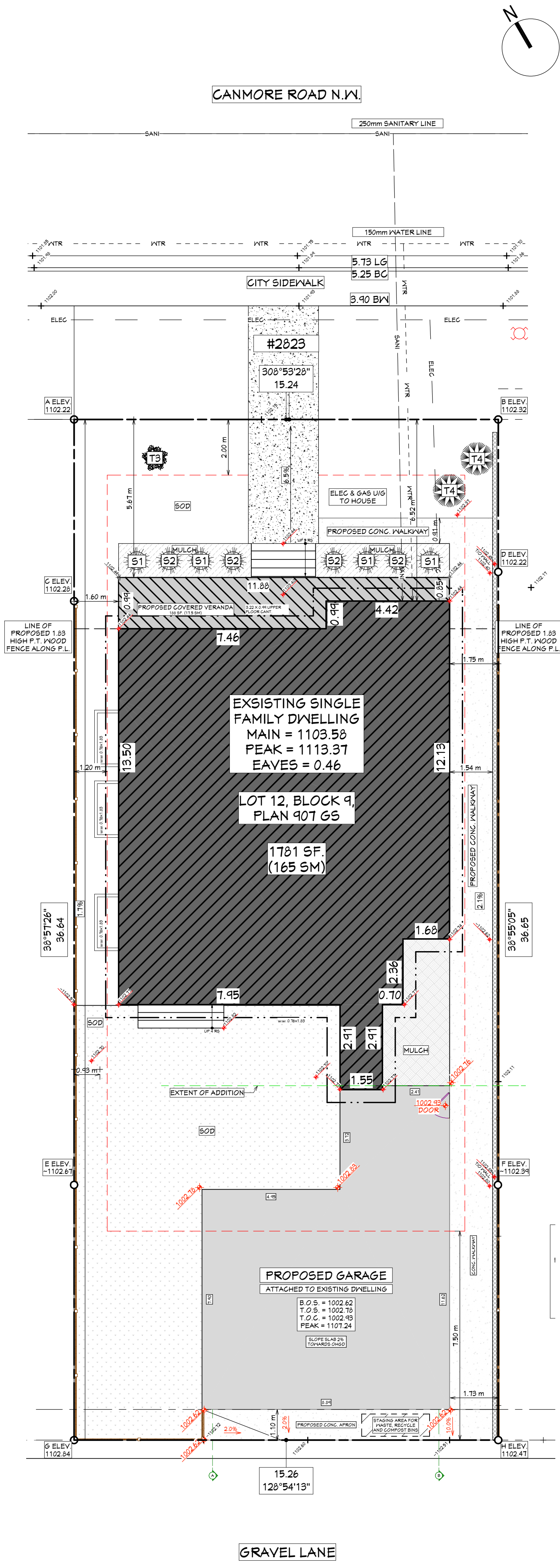
GARAGE SECTION
SCALE: 1 = 75

TREE LEGEND					
#	DIA.	SPRD.	HGT.	TYPE	TREE NAME
T1	0.95	5.00	8.00	CONIFEROUS	TO REMAIN ON ADJACENT PROP.
T2	0.80	6.00	15.00	CONIFEROUS	TO REMAIN ON ADJACENT PROP.
PROPOSED					
T3	0.06		2.00	DECIDUOUS	PROPOSED MAPLE SUMMER RED
T4	0.06		2.00	CONIFEROUS	PROPOSED BRANDON WHITE CEDAR
S1	0.60	0.60	0.60	SHRUB	PROPOSED ALPINE CURRANT
S2	0.60	0.60	0.60	SHRUB	PROPOSED GREEN VELVET BOXWOOD

SITE / BLOCK LEGEND			
	PROPOSED STRUCTURE		OVERHEAD ELECTRICAL LINE
	PROPOSED GARAGE		CITY SANITATION LINE
	PROPOSED VERANDA / COVERED DECK		CITY WATER LINE
	PROPOSED UNCOVERED DECK		CITY STORM LINE
	PROPOSED RETAINING WALL		CITY GAS LINE
	PROPOSED CONCRETE AGGREGATE		PROPERTY LINE
	CONCRETE		ADJACENT PROPERTY LINE
	GRAVEL		PROPOSED FENCE
	PROPOSED SOD / GRASS		PROPOSED GRADE
	PROPOSED TREE		EXISTING GRADE
	PROPOSED SHRUB		EXTRAPOLATED GRADE
			FIRE HYDRANT
			POWER POLE
			COMPOST, WASTE & RECYCLING BINS
			EXISTING TREE TO REMAIN
			EXISTING TREE TO BE REMOVED



APRON SECTIONS
SCALE: 1 = 75



SITE PLAN
SCALE: 1 = 100

RESPONSIBILITIES

NEW CENTURY DESIGN

It is NCD's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. NCD will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc. due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

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NEW CENTURY DESIGN

403-244-9744 info@newcenturydesign.ca

ISSUED

	m/d/y
First Design Draft	09.20.23
Design Draft 1.01	09.25.23
Design Draft 1.02	10.19.23
DP Draft 1.01	10.26.23
DP Draft 1.02	11.17.23
DP Submission	11.22.23
DP Rev. 1 for Pricing Set	01.31.24
Pricing Draft	02.08.24
Pricing Set	02.21.24
BP Set for Engineering Review	04.02.24
BP Set	06.10.24
Garage Design Draft	01.15.26
Garage DP Submission	03.02.26

AREAS

	S.F.
MAIN (incl. stair to upper)	1781
UPPER (not incl. open to below / stair)	1540
THIRD (incl. stair from second floor)	492
TOTAL (above grade dev.)	3813
LOWER DEV.	1526
VERANDA / PORCH	188
PROPOSED GARAGE	917

STREET ADDRESS

2823 Canmore Road NW

Lot 12

Block 9

Plan 907 GS

PROJECT

Banff Trail Garage Addition

DRAWN: DK CHECKED: DK

PROJECT # 23-1-SW-MS-016

SCALE

AS NOTED

TITLE

COVER PAGE &
SITE PLAN

ZONING

R-CG

PAGE

A1

10

15:31:21
2026-05-15

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SCALE	

$$1/4'' = 1'-0''$$

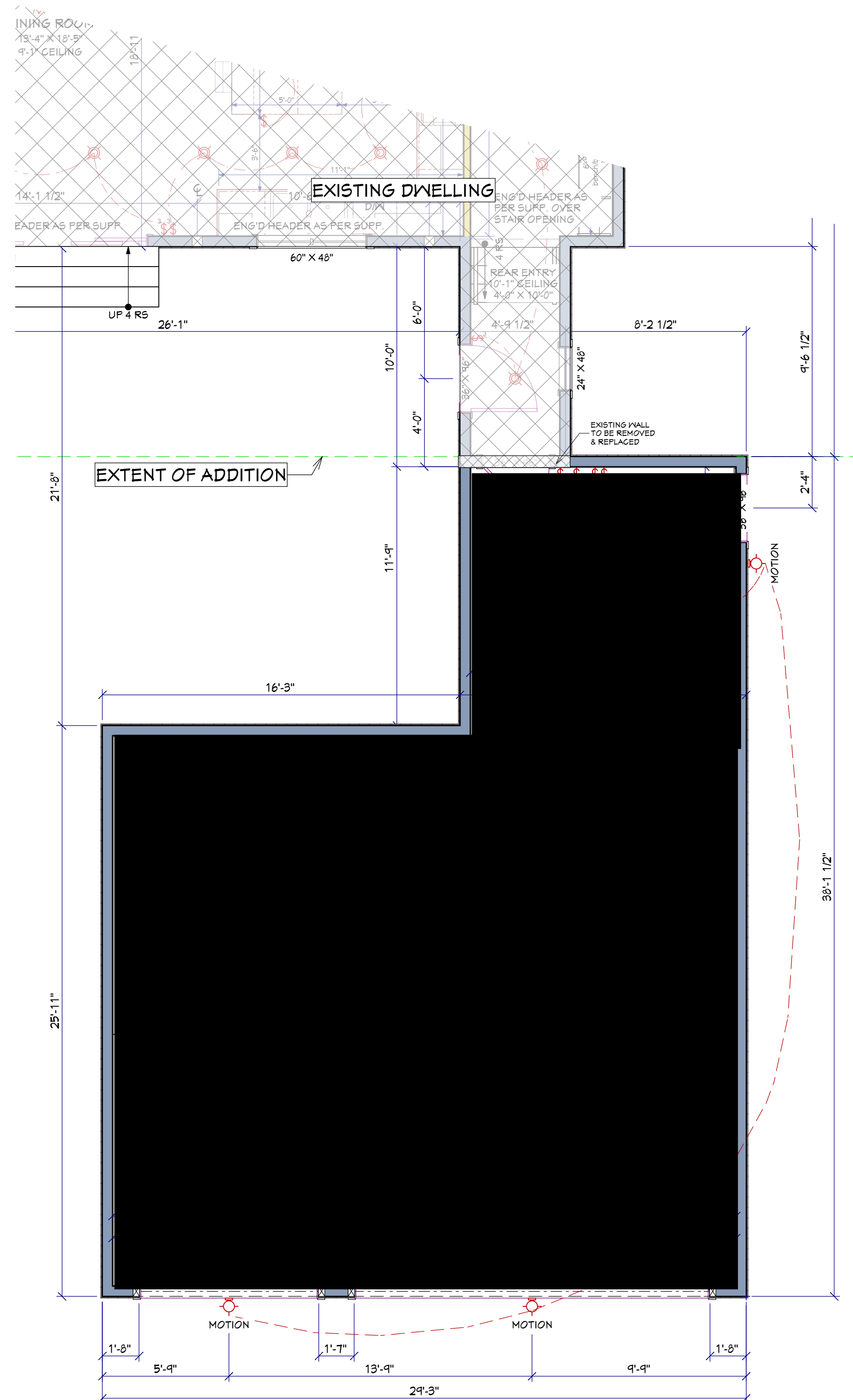
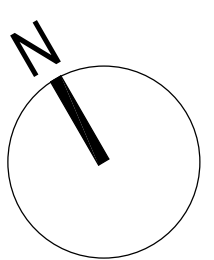
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GARAGE FLOOR PLAN & ELEVATIONS

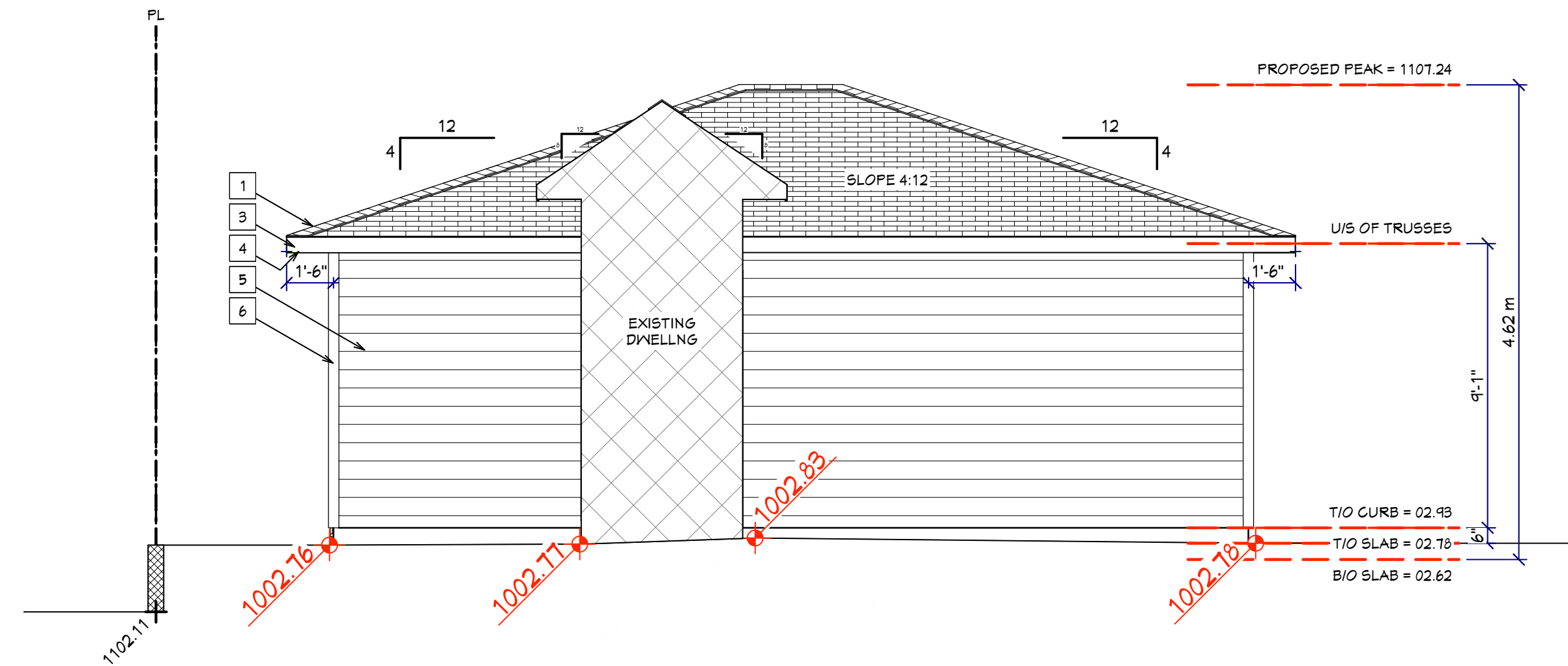
ZONING R-CG
PAGE 1 / 1

A2

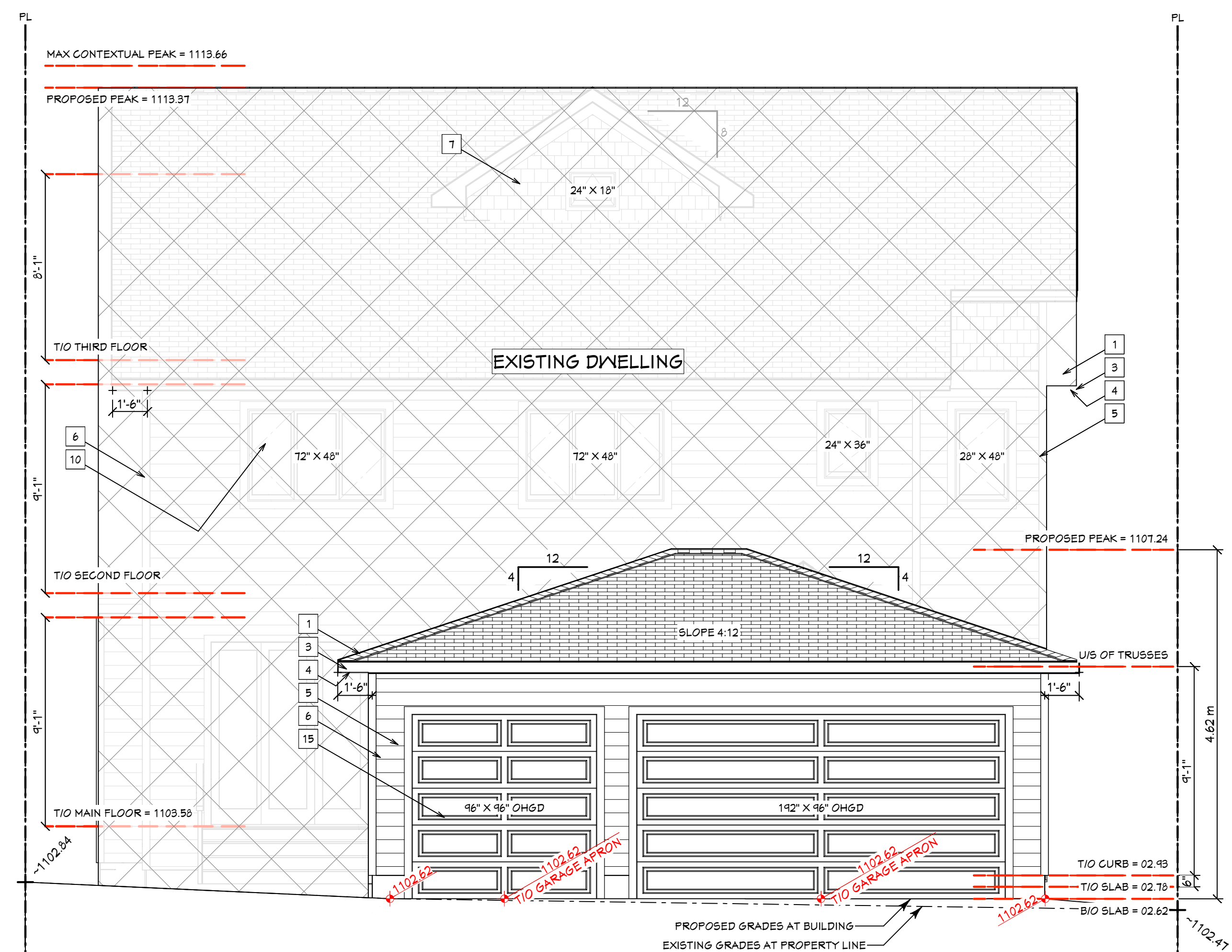
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 GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

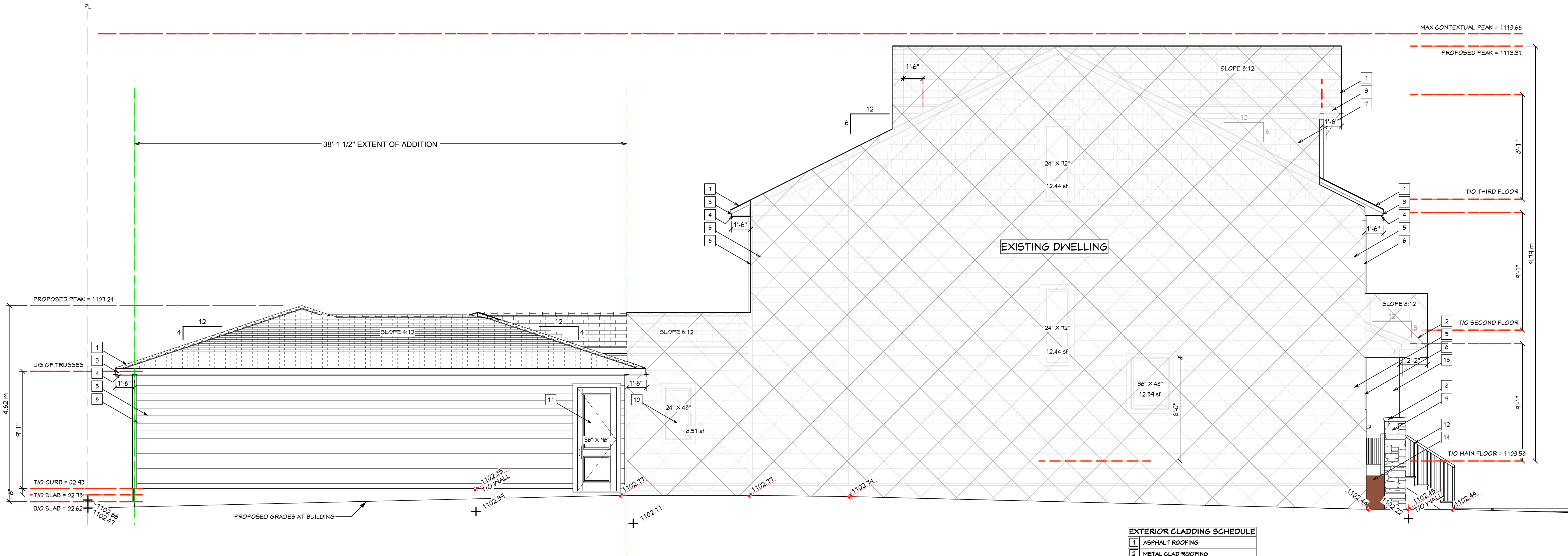


ELEV. - YARD - NORTH
SCALE: 1/4" = 1'-0"

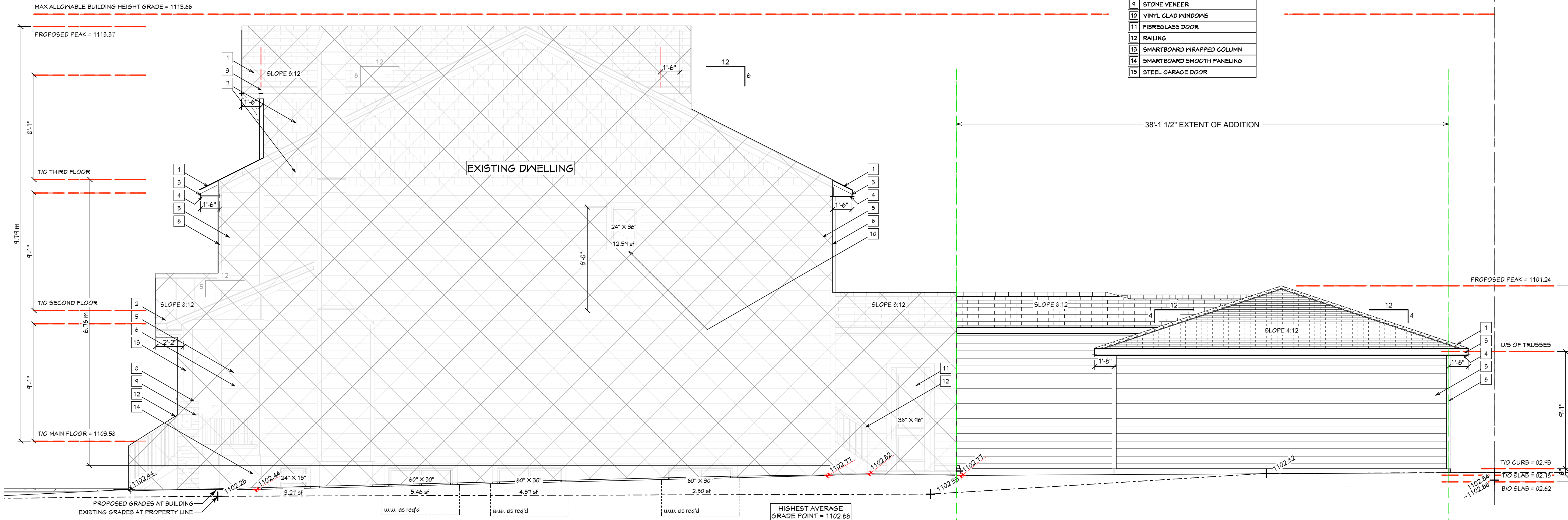


ELEV. - LANE - SOUTH
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
2	METAL CLAD ROOFING
3	6" ALUMINUM FASCIA
4	VENTED ALUMINUM SOFFIT
5	HORIZONTAL SIDING
6	4" CORNER BOARD
7	HORIZONTAL WOOD SHAKES
8	STONE CAP
9	STONE VENEER
10	VINYL CLAD WINDOWS
11	FIBREGLASS DOOR
12	RAILING
13	SMARTBOARD WRAPPED COLUMN
14	SMARTBOARD SMOOTH PANELING
15	STEEL GARAGE DOOR



ELEV. - LEFT - EAST
SCALE: 1/4" = 1'-0"



ELEV. - RIGHT - WEST
SCALE: 1/4" = 1'-0"

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10

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