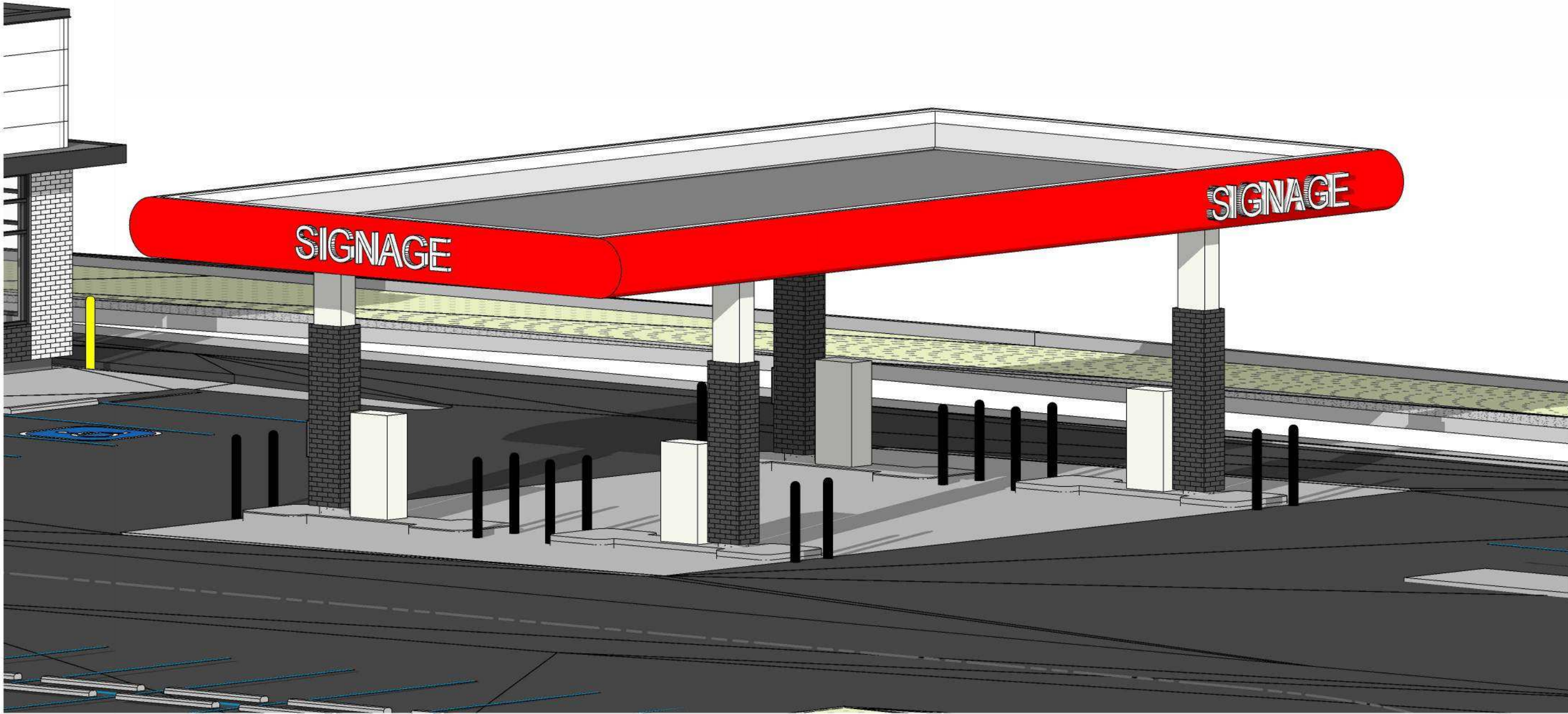




ISSUED FOR DEVELOPMENT PERMIT

LIVINGSTON COMMERCIAL BUILDING B

1ST ST & 142 AVE NE
CALGARY, ALBERTA T4B 3P6

ARCHITECTURAL

B-DP0.00	COVER SHEET
B-DP1.00	PROJECT INFORMATION
B-DP1.01	SITE SURVEY
B-DP1.02	CONTEXT PLAN
B-DP1.03	SITE PLAN & TYPICAL SITE DETAILS
B-DP1.04	LOADING PATH PLAN - FUEL TANK
B-DP1.05	LOADING PATH PLAN - SU9
B-DP1.06	LOADING PATH PLAN - WASTE RECYCLING
B-DP2.01	FLOOR PLANS, ROOF PLANS & PERSPECTIVES
B-DP3.01	BUILDING ELEVATIONS & SECTIONS

2	ISSUED FOR DEVELOPMENT PERMIT	2026-06-04
1	ISSUED FOR REVISED DEVELOPMENT PERMIT	2026-05-28

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

PROJECT NO.	DRAWN	CHECKED
222-010	LD	CG

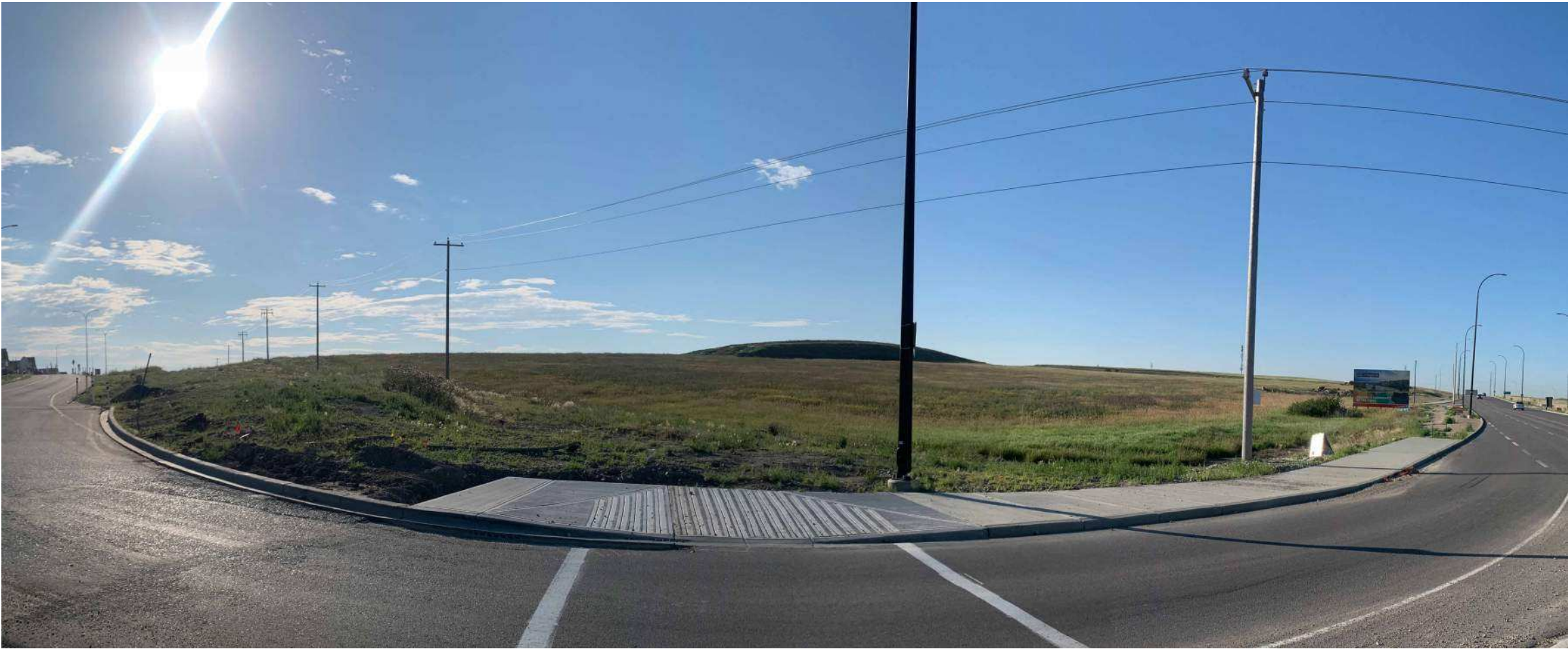
DRAWING NO.	REVISION NO.
-------------	--------------

B-DP0.00

Autodesk Docs://Livingston Brookfield Commercial/221-010_BLC Site_R25.rvt
2026-06-04 3:41:36 PM



1. SITE IMAGE- SOUTH WEST CORNER LOOKING NORTH EAST



2. SITE IMAGE- NORTH WEST CORNER LOOKING EAST



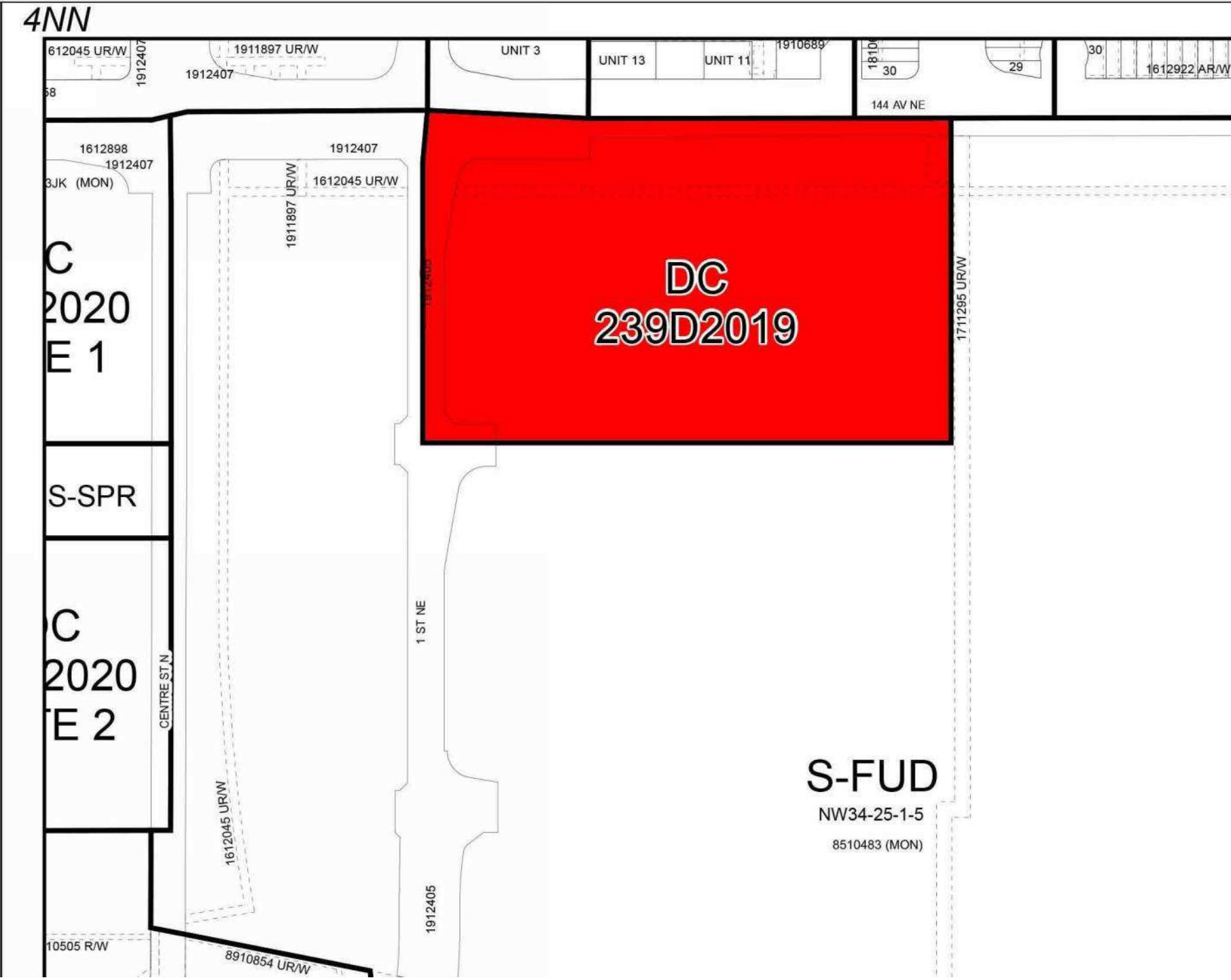
3. SITE IMAGE- NORTH EAST CORNER LOOKING SOUTH WEST



4. SITE IMAGE- SOUTH EAST CORNER LOOKING NORTH WEST



5. SITE IMAGE- NORTH MIDDLE POINT LOOKING SOUTH WEST



LAND USE BY-LAW MAP



SITE AERIAL IMAGE



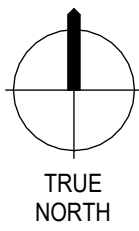
CORE AREA LAND USE ZONES

CORE AREA ACTIVE FRONTAGES

PROJECT INFORMATION				
OWNER:	BROOKFIELD PROPERTIES			
DP APPLICANT:	ZEIDLER ARCHITECTURE			
MUNICIPAL ADDRESS:	14390 1ST STREET NE, CALGARY			
LEGAL ADDRESS:	N.W. 1/4 SEC.34-25-1-5			
PARCEL AREA:	2,417.8 m ² / 26,025 ft ² / 0.6 acres			
LANDUSE BYLAW:	CALGARY'S LAND USE BLYAW (1P2007)			
ZONING (EXISTING):	DC239D2019 (C2 F4 H24 BASE)			
GENERAL DESCRIPTION:	C-N2 - COMMERCIAL DISTRICT			
PRINCIPAL USES / FLOOR:	GAS BAR			
PROGRAM AREAS:	1 BUILDING			

CLAUSE	REQUIREMENT	PROVIDED																		
FLOOR AREA RATIO (F.A.R.): (239D2019(7))	MAXIMUM 4.0 F.A.R. (2,417.8 m ² x 4 = 9,671.2 m ²)	LEVEL	NAME	AREA																
		LEVEL UPPER	BLDG B	238.3 m ²																
		TOTAL		238.3 m ²																
		PROPOSED FAR: 0.09																		
SETBACKS: (239D2019(6)) (1P2007 (766-768))	144 AVE. NE SETBACK: 6.0m 1 ST. NE SETBACK: 6.0m 142 AVE. NE SETBACK: 6.0m LIVINGSTON DRIVE NE SETBACK: 6.0m	144 AVE. NE SETBACK: 6.0m 1 ST. NE SETBACK: 6.0m 142 AVE. NE SETBACK: 6.0m LIVINGSTON DRIVE NE SETBACK: 6.0m																		
BUILDING HEIGHT (239D2019(8))	MAX. BUILDING HEIGHT: 24.0m	MAX. BUILDING HEIGHT: 5.7m																		
MOTOR PARKING VEHICLE PARKING REQUIREMENTS: (1P2007 (121.1))	VEHICULAR PARKING REQUIRED: 1.0 MOTOR VEHICLE PARKING STALLS PER 100.00 sqm OF GROSS USABLE FLOOR AREA. 3 (THREE) PARKING STALLS	VEHICULAR PARKING PROVIDED: <table><tr><td>BARRIER FREE STALLS</td><td>1</td></tr><tr><td>PARKING STALLS</td><td>7</td></tr><tr><td>LOADING STALLS</td><td>1</td></tr></table>			BARRIER FREE STALLS	1	PARKING STALLS	7	LOADING STALLS	1										
BARRIER FREE STALLS	1																			
PARKING STALLS	7																			
LOADING STALLS	1																			
BICYCLE PARKING REQUIREMENTS: (1P2007 PART 4 DIV.2)	BICYCLE PARKING REQUIRED: <table><tr><th>Name</th><th>USE</th><th>AREA</th><th>CLASS II / 1000 m²</th><th>CLASS II REQUIRED</th></tr><tr><td>BLDG B</td><td>GAS BAR</td><td>238.3 m²</td><td>0</td><td>0</td></tr></table> NO CLASS I PARKING REQUIRE FOR USES SPECIFIED.	Name	USE	AREA	CLASS II / 1000 m ²	CLASS II REQUIRED	BLDG B	GAS BAR	238.3 m ²	0	0	BICYCLE PARKING PROVIDED: NONE								
Name	USE	AREA	CLASS II / 1000 m ²	CLASS II REQUIRED																
BLDG B	GAS BAR	238.3 m ²	0	0																
LOADING REQUIREMENTS (1P2007 (123) 2 & 5a)	LOADING STALLS REQUIRED: MINIMUM WIDTH: 3100 mm MINIMUM DEPTH: 9200 mm MINIMUM HEIGHT: 4300 mm LOADING STALLS IS NOT REQUIRED WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS LESS THAN OR EQUAL TO 900.0 sqm	LOADING STALLS PROVIDED: <table><tr><th>STALL TYPE</th><th>LENGTH</th><th>WIDTH</th><th>COUNT</th></tr><tr><td>LOADING</td><td>12000</td><td>3100</td><td>1</td></tr></table>			STALL TYPE	LENGTH	WIDTH	COUNT	LOADING	12000	3100	1								
STALL TYPE	LENGTH	WIDTH	COUNT																	
LOADING	12000	3100	1																	
WASTE & RECYCLING STORAGE REQUIREMENTS (DPS-STDRD-0002 SECTION 1.3.1(5))	WASTE & RECYCLING BINS REQUIRED: <table><tr><th>NAME</th><th>AREA</th><th>VOLUME REQUIRED (m³) INITIAL</th><th>NUMBER OF COMPACTORS</th><th>BIN REQUIRED</th></tr><tr><td>BLDG B</td><td>238.3 m²</td><td>1</td><td>0</td><td>1</td></tr></table> NOTE: BIN SIZE IS 3 m ³ COMPACTOR RATIO 3:1 3 m ³ PER 1000M ² USED FOR THIS CALCULATION	NAME	AREA	VOLUME REQUIRED (m ³) INITIAL	NUMBER OF COMPACTORS	BIN REQUIRED	BLDG B	238.3 m ²	1	0	1	WASTE & RECYCLING PROVIDED: <table><tr><th>NAME</th><th>BIN PROVIDED</th><th>BIN LOCATION</th></tr><tr><td>BLDG B</td><td>3</td><td>BUILDING B</td></tr></table> 3 MIXED WASTE: 3 m ³ (X1) RECYCLABLE: 3 m ³ (X1) ORGANIC: 1.3 m ³ (X1)			NAME	BIN PROVIDED	BIN LOCATION	BLDG B	3	BUILDING B
NAME	AREA	VOLUME REQUIRED (m ³) INITIAL	NUMBER OF COMPACTORS	BIN REQUIRED																
BLDG B	238.3 m ²	1	0	1																
NAME	BIN PROVIDED	BIN LOCATION																		
BLDG B	3	BUILDING B																		

SITE DESIGN AND FUCTION REAMAINS UNCHANGED
AS PER
DPDP2022-05025
DP2025-03262



Zeidler Architecture

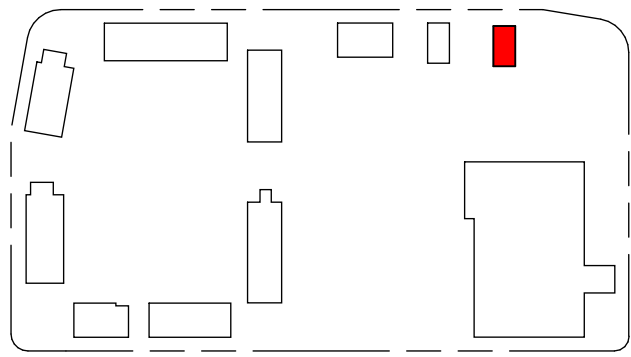
300, 640 – 8 Avenue SW
Calgary, Alberta T2P 1G7
T 403 233 2525 | zeidler.com



NOTE

COPYRIGHT © ZEIDLER ARCHITECTURE INC.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



2	ISSUED FOR DEVELOPMENT PERMIT	2026-06-04
1	ISSUED FOR REVISED PLAN APPLICATION	2026-05-29

NO.	ISSUE/REVISION	DATE
-----	----------------	------

PROJECT

LIVINGSTON COMMERCIAL DEVELOPMENT - SITE

PROJECT ADDRESS

1ST STREET & 142 AVE NE
CALGARY, ALBERTA T4B 3P6

TITLE

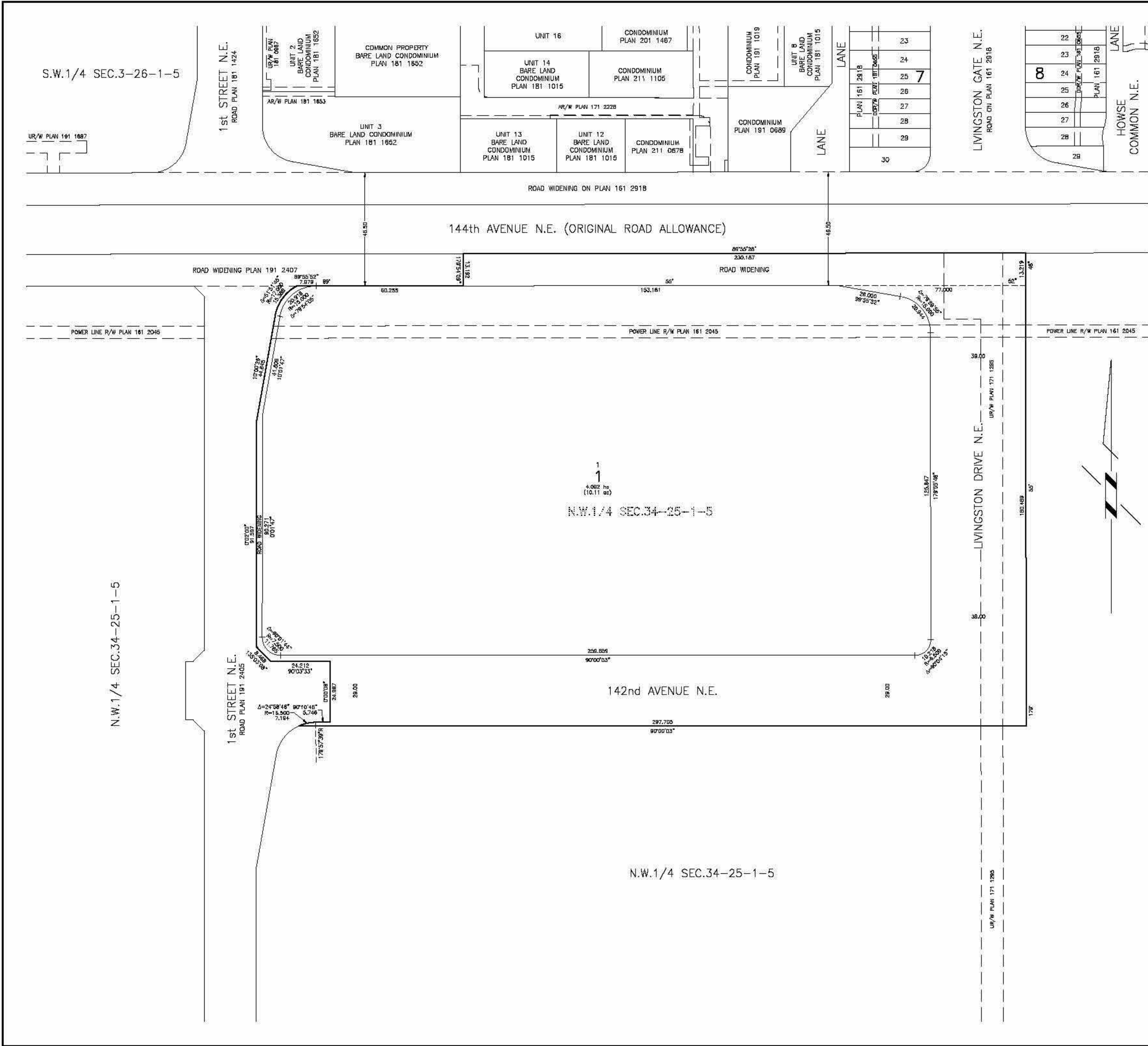
PROJECT INFORMATION

PROJECT NO.	DRAWN	CHECKED
221-010	LD	CG

DRAWING NO.	REVISION NO.
-------------	--------------

B-DP1.00





SURVEYOR PATRICK L. MARSHALL, ALS 2021 SURVEYED BETWEEN THE DATES OF MARCH 13, 2007 AND _____, 2021 IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYS ACT.	REGISTRAR ALBERTA LAND TITLES OFFICE PLAN NO. _____ ENTERED AND REGISTERED _____ ON _____ INSTRUMENT NO. _____ A.D. REGISTRAR _____
REGISTERED OWNER CARMA LTD.	PERMIT NUMBER P196 MAIDMENT LAND SURVEYS LTD.
SUBDIVISION AUTHORITY CITY OF CALGARY FILE NO.: S50301-0392	

CITY OF CALGARY LIVINGSTON — PHASE 23

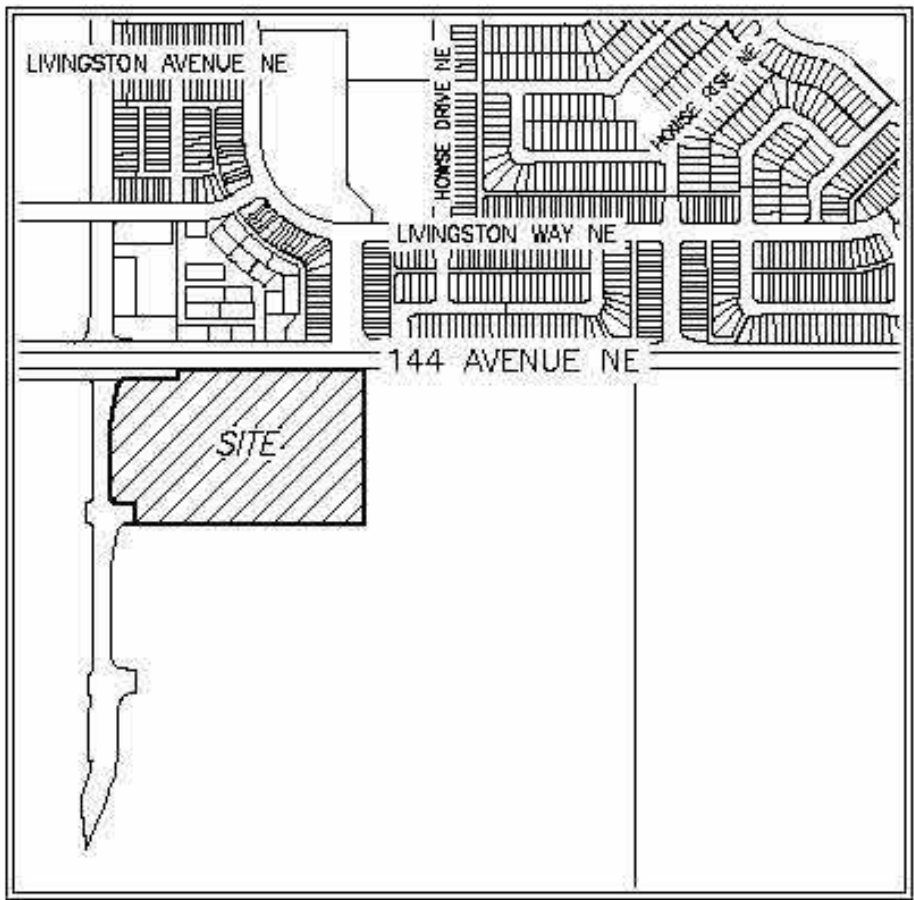
TENTATIVE PLAN SHOWING SURVEY OF
PROPOSED SUBDIVISION
AFFECTING PORTION OF
N.W.1/4 SEC.34, TWP.25, RGE.1, W.5M.

SCALE: 1:750

P.L. MARSHALL, ALS 2021

- LEGEND**
1. AREA AFFECTED BY THIS PLAN OUTLINED THUS _____ AND CONTAINS 5.674 ha, 1 LOT AND ROADS.
 2. STATUTORY IRON PILES SHOWN THUS: ● FOUND ○ PLACED
 3. ALBERTA SURVEY CONTROL MARKER SHOWN THUS: (A)
 4. ALBERTA SURVEY CONTROL MARKER USED AS REFERENCE POINT SHOWN THUS: (B) RP
 5. DISTANCES ARE IN METRES.
 6. DISTANCES ALONG CURVED BOUNDARIES ARE ARC DISTANCES.
 7. THE DESIGNATION "R" AFTER A BEARING INDICATES THAT THE LINE IS RADIAL TO THE ADJACENT CURVE.
 8. BEARINGS ARE DERIVED FROM GNSS OBSERVATIONS.
 9. THE PROJECTION IS 2 TRANSVERSE MERCATOR, THE DATUM IS NAD83 (ORIGINAL), THE REFERENCE MERIDIAN IS 114° WEST LONGITUDE, AND THE COMBINED SCALE FACTOR IS 0.999708.
 10. THE GRID-REFERENCED POINT IS ASCM 282038 AND THE GRID COORDINATES ARE:
NORTHING = 5671932.297, EASTING = -3370.871.

ALS	ALBERTA LAND SURVEYOR	h	HECTARE	h	HECTARE
SEC	SECTION	h	HECTARE	h	HECTARE
TWP	TOWNSHIP	h	HECTARE	h	HECTARE
RGE	RANGE	h	HECTARE	h	HECTARE
M	MERIDIAN	h	HECTARE	h	HECTARE
ha	HECTARE	h	HECTARE	h	HECTARE
ac	ACRE	h	HECTARE	h	HECTARE
N	NORTH	h	HECTARE	h	HECTARE
S	SOUTH	h	HECTARE	h	HECTARE
E	EAST	h	HECTARE	h	HECTARE
W	WEST	h	HECTARE	h	HECTARE
ML	MARK	h	HECTARE	h	HECTARE
MLd	MARKED	h	HECTARE	h	HECTARE
h	HECTARE	h	HECTARE	h	HECTARE
ASCM	ALBERTA SURVEY CONTROL MARKER	h	HECTARE	h	HECTARE
NAD83	NORTH AMERICAN DATUM OF 1983	h	HECTARE	h	HECTARE
GNSS	GLOBAL NAVIGATION SATELLITE SYSTEM	h	HECTARE	h	HECTARE
RP	REFERENCE POINT	h	HECTARE	h	HECTARE
R	RADIUS/POBOL	h	HECTARE	h	HECTARE
A	CENTRAL ANGLE OF CURVE	h	HECTARE	h	HECTARE
R/W	RIGHT OF WAY	h	HECTARE	h	HECTARE
AR/W	ACCESS RIGHT OF WAY	h	HECTARE	h	HECTARE
ODR/W	OVERLAND DRAINAGE RIGHT OF WAY	h	HECTARE	h	HECTARE
UL/W	UTILITY RIGHT OF WAY	h	HECTARE	h	HECTARE
AGL	ABOVE GROUND LEVEL	h	HECTARE	h	HECTARE
BGL	BELOW GROUND LEVEL	h	HECTARE	h	HECTARE
FOP	FENCE CORNER POST	h	HECTARE	h	HECTARE
FL	FENCE LINE	h	HECTARE	h	HECTARE



KEY PLAN
NOT TO SCALE

MAIDMENT
LAND SURVEYS LTD.
10, 141 Commercial Drive 403.286.0501
Calgary, AB T2Z 2A7 www.maidment.ca
FILE NUMBER: 121104tp



Zeidler Architecture

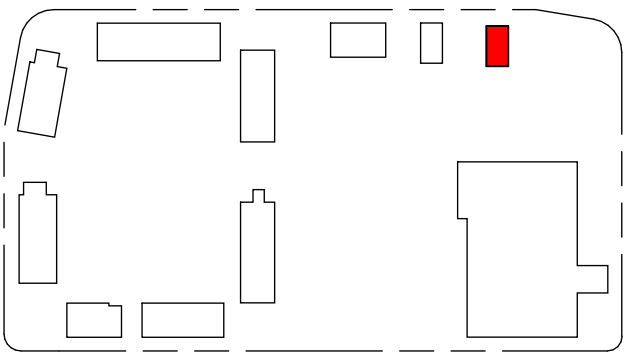
300, 640 – 8 Avenue SW
Calgary, Alberta T2P 1G7
T 403 233 2525 | zeidler.com



NOTE

COPYRIGHT © ZEIDLER ARCHITECTURE INC.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



2	ISSUED FOR DEVELOPMENT PERMIT	2026-06-04
1	ISSUED FOR REVISED PLAN APPLICATION	2026-05-29

NO.	ISSUE/REVISION	DATE
-----	----------------	------

PROJECT

LIVINGSTON COMMERCIAL DEVELOPMENT - SITE

PROJECT ADDRESS

1ST STREET & 142 AVE NE
CALGARY, ALBERTA T4B 3P6

TITLE

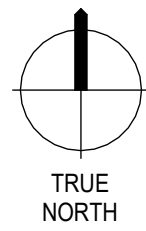
SITE SURVEY

PROJECT NO.	DRAWN	CHECKED
221-010	Author	Checker

DRAWING NO.	REVISION NO.
-------------	--------------

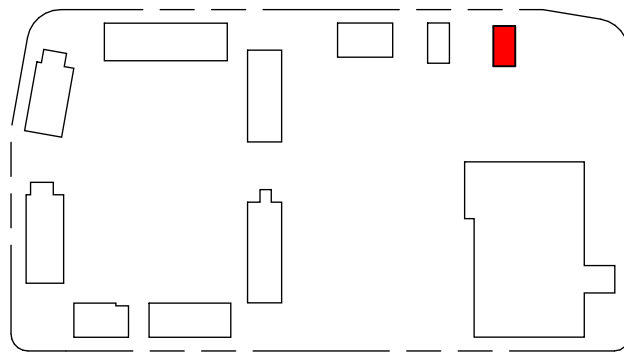
B-DP1.01

2



NOTE

COPYRIGHT © ZEIDLER ARCHITECTURE INC.
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



2	ISSUED FOR DEVELOPMENT PERMIT	2026-06-04
1	ISSUED FOR REVISED PLAN APPLICATION	2026-05-29

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

PROJECT

**LIVINGSTON
COMMERCIAL
DEVELOPMENT - SITE**

PROJECT ADDRESS

1ST STREET & 142 AVE NE
CALGARY, ALBERTA T4B 3P6

TITLE

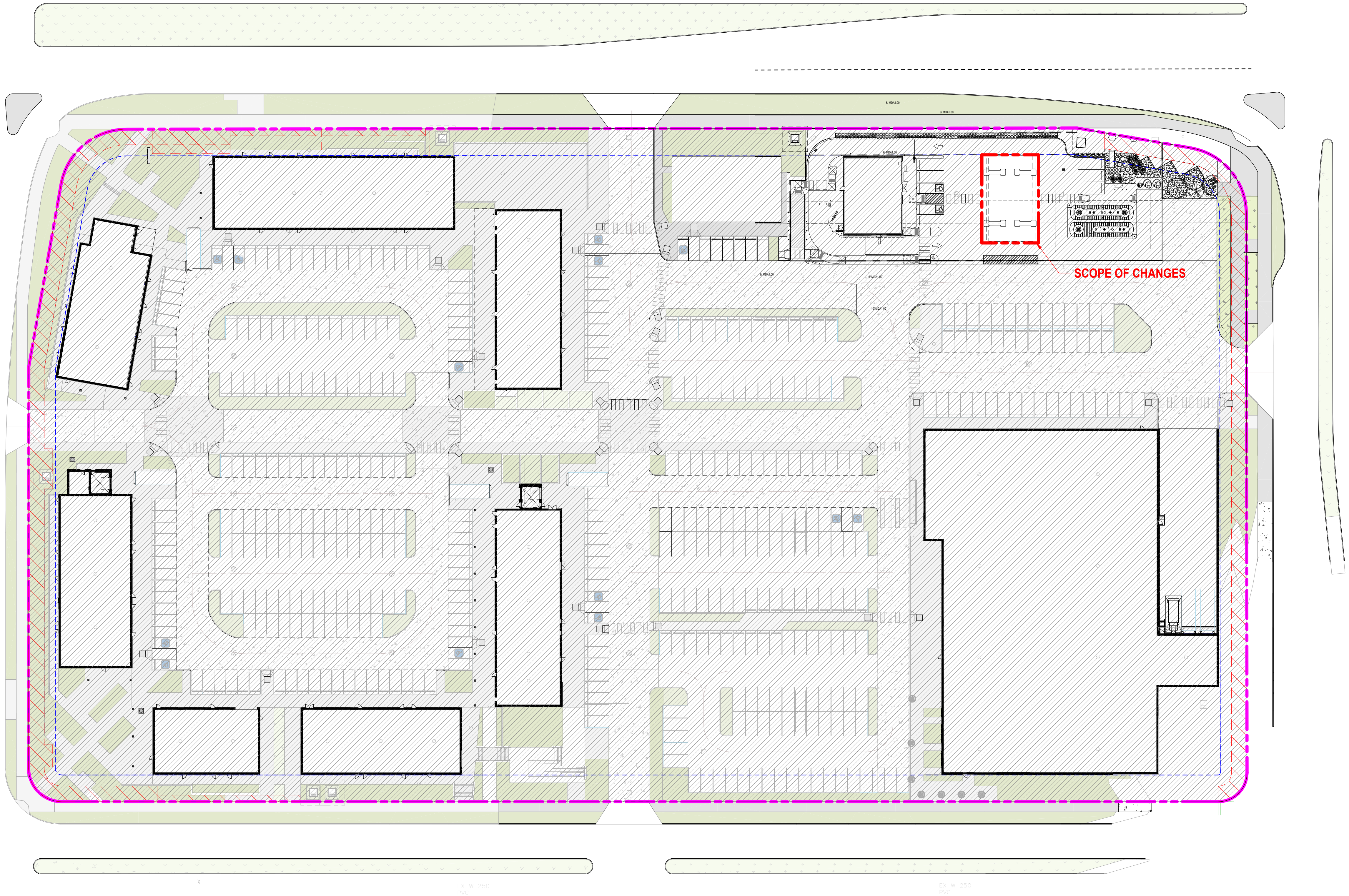
CONTEXT PLAN

PROJECT NO.	DRAWN	CHECKED
221-010	LD	CG

DRAWING NO.	REVISION NO.
-------------	--------------

B-DP1.02

2

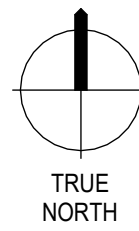


SITE PLAN LEGEND

- PROPERTY LINES
- SETBACK LINES
- SCOPE BOUNDARY LINE
- PROPOSED BUILDING
- BLDGs & AREAS BY OTHERS (NOT IN SCOPE)
- UTILITY RIGHT OF WAY

1 **CONTEXT PLAN**
B-DP1.02 SCALE: 1:500

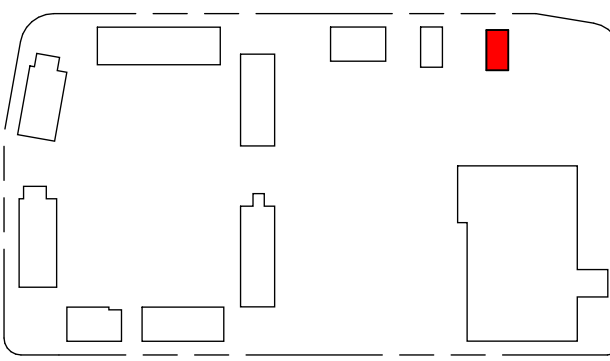
SITE DESIGN AND FUCTION REAMAINS UNCHAGED
AS PER
DPDP2022-05025
DP2025-03262



NOTE

COPYRIGHT © ZEIDLER ARCHITECTURE INC.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



SITE PLAN LEGEND

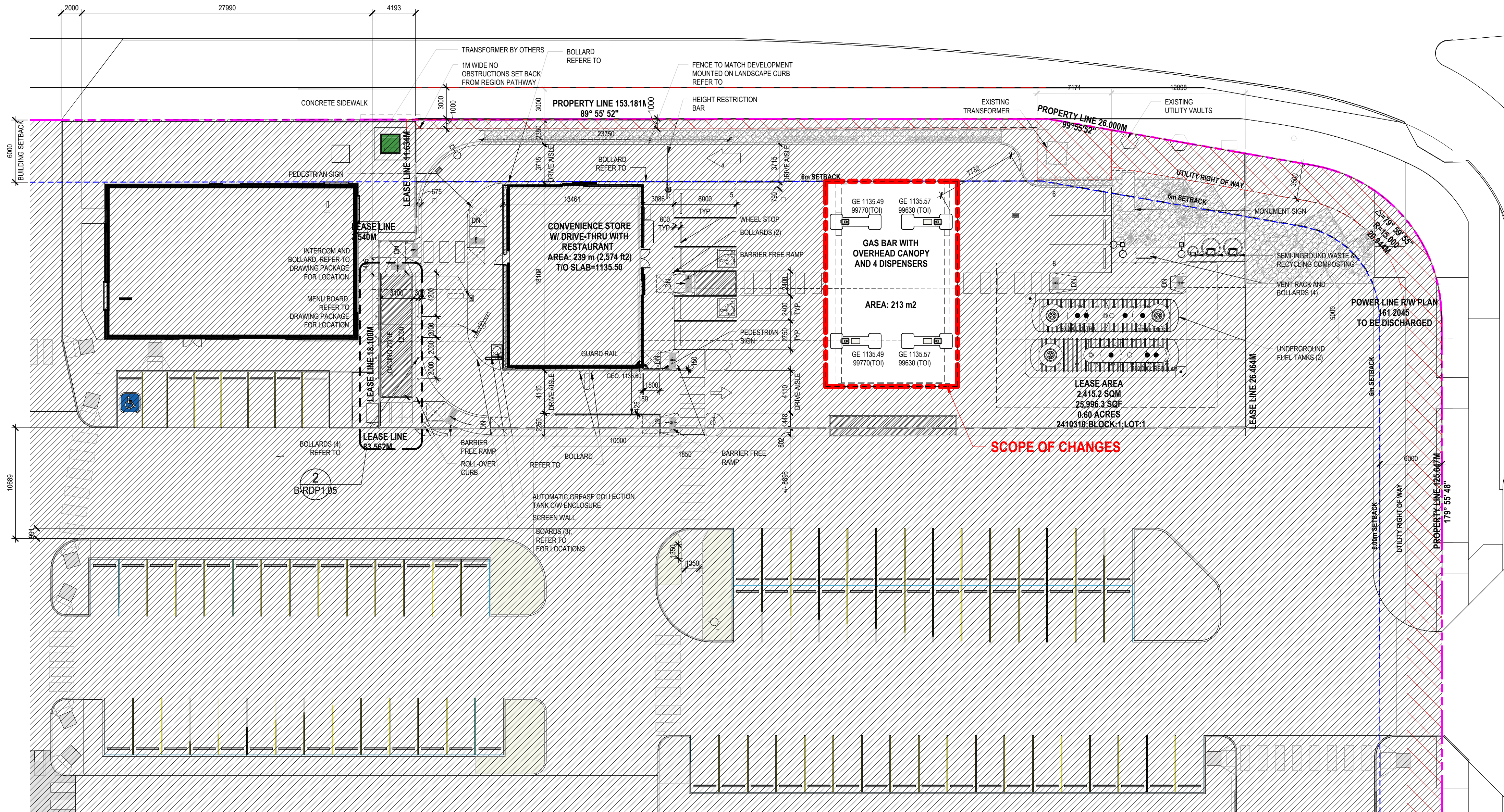
- PROPERTY LINES
- SETBACK LINES
- SCOPE BOUNDARY LINE
- BLDGs & AREAS BY OTHERS (NOT IN SCOPE)
- UTILITY RIGHT OF WAY
- HEAVY DUTY ASPHALT

SITE INFORMATION

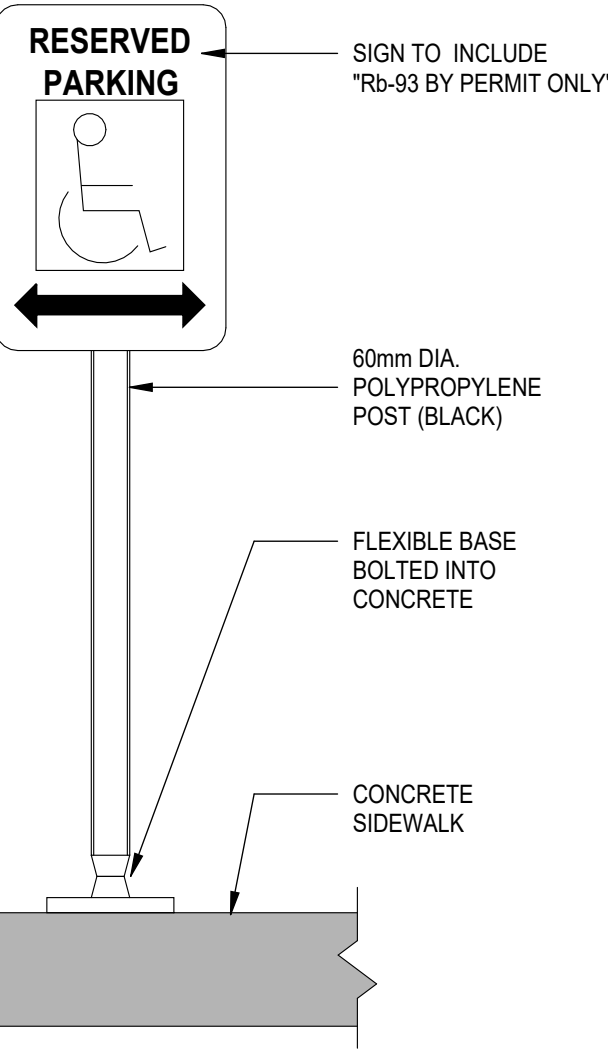
- SITE LOCATION
- A. MUNICIPAL ADDRESS:
14390 1ST STREET N.E., CALGARY,
ALBERTA T4B 3P6
 - C. LEGAL ADDRESS:
N.W. 1/4 SEC.34, TWP.25, RGE.1, W.5M.
- SITE AREA: 2,417.8 m²

GENERAL NOTES

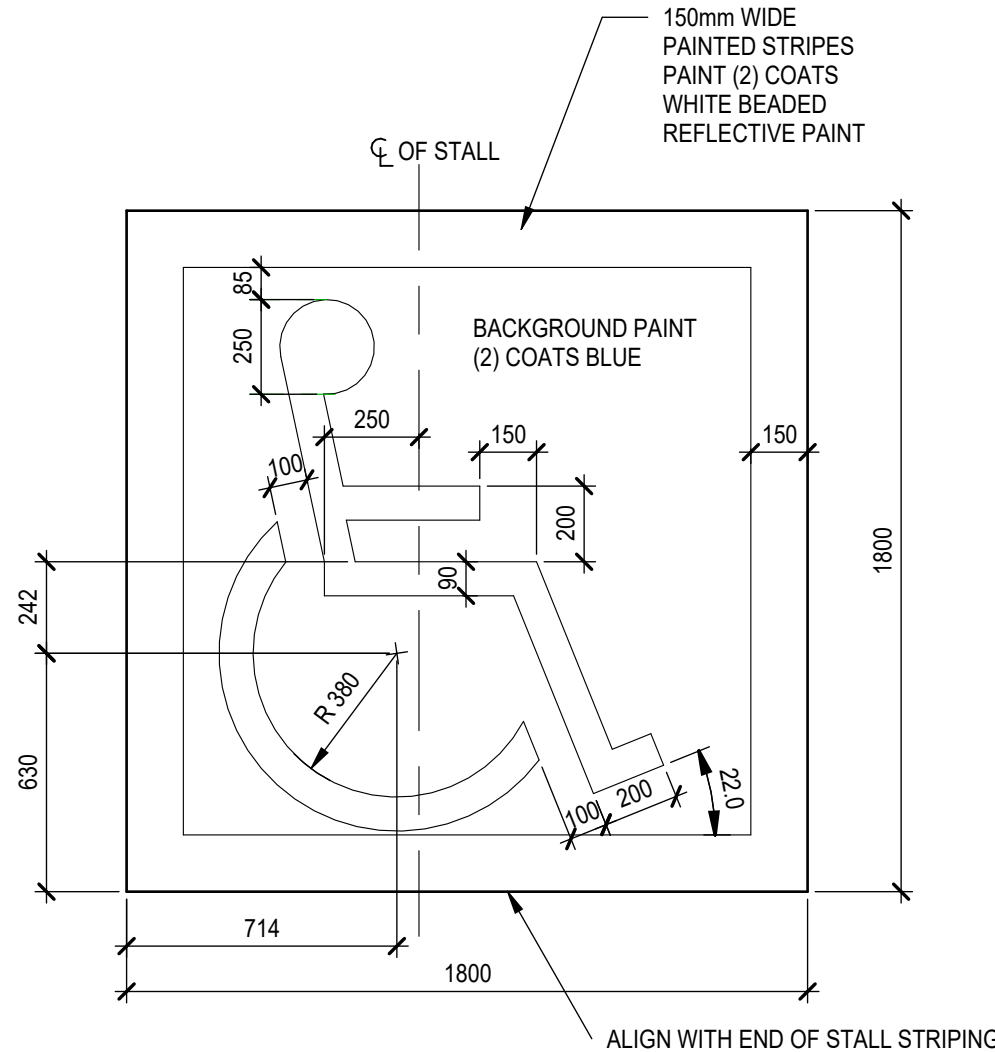
- VANDAL PROOF LIGHTING ADJACENT TO ALL BUILDING ENTRANCEWAYS AND GARBAGE FACILITIES (OVERHEAD AND MAN DOORS).
- MINIMUM LUX OF 10 AND SITE LIGHTING RATIO 4:1 ON PAVEMENT FOR PARKING AND PEDESTRIAN AREAS REQUIRED.
- ALL SITE AND EXTERIOR MOUNTED LIGHTING WILL MEET CITY OF CALGARY LIGHTING STANDARDS.
- EVERY SIDEWALK PROVIDED IS RAISED ABOVE THE PARKING AREA, WHEN LOCATED IN A PARKING AREA (BYLAW 693 (7))



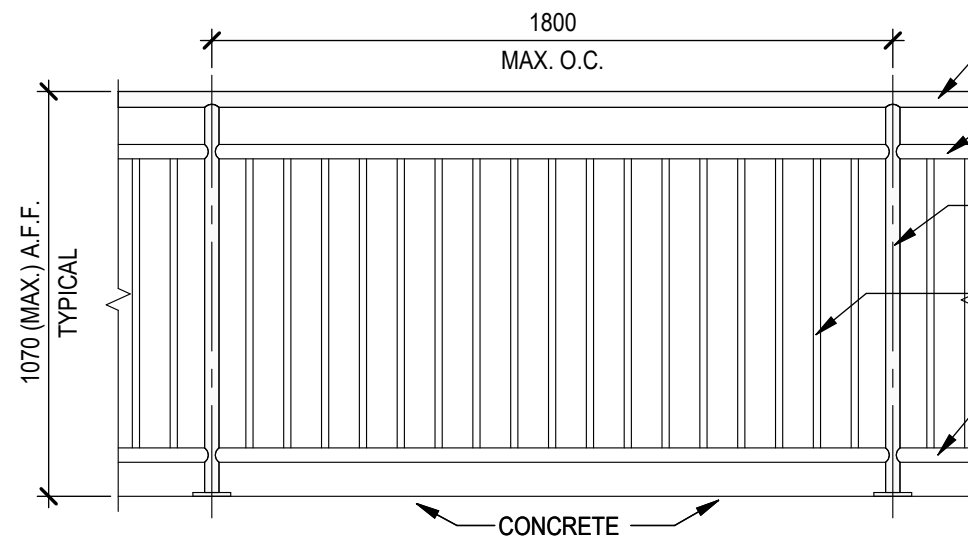
1 SITE PLAN SITE DESIGN AND FUCTION REAMAINS UNCHANGED AS PER DPDP2022-05025 DP2025-03262 SCALE: 1 : 250



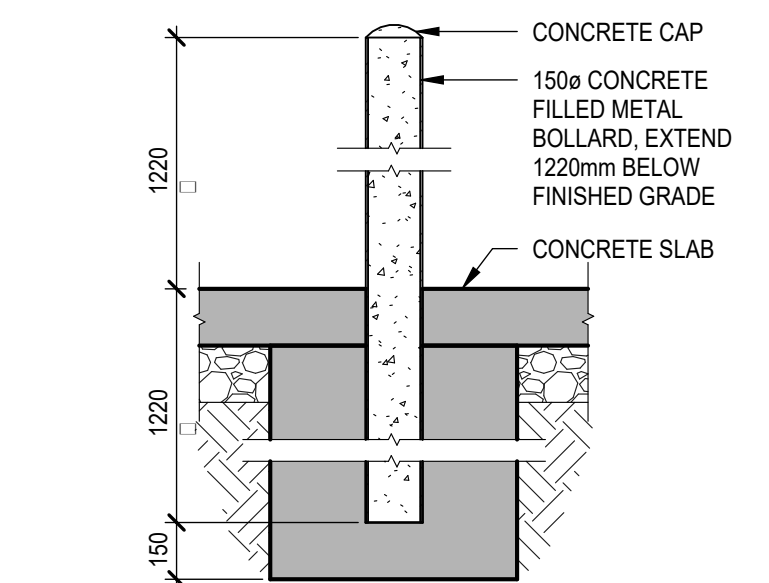
2 BARRIER FREE PARKING SIGN. SCALE: 1 : 10



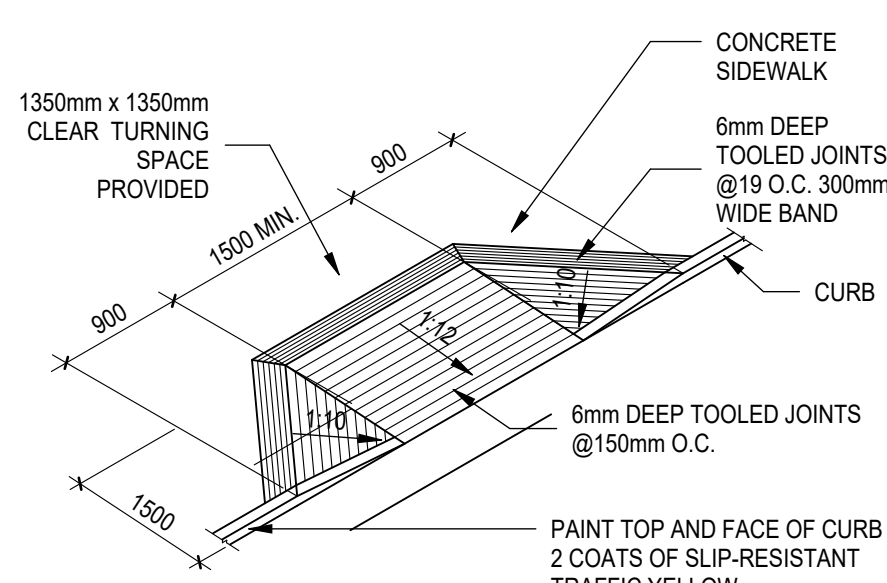
3 BARRIER FREE PAINTED PARKING SIGN. SCALE: 1 : 20



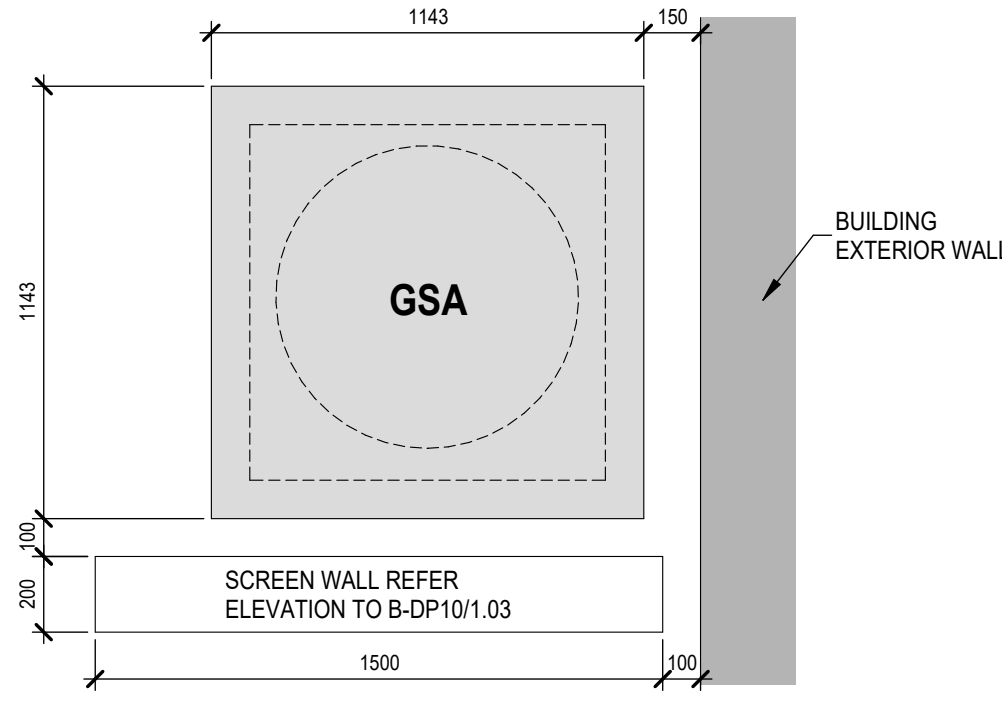
8 GUARDRAIL ELEVATION SCALE: 1 : 20



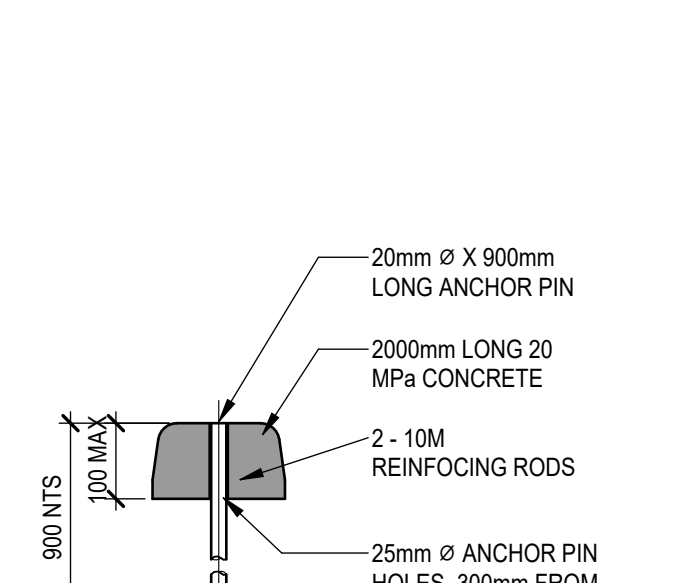
4 TYP. CONCRETE BOLLARD. SCALE: 1 : 20



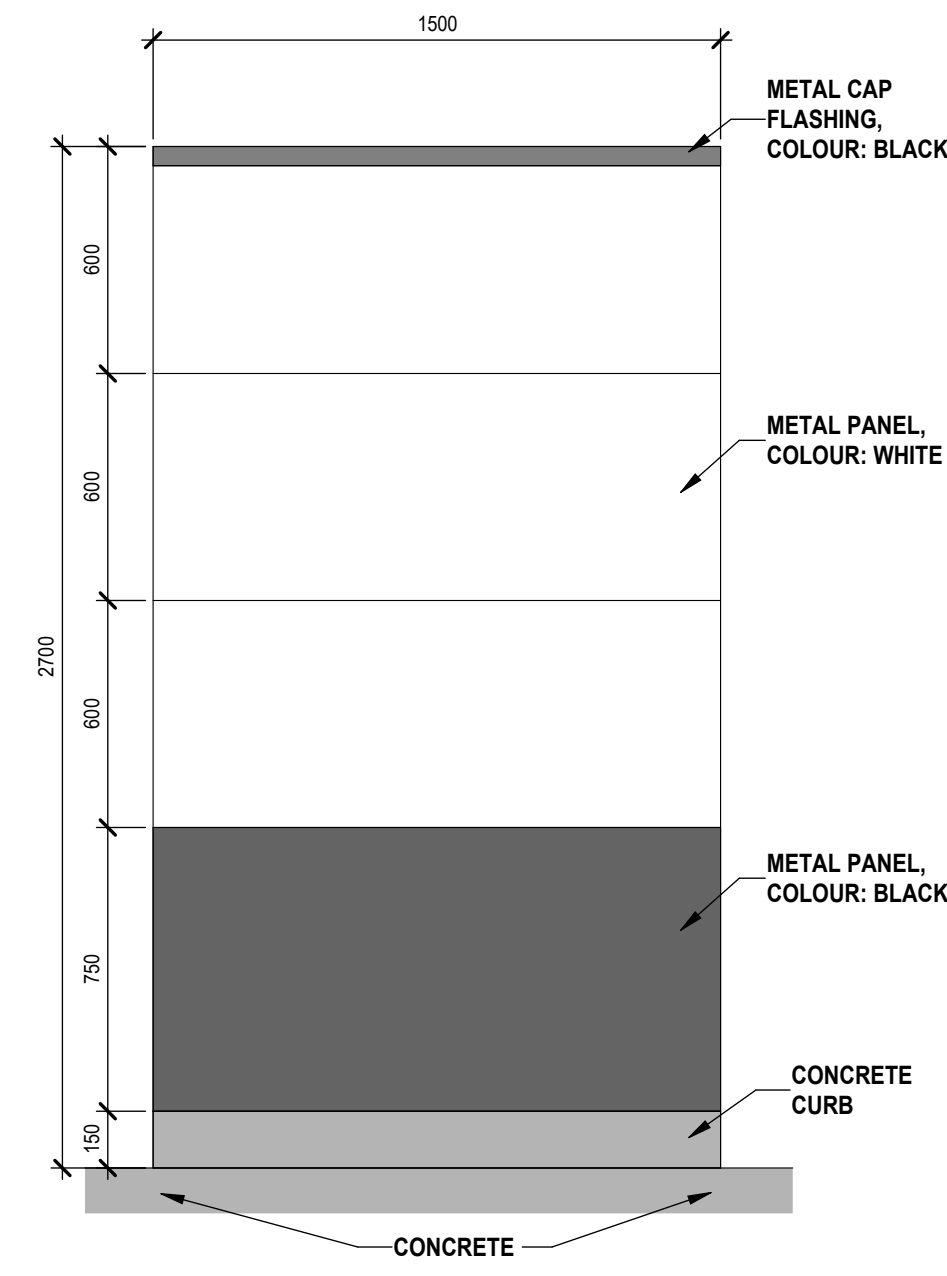
5 BARRIER FREE RAMP. SCALE: 1 : 50



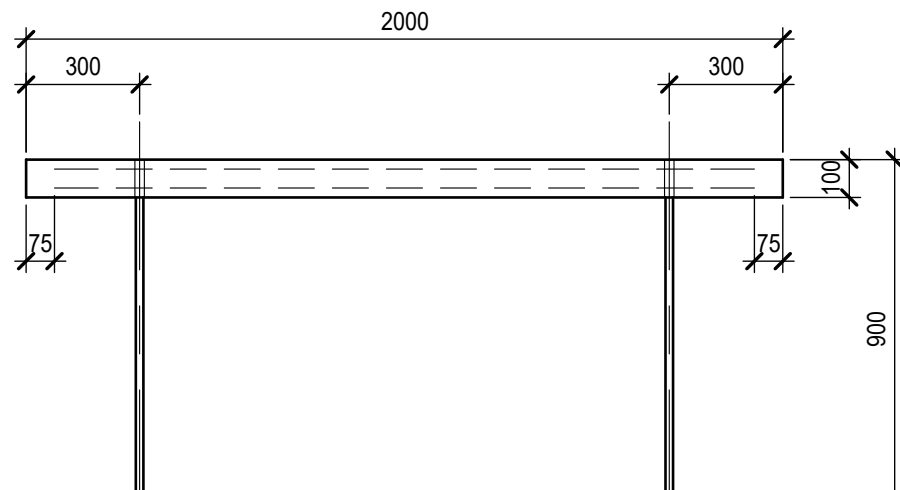
9 GSA SCREEN WALL PLAN DETAIL SCALE: 1 : 20



6 WHEEL STOP - SECTION. SCALE: 1 : 10



10 GSA SCREEN WALL ELEVATION SCALE: 1 : 20



7 WHEEL STOP - ELEVATION. SCALE: 1 : 20

2	ISSUED FOR DEVELOPMENT PERMIT	2026-06-04
1	ISSUED FOR REVISED PLAN APPLICATION	2026-05-29

NO.	ISSUE/REVISION	DATE
-----	----------------	------

PROJECT

LIVINGSTON COMMERCIAL DEVELOPMENT - SITE

PROJECT ADDRESS

1ST STREET & 142 AVE NE
CALGARY, ALBERTA T4B 3P6

TITLE

SITE PLAN & TYPICAL SITE DETAILS

PROJECT NO.	DRAWN	CHECKED
221-010	LD	CG

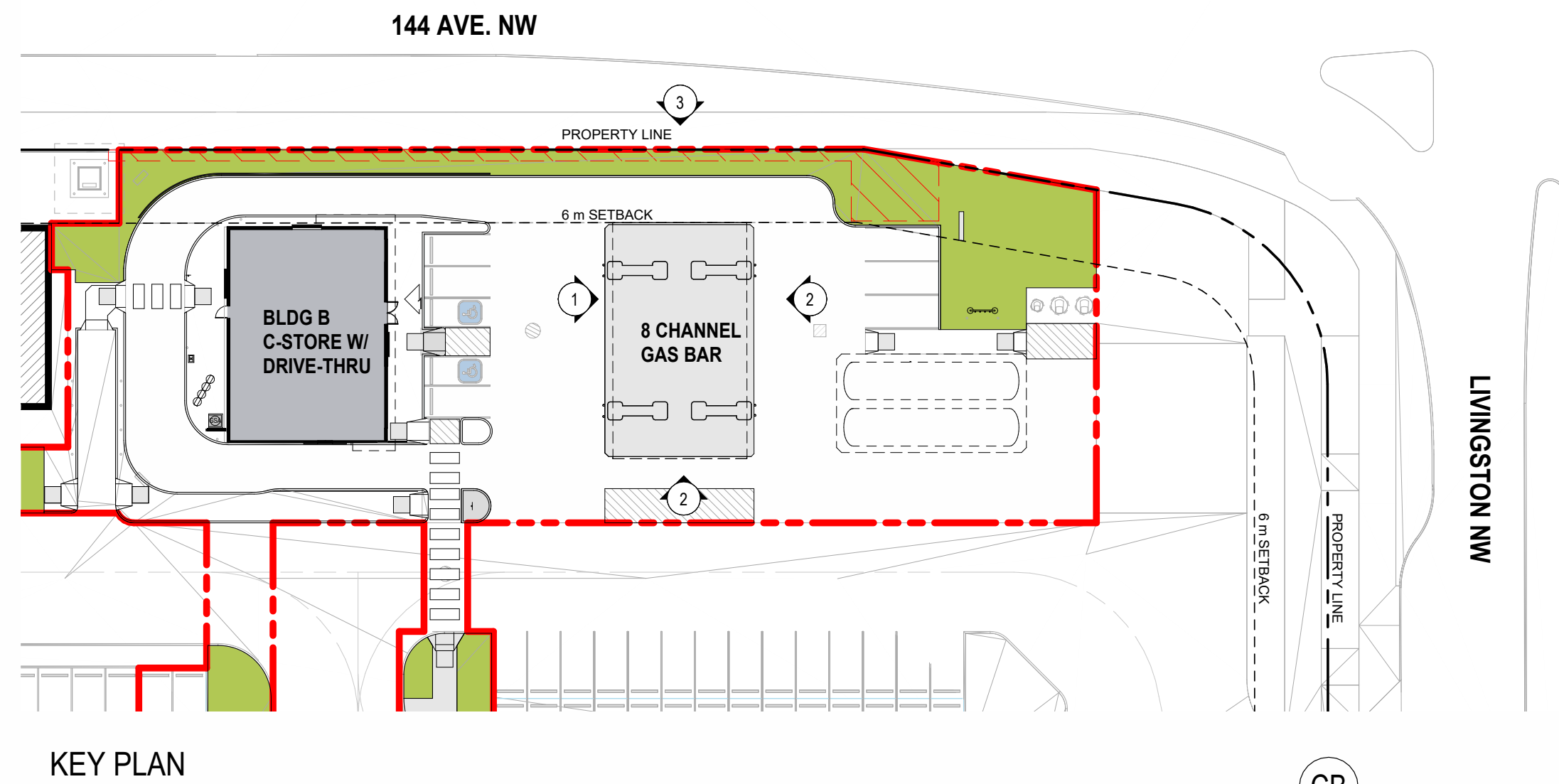
DRAWING NO.	REVISION NO.
-------------	--------------

B-DP1.03

2

Autodesk Docs://Livingston Brookfield Commercial/221-010_BLC_BLDG_B_R25.rvt

2026-06-04 3:28:46 PM



EXTERIOR MATERIAL LEGEND		
Material: Mark	Material: Keynote	
<varies>		TRUE
1A	METAL PANEL COLOUR: WHITE	NORTH
2A	METAL CAP FLASHING COLOUR: BLACK	
3A	BRICK COLOUR: BLACK	
4	THERMALLY BROKEN ALUMINUM WINDOW WALL SYSTEM COLOUR: CHARCOAL	
5	GLASS PANEL DOOR: BLACK FRAME	
5B	THERMALLY BROKEN ALUMINUM WINDOW WALL SYSTEM COLOUR: CHARCOAL	
6A	METAL PANEL DOOR COLOUR: BLACK	
7	BUILDING SIGNAGE, ALUMINUM INDIVIDUALLY CUT LETTERS, LED BACKLIT.	
8A	METAL CLADDING CANOPY FINISH COLOUR: BLACK	
8B	METAL CLADDING CANOPY FINISH COLOUR: ORANGE	
9	METAL CLADDING FINISH COLOUR: LIGHT	
10	METAL CLADDING GAS BAR CANOPY FINISH COLOUR: RED	

SIGNAGE IS FOR INFORMATION PURPOSES AND SHOWN AS REFERENCE ONLY SUBJECT TO SEPARATE DEVELOPMENT PERMIT APPLICATION.

ALL PROPOSED EXTERIOR MOUNTED LIGHTS ARE TO CITY OF CALGARY LIGHTING STANDARDS.

SITE DESIGN AND FUCTION REAMAINS UNCHANGED
AS PER
DPPDP2022-05025
DP2025-03262



Zeidler Architecture

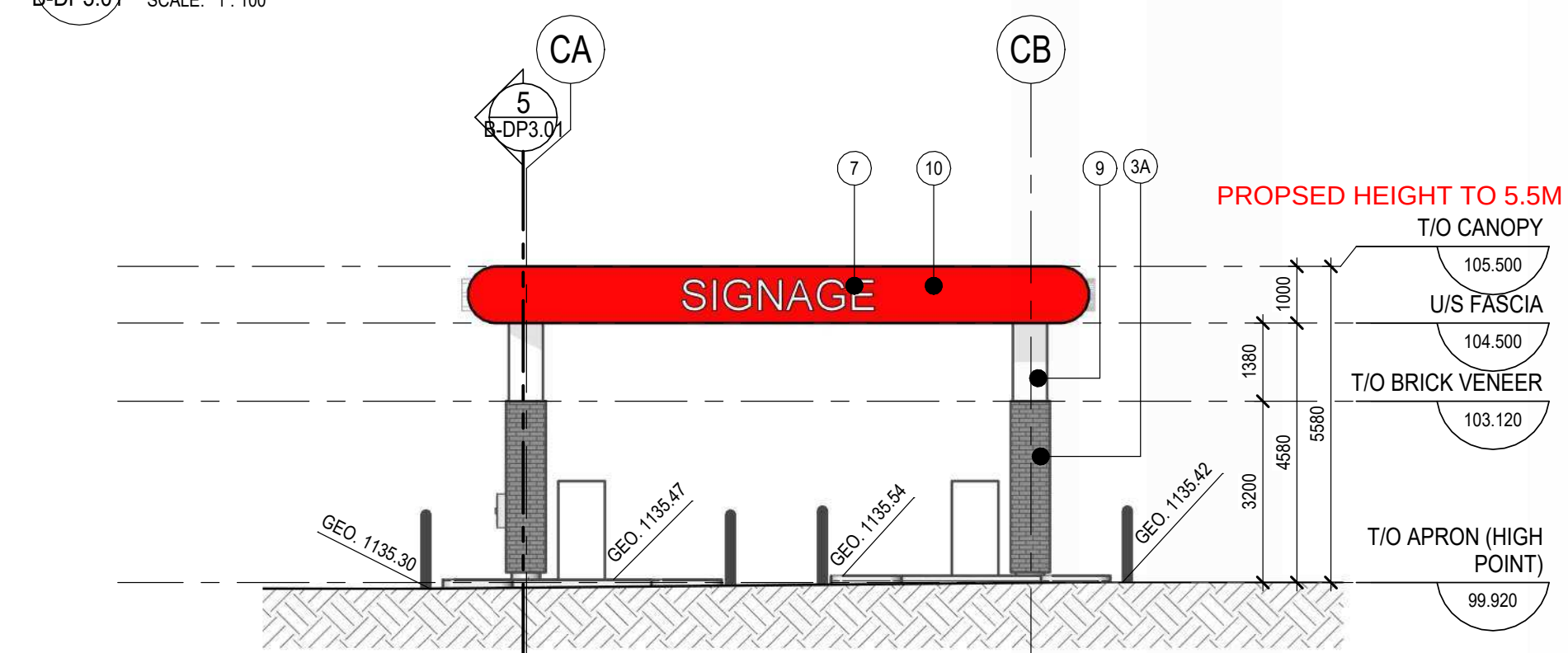
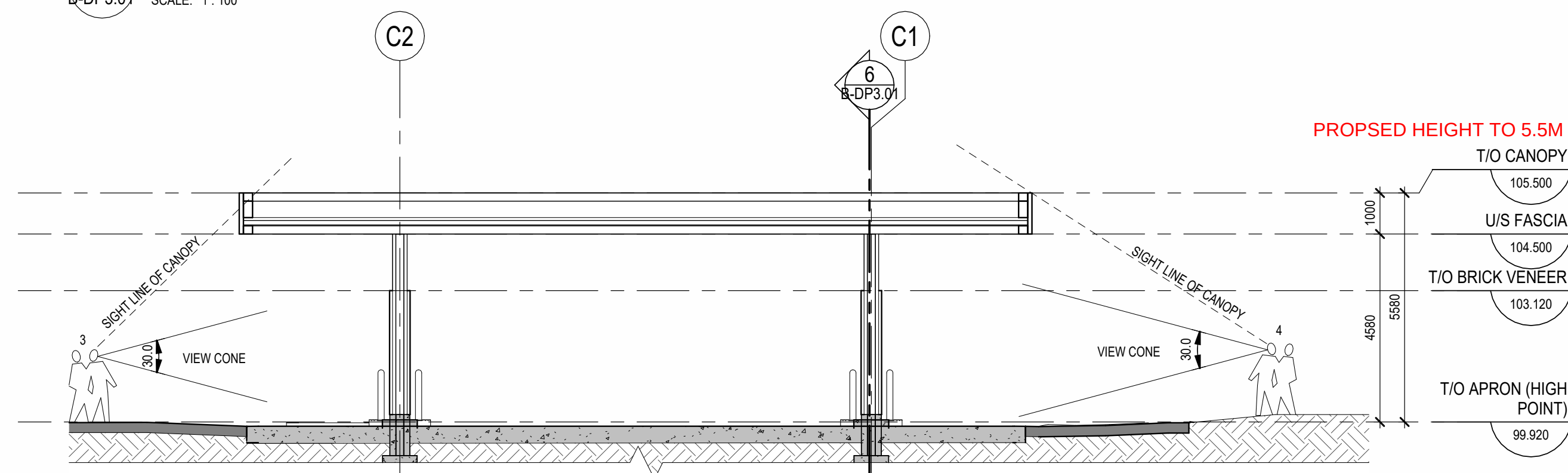
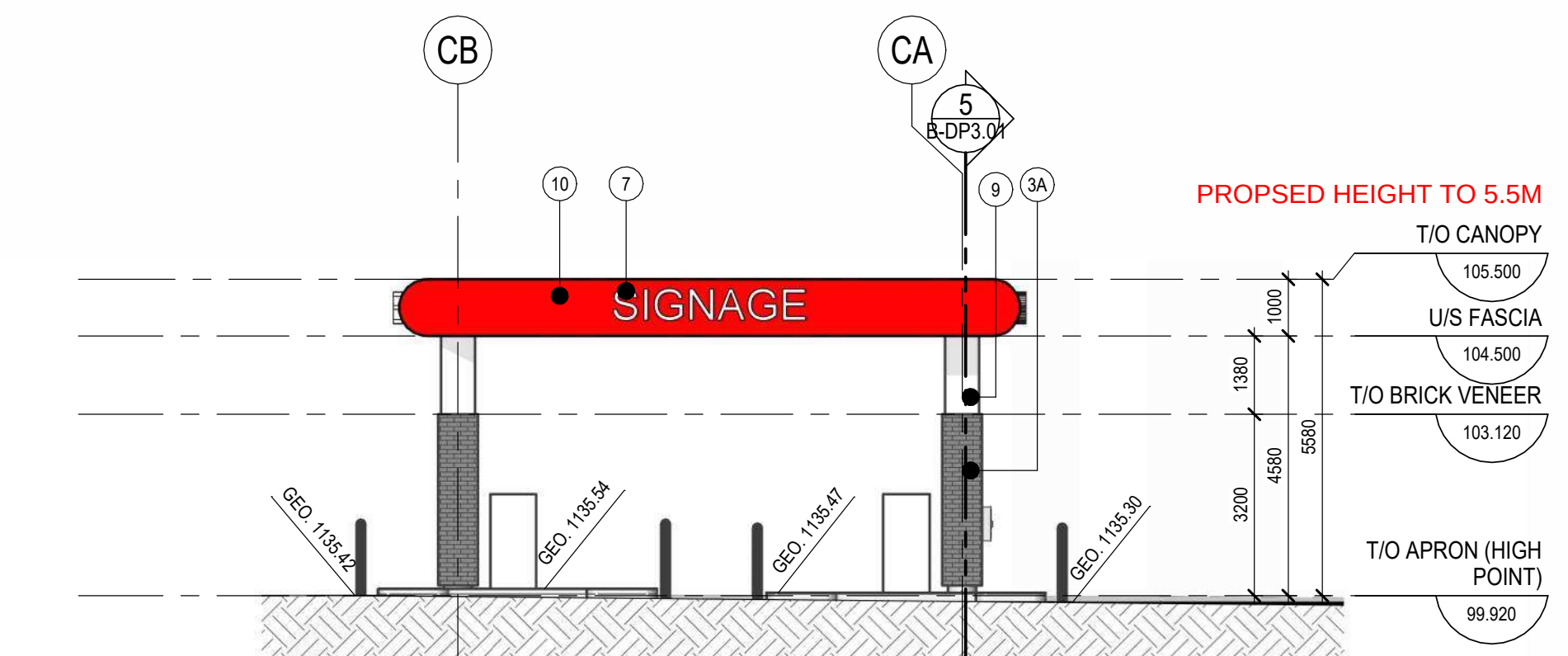
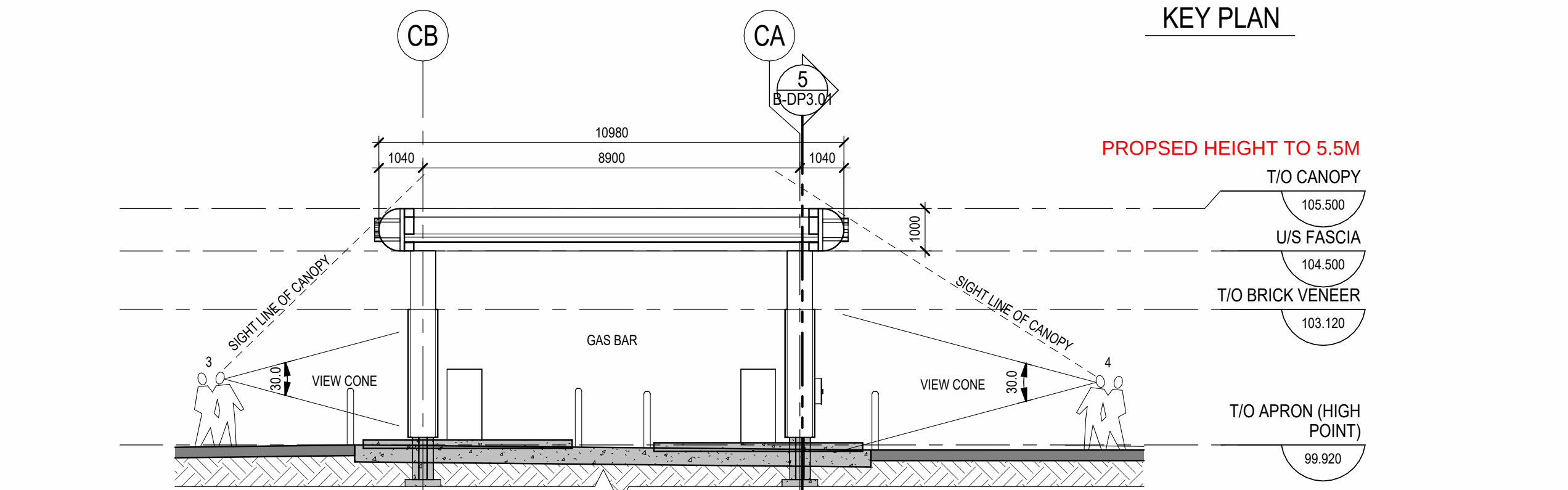
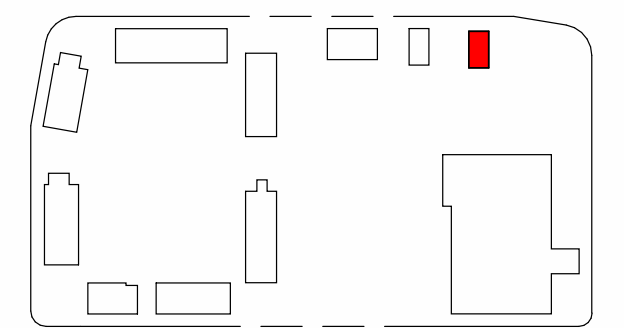
300, 640 – 8 Avenue SW
Calgary, Alberta T2P 1G7
T 403 233 2525 | zeidler.com



NOTE

COPYRIGHT © ZEIDLER ARCHITECTURE INC.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



2	ISSUED FOR DEVELOPMENT PERMIT	2026-06-04
1	ISSUED FOR REVISED DEVELOPMENT PERMIT	2026-05-28
NO.	ISSUE/ REVISION	DATE

PROJECT

LIVINGSTON COMMERCIAL BUILDING B

PROJECT ADDRESS
1ST ST & 142 AVE NE
CALGARY, ALBERTA T4B 3P6

TITLE

BUILDING ELEVATIONS & SECTIONS

PROJECT NO.	DRAWN	CHECKED
222-010	LD	CG

DRAWING NO.	REVISION NO.
-------------	--------------

B-DP3.01

2