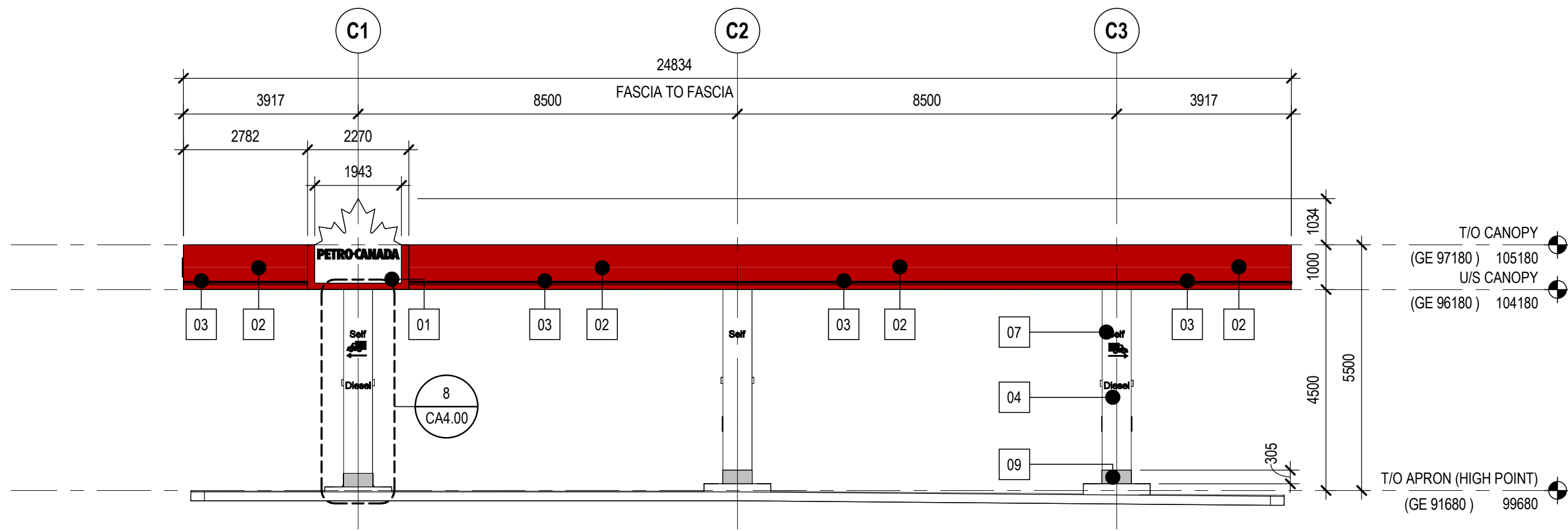
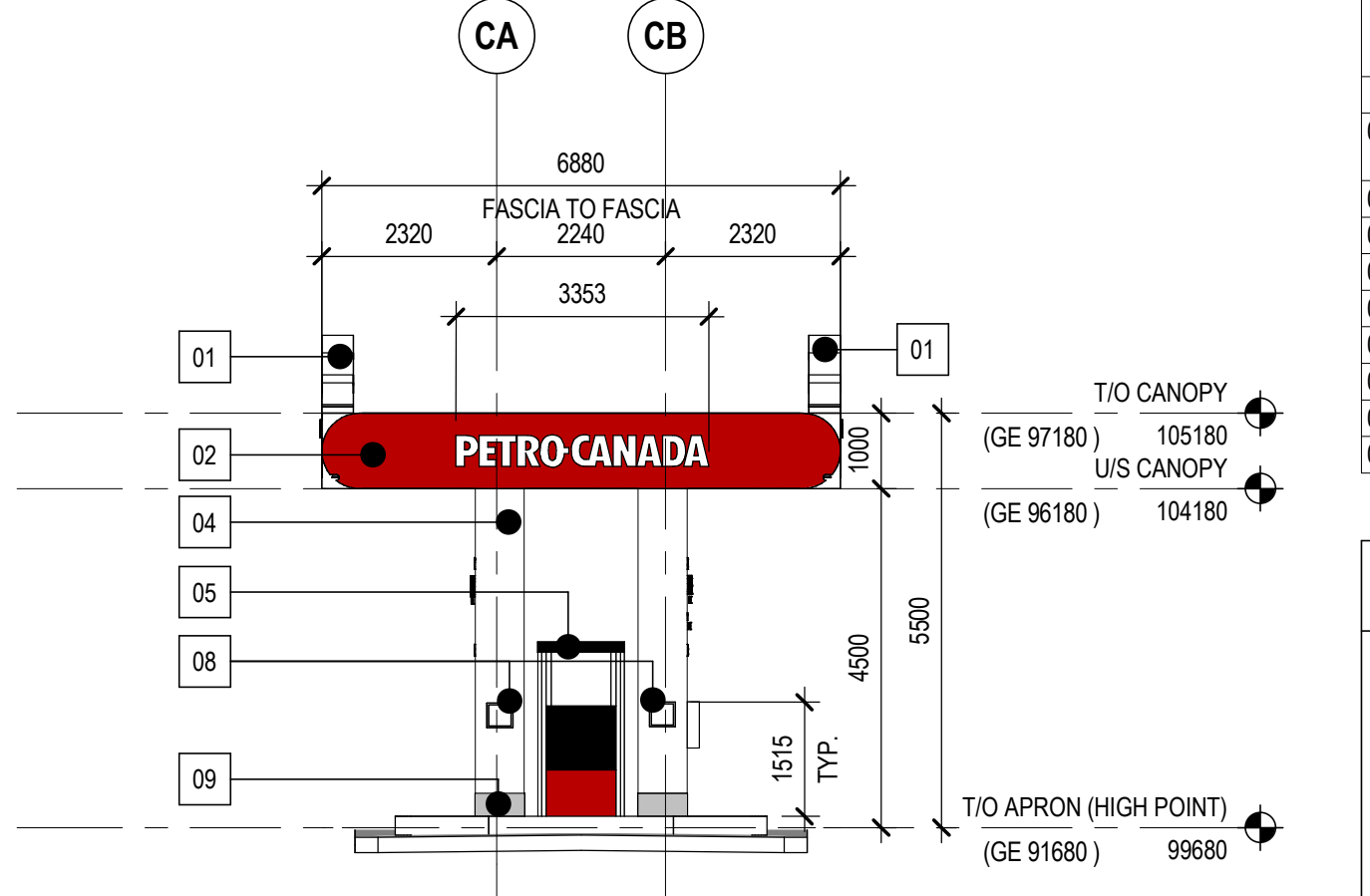
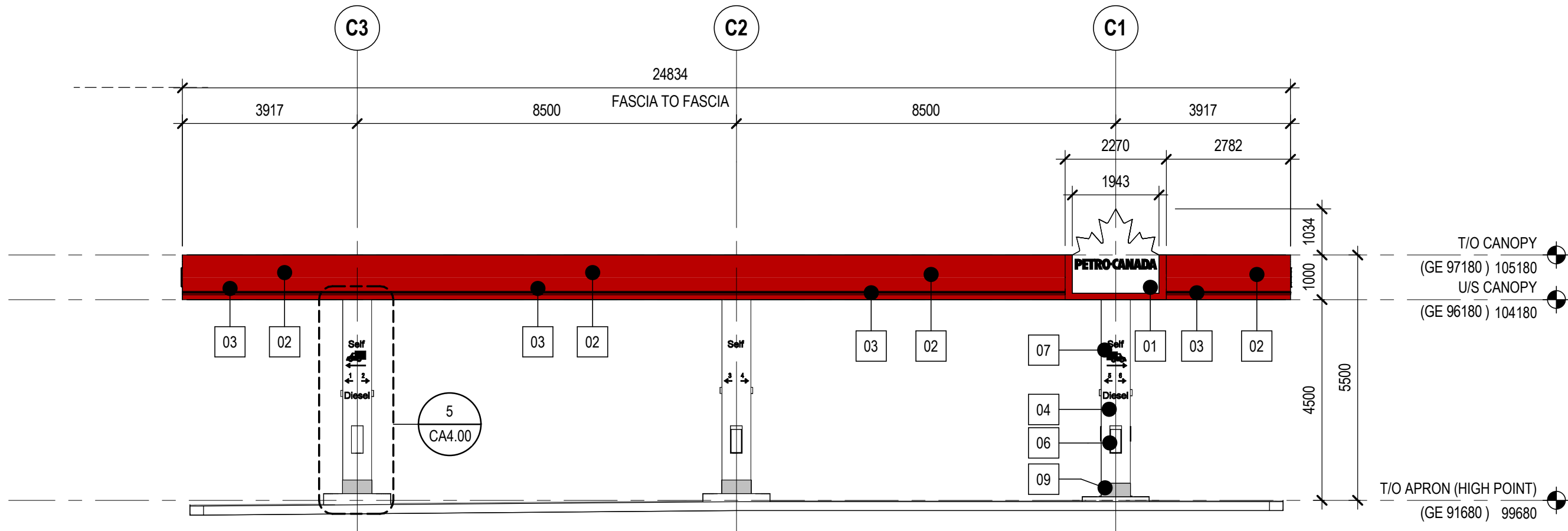




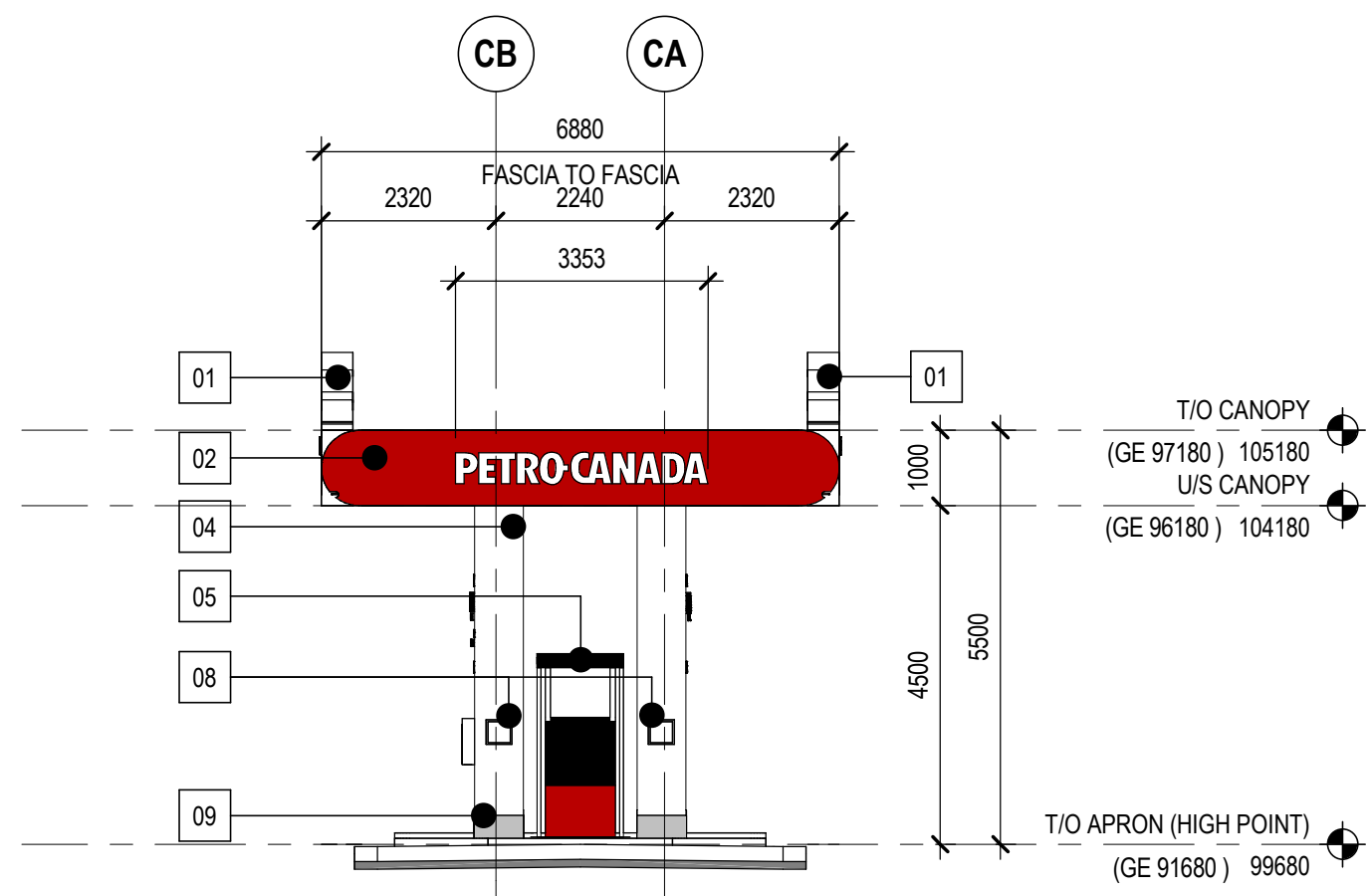
1 EAST ELEVATION
CA4.00 SCALE: 1:100



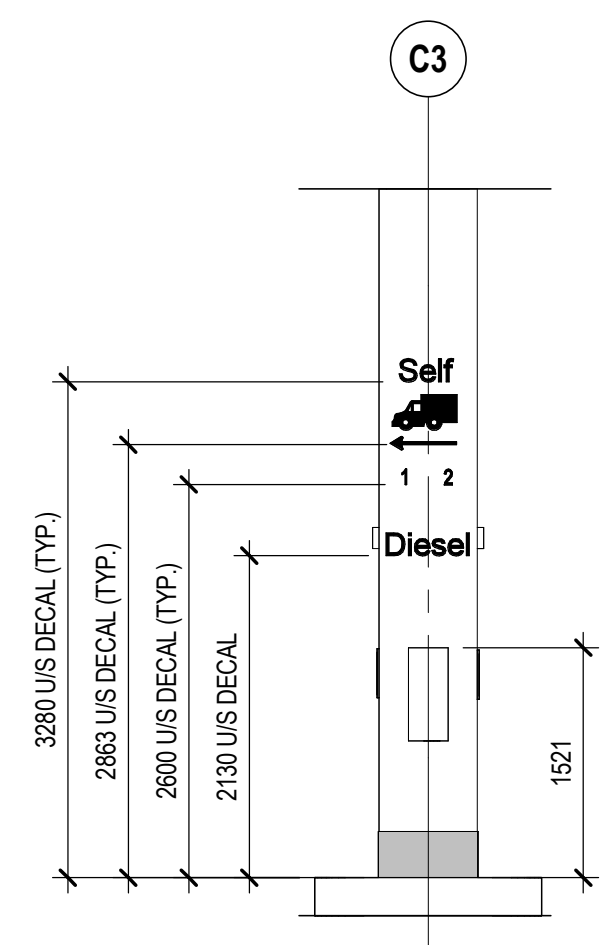
2 NORTH ELEVATION
CA4.00 SCALE: 1:100



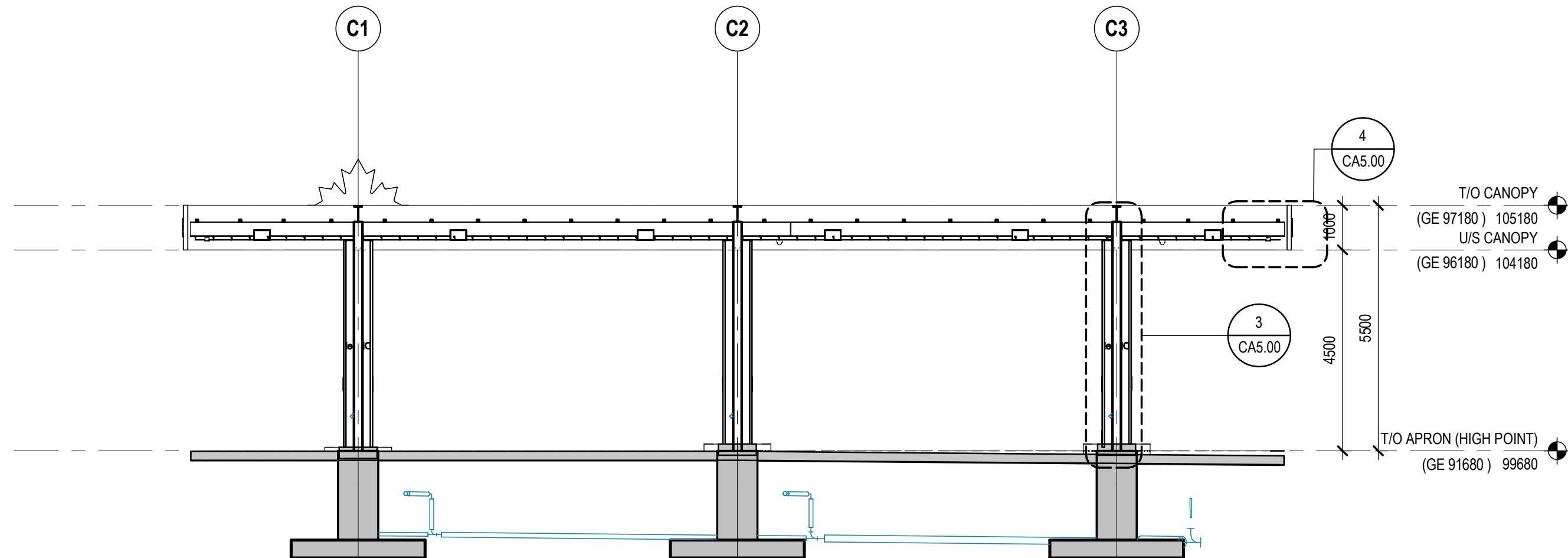
3 WEST ELEVATION
CA4.00 SCALE: 1:100



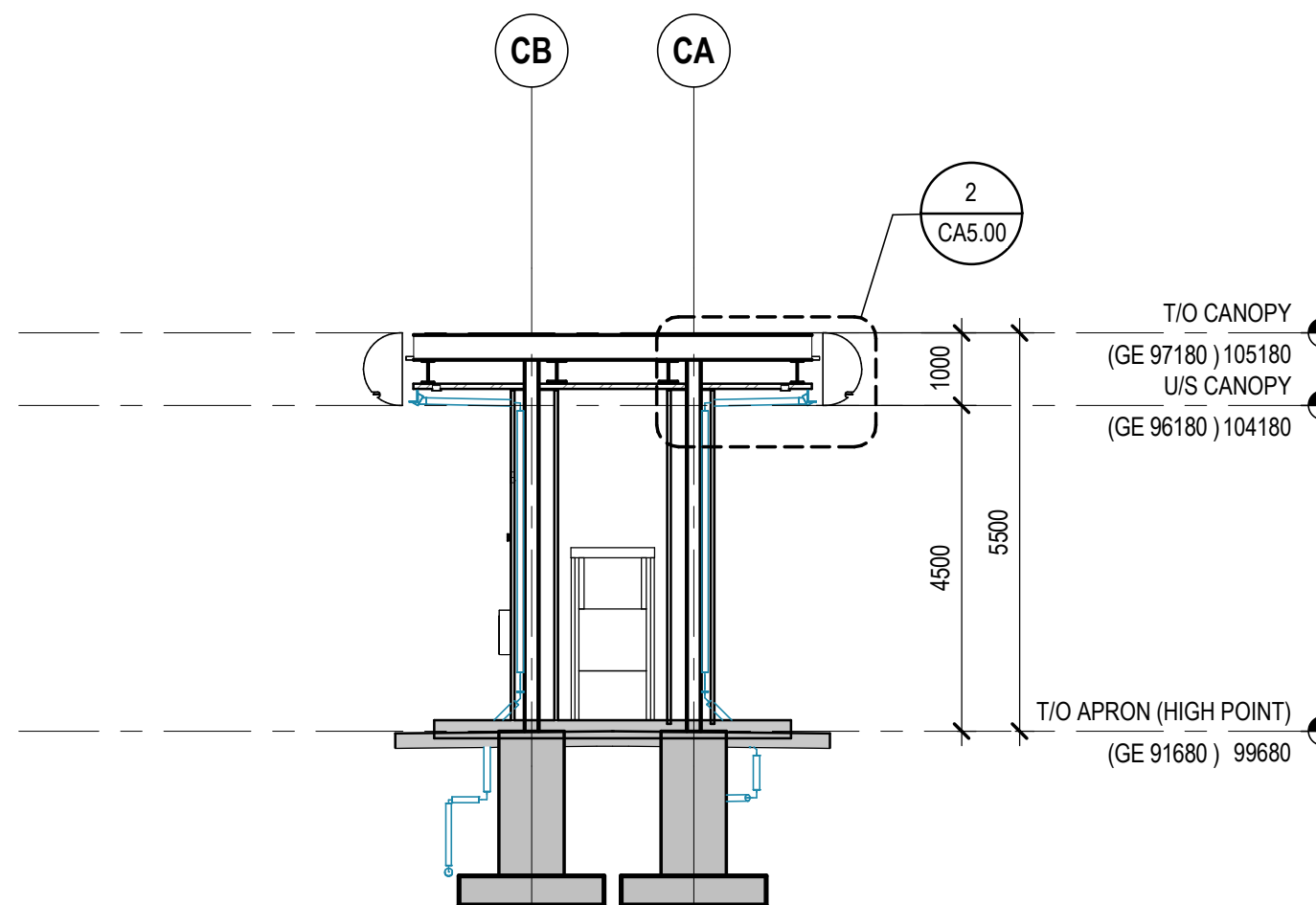
4 SOUTH ELEVATION
CA4.00 SCALE: 1:100



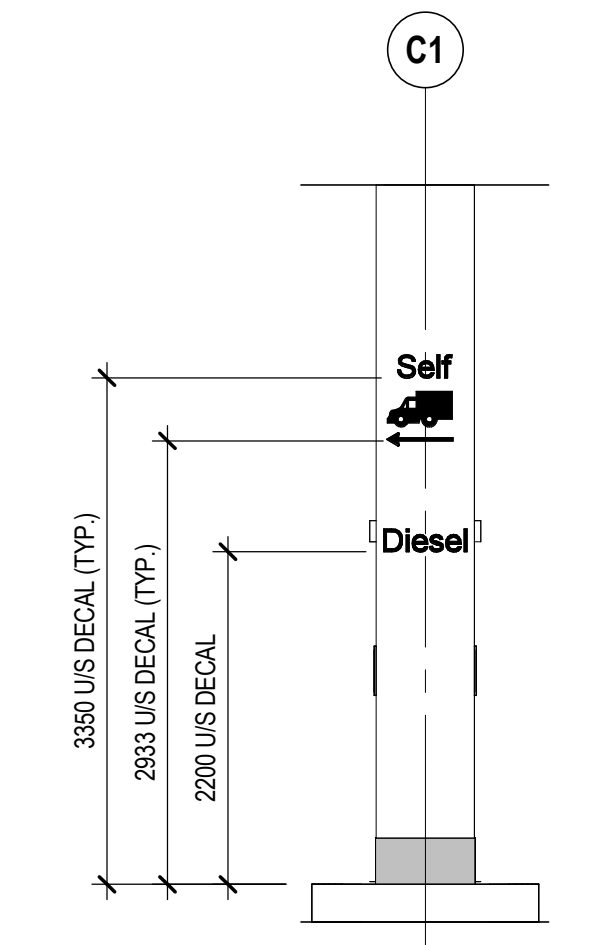
5 WEST ELEVATION - DECAL
CA4.00 SCALE: 1:50



6 BUILDING SECTION
CA4.00 SCALE: 1:100



7 BUILDING SECTION
CA4.00 SCALE: 1:100



8 EAST ELEVATION FACING STREET
CA4.00 SCALE: 1:50

KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	ROUND PROFILE ALUMINUM COMPOSITE METAL CLADDING WITH LED RECESS. COLOUR RED PANTONE 186
02	ALUMINUM COMPOSITE METAL CLADDING. COLOUR RED PANTONE 186
03	RECESSED LED STRIP G.E. CONTOUR LED. COLOUR RED
04	INTERNALLY ILLUMINATED SIGNAGE. TRANSLUCENT WHITE FACE AND BLACK TEXT
05	INTERNALLY ILLUMINATED SIGNAGE. WHITE PUSH THRU LETTERS 25mm THICK
06	ALLUMINUM COMPOSITE METAL PANEL, COLOUR WHITE, SEE NOTES BELOW
07	FUEL DISPENSER UNIT
08	FIRE EXTINGUISHER, ONE PER COLUMN
09	VINYL LETTER/GRAPHIC (COLOUR: BLACK)

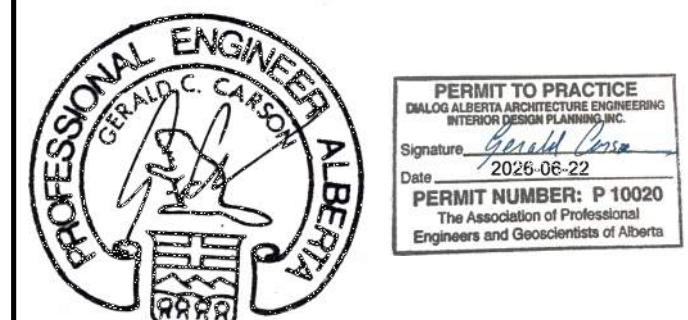
GENERAL NOTES

- WHITE COMPOSITE PANEL ACCEPTABLE PRODUCTS.
 - ALUCOBOND, COLOUR "PC COOL WHITE"
 - ALPOLIC, COLOUR "SAW WHITE"
 - REYNOBOND, COLOUR "PROGRAM WHITE"

REVISION TABLE			
REV.	DESCRIPTION	DRAWN	APP'D
		DATE	

ISSUE TABLE		
1	DEVELOPER COORDINATION	2025-10-10
2	BUILDING PERMIT CLIENT REVIEW	2026-02-11
3	BUILDING PERMIT	2026-02-25
4	BID	2026-03-25
5	DEVELOPMENT PERMIT (CANOPY ONLY)	2026-06-19

METRIC
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CONSULTANT:
DIALOG
300 - 134 11 AVENUE SE
CALGARY, AB
T2G 0X5
Tel: 403-245-5501



DRAWING TITLE:
EXTERIOR ELEVATIONS & BUILDING SECTIONS

PROJECT:
PETRO-CANADA LEWISTON
**#400 1100 140 AVENUE NE
CALGARY, AB**

DRAWN: GA	SHEET SIZE: ANSI D 558mm x 864mm
DRAWN SCALE: As indicated	PETRO-CANADA FILE No.
DATE DRAWN: 2026-06-19	CONSULTANT FILE No.
CHECKED BY: KR	PLOT SCALE
APPROVED BY: Approver	PLOT DATE: 6/19/2026 11:58:12 AM
AR10728 - 200463	PLOT CONFIGURATION
STD No / OUTLET No. 29560	CA4.00



AMENDED DRAWINGS
DP No DP2025-07375 Date Received Feb 6, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

CITY OF CALGARY - PLANNING, DEVELOPMENT AND ASSESSMENT
THESE ARE THE PLANS REFERRED TO IN DEVELOPMENT PERMIT NO.
DP No 2025-07375 Date Issued 4/22/2026
WHICH ARE APPROVED SUBJECT TO THE ALTERATIONS IF ANY SHOWN
HEREON IN RED OR AS OTHERWISE NOTED IN THE DEVELOPMENT PERMIT.
DEVELOPMENT AUTHORITY JUL

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

LEWISBURG COMMERCIAL

1100 140 AVENUE NE, CALGARY, AB

DEVELOPMENT PERMIT NUMBER: DP2025-07375

NORR PROJECT NUMBER:CO1124-0099

 **TRUMAN**

ISSUED FOR DR-1 - 2026-02-05

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
PASQUINI & ASSOCIATES GEOMATICS LTD. 300, 929 - 11th Street S.E., CALGARY, AB, T2G 0R4 PHONE: 403 452 7677 FAX: 403 452 7660	JUBILEE ENGINEERING CONSULTANTS LTD. 3702 Edmonton Trail N.E CALGARY, AB, T2E 3P4 PHONE: 403 264 4000 FAX: 403 269 721	NORR Suite 2300, 411 - 1st Street SE CALGARY, AB, T2G 4Y5 PHONE: 403 264 4000 FAX: 403 269 721	TRL & ASSOCIATES 100, 1615 - 10th Avenue SW CALGARY, AB, T3C 0J7 PHONE: 403 244 4944 FAX: 403 229 2110
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ 301, 301 - 14th Street NW CALGARY, AB, T2N 2A1 PHONE: 403289 8852	TLJ 301, 301 - 14th Street NW CALGARY, AB, T2N 2A1 PHONE: 403289 8852	- -	GROUND CUBED Suite 25, 6020 2nd Street S.E CALGARY, AB, T2H 2L8 PHONE: 403 475 0719

2025-12-17 11:15:37 PM Autodesk Docs\Truman_Lewisburg Commercial\409_001\24-0000_TrumanLewisburg\Comm_P24.rvt

Site Information		
LAND USE DISTRICT	C-C 1 (Commercial - Community 1)	
LEGAL DESCRIPTION	PLAN 2510849 (BLOCK 16, LOT 4)	
MUNICIPAL ADDRESS	1100 140 AVENUE NE, CALGARY, AB	
COMMUNITY	LEWISBURG	
SITE AREA	12,074 SM	129,966 SF
	2.98 AC	1.21 HA

Development Statistics

PROPOSED USE	4 Commercial buildings, single storey wood frame structure	
FAR		
Maximum	1.00	
Proposed F.A.R	0.22	
Total GFA	2,701 SM	
BUILDING HEIGHT		
Maximum	10.0M	
SET BACK		
Front	3.0M	At P.L. shared with Street
Rear/Side	3.0M	At P.L. shared with Street
Rear/Side	5.0M	At P.L. shared with Residential district

GROSS FLOOR AREA (GFA)			GROSS FLOOR AREA (GFA)			GROSS FLOOR AREA (GFA)		
	AREA SFT	AREA SQM		AREA SFT	AREA SQM		AREA SFT	AREA SQM
BUILDING 1								
CRU 1	1000.00 SF	92.90 m²	CRU 1	839.14 SF	77.96 m²	CRU - LIQUOR STORE	1860.95 SF	172.89 m²
CRU 2	1000.00 SF	92.90 m²	CRU 2	1000.00 SF	92.90 m²	CRU 1	715.00 SF	66.43 m²
CRU 3	1000.00 SF	92.90 m²	CRU 3	1000.00 SF	92.90 m²	CRU - RESTAURANT	2604.82 SF	242.00 m²
CRU 4	1000.00 SF	92.90 m²	CRU 4	1000.00 SF	92.90 m²	W&R AREA	211.49 SF	19.65 m²
CRU 5	1000.00 SF	92.90 m²	CRU 5	1000.00 SF	92.90 m²	SERVICE	159.92 SF	14.86 m²
CRU 6	1000.00 SF	92.90 m²	CRU 6	1000.00 SF	92.90 m²	BUILDING 3	5552.18 SF	515.81 m²
CRU 7	1000.00 SF	92.90 m²	CRU 7	1000.00 SF	92.90 m²	BUILDING 4		
CRU 8	1000.00 SF	92.90 m²	CRU-CHILD CARE	3000.00 SF	278.71 m²	C. STORE & QSR	2949.35 SF	274.00 m²
CRU 9	1000.00 SF	92.90 m²	W&R AREA	509.23 SF	47.31 m²	BUILDING 4	2949.35 SF	274.00 m²
CRU 10	847.59 SF	78.74 m²	SERVICE	152.80 SF	14.20 m²	PROJECT TOTAL GFA	29002.69 SF	2694.44 m²
SERVICE	152.41 SF	14.16 m²	BUILDING 2	10501.17 SF	975.59 m²			
BUILDING 1	10000.00 SF	929.03 m²						

Allocated Vehicle Parking						
USE		GROSS USABLE FLOOR AREA (GUFA)		MINIMUM PROPOSED STALLS PER GUFA	PROPOSED	PROVIDED
		SM	SF		STALLS	STALLS
Building 01	CRU (Commercial Retail)	914.81 SM	9846.97 SF	4 stalls per 100SM GUFA	37	37
Building 02	CRU (Commercial Retail)	636.03 SM	6846.16 SF	4 stalls per 100SM GUFA	26	26
Building 03	Child Care Service (75 students)	278.71 SM	3000.00 SF	1 stall /10 students (Pickup/ Drop off)	8	8
	CRU (Commercial Retail)	66.43 SM	715.00 SF	4 stalls per 100SM GUFA	4	4
	Liquor Store (Commercial Retail)	172.89 SM	1860.95 SF	4 stalls per 100SM GUFA	7	10
Building 04	Restaurant (Drive Through)	242.00 SM	2604.82 SF	5 stalls	5	11
	Restaurant (Drive Through)	280.08 SM	3014.78 SF	5 stalls	5	12
	Gas Bar (Convenience store)	280.08 SM	3014.78 SF	1 stalls per 100SM GUFA	3	3
Total Stalls				95 stalls	111 stalls	
Deficiency						0
Surplus						16

Barrier free (B.F) Vehicle Parking as per table 1.2 Land use Bylaw, and Alberta Building code - Table 3.8.2.5

USE		GROSS USABLE FLOOR AREA (GUFA)		MINIMUM PROPOSED STALLS PER GUFA	TOTAL PARKING PROVIDED	B.F PARKING STALLS REQUIRED	B.F PARKING STALLS PROVIDED
		SM	SF		STALLS	STALLS	STALLS
Building 01	CRU (Commercial Retail)	914.81 SM	9846.97 SF	4 stalls per 100SM GUFA	37		
Building 02	CRU (Commercial Retail)	636.03 SM	6846.16 SF	4 stalls per 100SM GUFA	26		
Building 03	Child Care Service (75 students)	278.81 SM	3001.04 SF	1 stall /10 students (Pickup/ Drop off)	8		
	CRU (Commercial Retail)	66.43 SM	715.00 SF	4 stalls per 100SM GUFA	4		
	Restaurant (Drive Through)	242.00 SM	2604.82 SF	5 stalls	11		
Building 04	Liquor Store (Commercial Retail)	172.89SM	1860.95 SF	4 stalls per 100SM GUFA	10		
	Restaurant (Drive Through)	274.0 SM	2949.31 SF	5 stalls	12		
	Gas Bar (Convenience store)	274.0 SM	2949.31 SF	3 stalls	3		
Total Stalls					111 stalls	5 stalls	6 stalls
Deficiency							0
Surplus							1

Note: Minimum parking required are calculated only for Barter free Parking stall calculation.

Note: Minimum parking required are calculated only for Barrier free Parking stall calculation

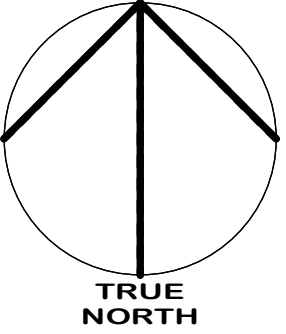
Bicycle Parking	USE	GROSS USABLE FLOOR AREA (GUFA)		TYPE	REQUIREMENT	PROPOSED	PROVIDED
		SM	SF			STALLS	STALLS
Building 01	CRU (Commercial Retail)	914.81 SM	9846.97 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	4	5
Building 02	CRU (Commercial Retail)	636.03 SM	6846.16 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	3	3
	Child Care Service	278.71 SM	3000.00 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 2000 SM GUFA	1	2
Building 03	CRU (Commercial Retail)	66.43 SM	715.00 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	1	2
	CRU (Liquor Store)	172.89 SM	1860.95 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	1	3
	Restaurant (Drive Through)	242.00 SM	2604.82 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	1	3
Building 04	Restaurant (Drive Through)	280.08 SM	3014.78 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	2	2
					Total Stalls	13	20
				Deficiency			-
				Surplus			7

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
ARCHITECTURE	
DP-00-00-00	COVER SHEET
DP-10-00-06	LOADING TRUCK SWEEP PATH & SITE DETAILS
DP-10-00-01	OVERALL SITE PLAN, VICINITY MAP, PHASING, SITE STATISTICS
DP-10-00-03	W&R TRUCK SWEEP PATH AND DETAILS
DP-10-00-05	FIRE ACCESS ROUTE
DP-10-00-02	SITE PLAN
DP-10-00-07	SITE SECTIONS
DP-31-00-01	BUILDING SECTIONS
DP-10-00-04	W&R TRUCK SWEEP PATH AND FRONT LOADING BIN DETAILS
DP-10-01-01	LEVEL 01 - MAIN FLOOR & ROOF PLANS
DP-30-01-01	EXTERIOR ELEVATIONS
DP-30-01-02	SCREENING 3D VIEWS
DP-10-02-01	LEVEL 01 - MAIN FLOOR & ROOF PLANS
DP-30-02-01	EXTERIOR ELEVATIONS
DP-30-02-02	SCREENING 3D VIEWS
DP-10-03-01	LEVEL 01 - MAIN FLOOR
DP-30-03-01	EXTERIOR ELEVATIONS
DP-30-03-02	SCREENING 3D VIEWS

CIVIL	
SP1	SITE SERVICING PLAN
SP2	SITE GRADING PLAN

ELECTRICAL	
E10-00-01	SITE LIGHTING LAYOUT

LANDSCAPE	
DP-L1	BYLAW PLAN
DP-L2	LANDSCAPE PLAN
DP-L3	DETAILS



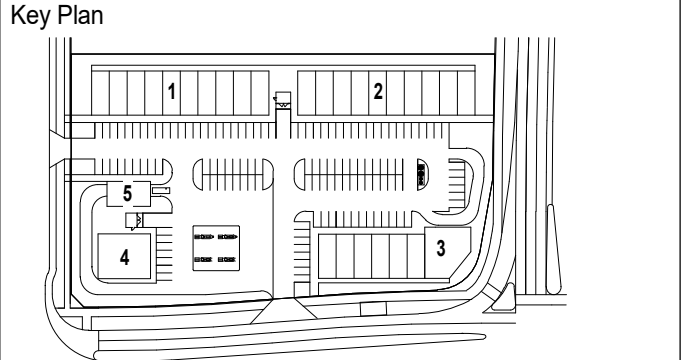
AMENDED DRAWINGS
DP No 2025-07375 Date Received Feb 6, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

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Project Component CONSTRUCTION



Consultants	PASQUINI & ASSOCIATES GEOMATICS LTD.
Survey:	JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture:	NORR
Structural:	TRL & ASSOCIATES
Mechanical:	TLJ
Electrical:	TLJ
Interiors:	
Landscape:	GROUND CUBED

Seal(s)
CITY OF CALGARY - PLANNING, DEVELOPMENT AND ASSESSMENT
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DP No 2025-07375 Date Issued 4/22/2006
WHICH ARE APPROVED SUBJECT TO THE ALTERNATIONS IF ANY SHOWN HEREON IN RED OR AS OTHERWISE NOTED IN THE DEVELOPMENT PERMIT.
DEVELOPMENT AUTHORITY: JLI

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com
NORR Architects Engineers Planners
A Partnership of Corporations
Jonathan Hughes, Architect, AIA, OAA, ABC, MAA, AANB, AAPE
Adrian Tiedals, P.Eng., APEGA
Chris Pao, P.Eng., APEGA

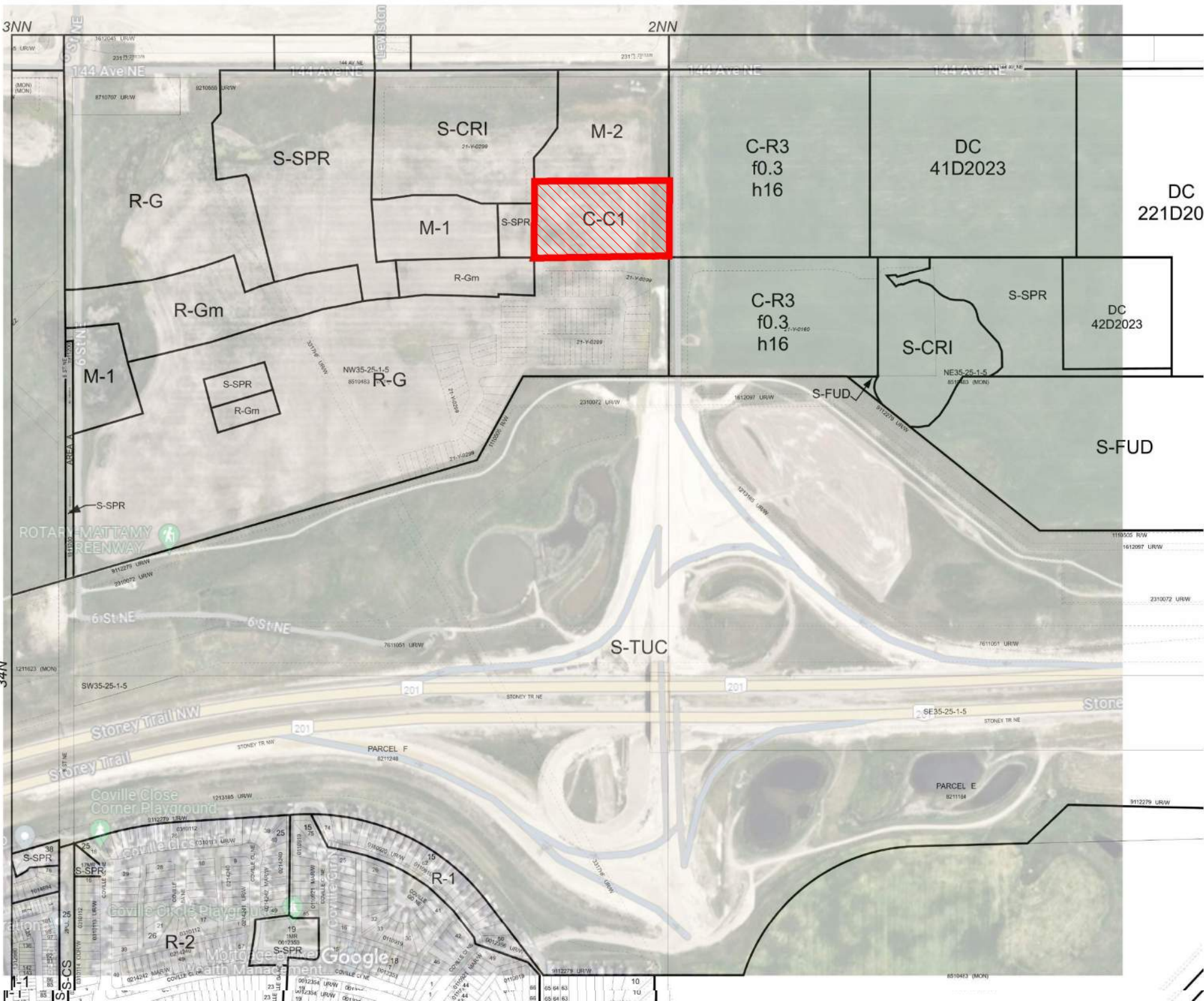
Project Manager	Drawn
T.JAIN	S.KARVETI
Project Leader	Checked
K.ELDIALDE	T.JAIN
Client	

TRUMAN
2236, 10 ASPEN STONE BLVD SW
Project
LEWISBURG COMMERCIAL

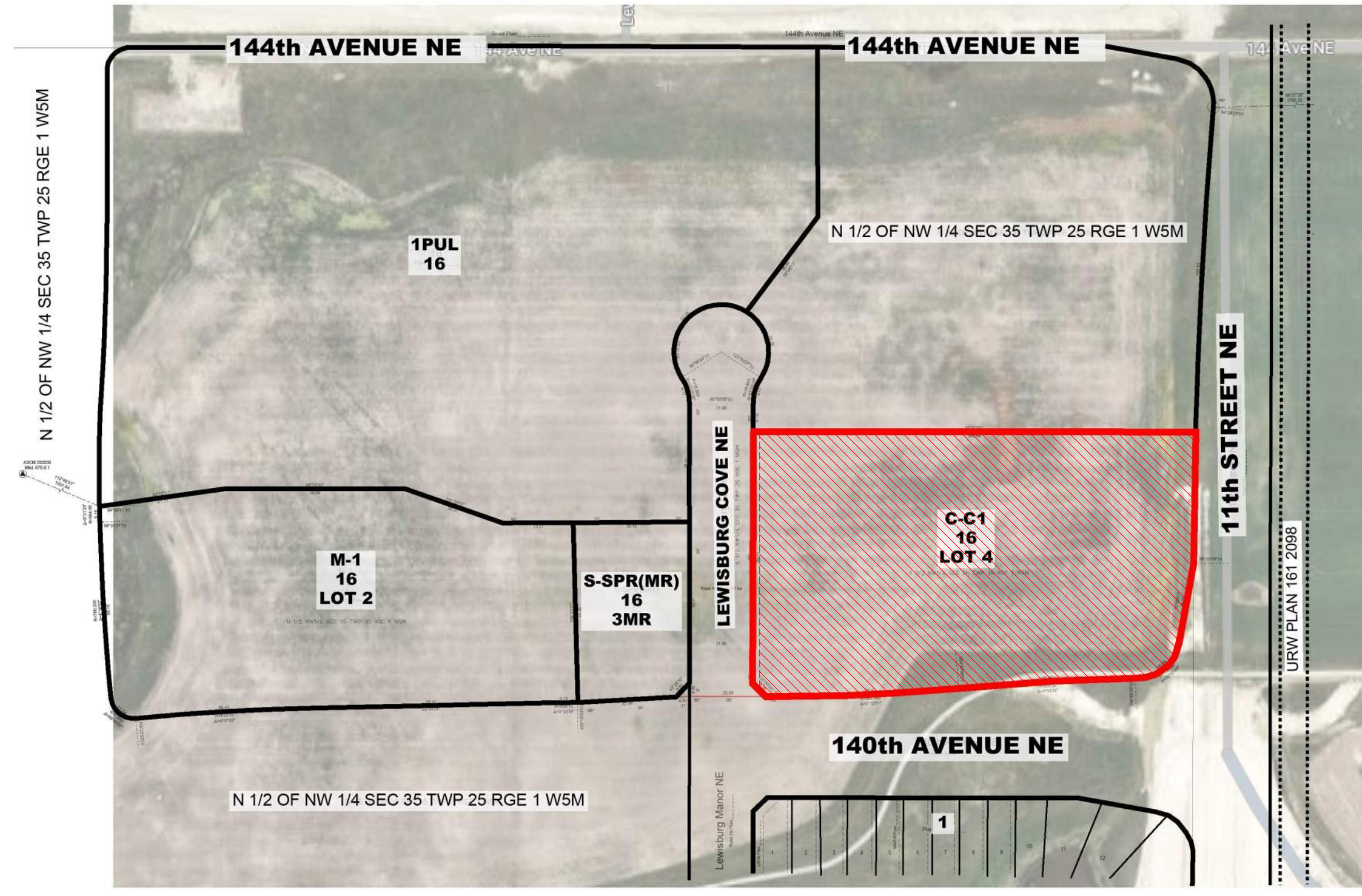
1100 140 AVENUE NE, CALGARY, AB
Drawing Title

OVERALL SITE PLAN, VICINITY MAP, PHASING, SITE STATISTICS

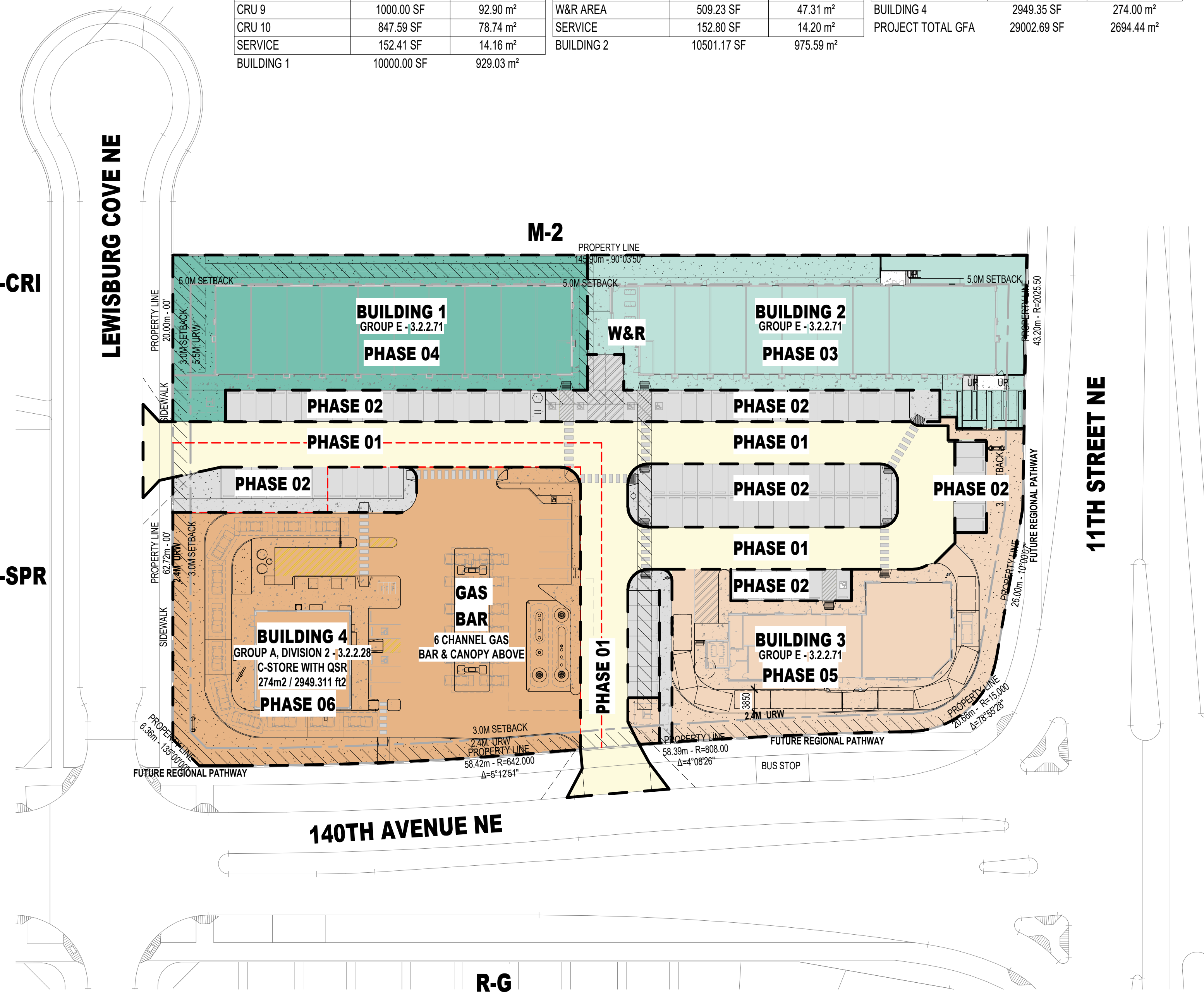
Scale	As indicated
Project No.	CO1124-0099
Drawing No.	DP-10-00-01



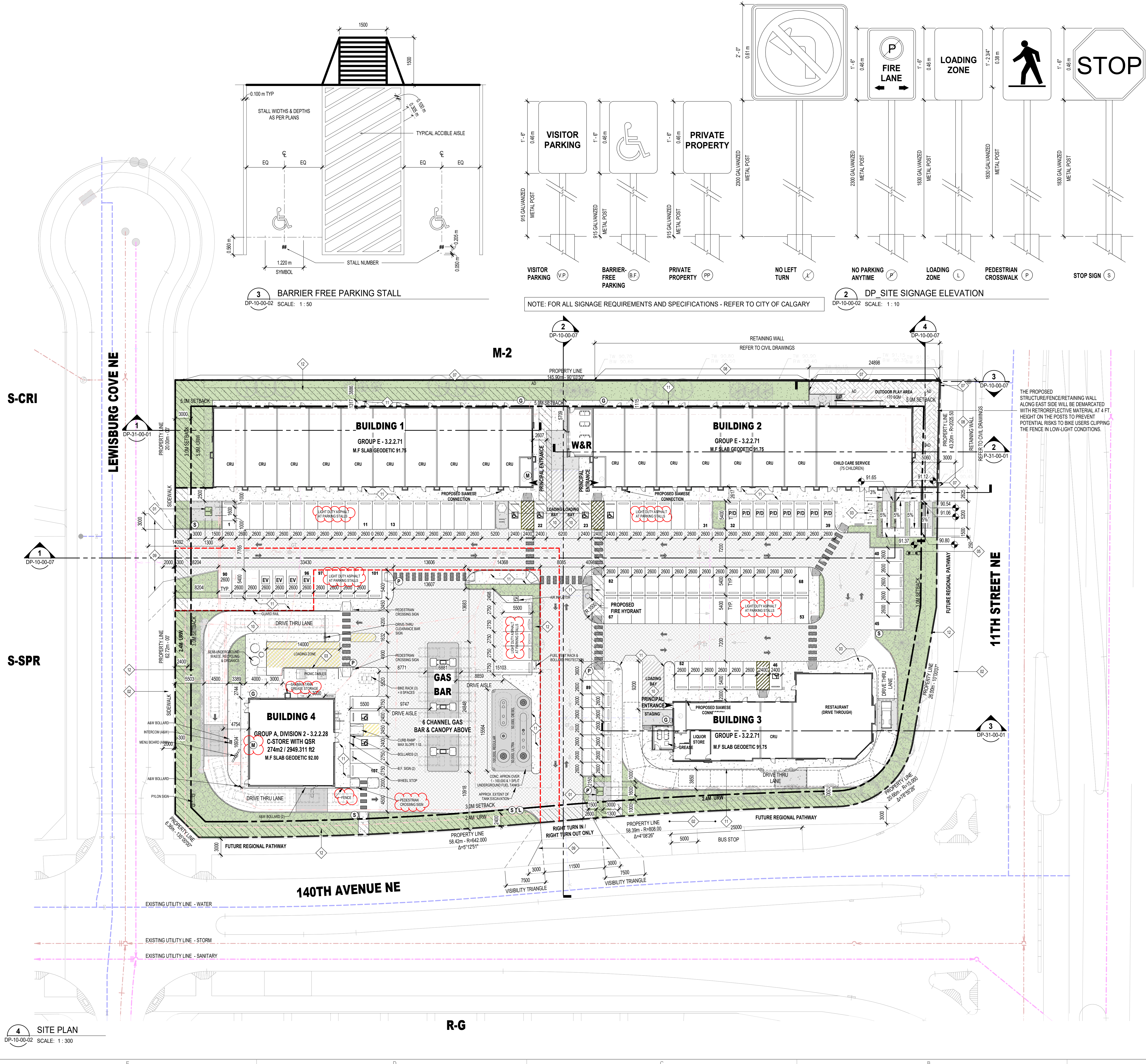
2 ZONING MAP
DP-10-00-01 SCALE: 1 : 5000



1 SITE CONTEXT & VICINITY
DP-10-00-01 SCALE: 1 : 1500



3 PHASING PLAN
DP-10-00-01 SCALE: 1 : 500

4 SITE PLAN
DP-10-00-02 SCALE: 1 : 3003 BARRIER FREE PARKING STALL
DP-10-00-02 SCALE: 1 : 50

NOTE: FOR ALL SIGNAGE REQUIREMENTS AND SPECIFICATIONS - REFER TO CITY OF CALGARY

2 DP_SITE SIGNAGE ELEVATION
DP-10-00-02 SCALE: 1 : 10

SITE KEYNOTES

- PROPOSED LOCATION OF ELECTRICAL TRANSFORMER
- PUBLIC WALKWAY
- PROPOSED CLASS 2 BIKE PARKING
- PROPOSED FIRE HYDRANT
- PROPOSED PYLON SIGN
- PROPOSED DRIVE THRU MENU BOARD AND ORDERING STATION. LOCATION TO BE COORDINATED WITH TENANT IMPROVEMENT
- 6FT HIGH FENCE
- PROPOSED RETAINING WALL. REFER TO CIVIL DRAWINGS
- PROPOSED ENTRANCE APRON
- PROPOSED LOADING BAY
- CONCRETE WALKWAY
- PLANTS REFER TO LANDSCAPE
- PULLBOX, REFER TO SHALLOWS DESIGN PLAN

SITE PLAN NOTES

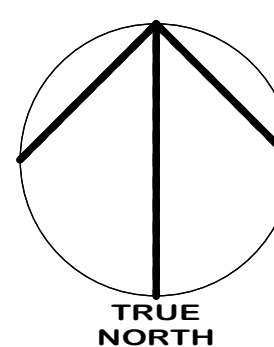
- REGULAR ASPHALT ON PARKING STALLS
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (W.P.)
- NO PARKING ANYTIME/FIRE LANE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5m.
- REFER TO CIVIL DRAWINGS FOR SERVING AND GRADING.
- REFER TO LANDSCAPE DRAWINGS FOR DETAILS.

GENERAL NOTES

- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS AND FEATURES.
- REFER TO LIGHTING PLAN FOR SITE LIGHTING LAYOUT AND DETAILS. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY.
- REFER TO DP10-00-03 FOR WASTE & RECYCLING DRAWINGS AND DETAILS.
- ALL PROPERTY LINES ARE EXISTING AND ALL ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE.
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
- ALL INFORMATION ABOUT SERVICES, UTILITY RIGHT OF WAY AND GRADING IS PROVIDED & EXTERIOR STEPS BY CIVIL ENGINEER AND IT'S SHOWN IN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY AND FOR ADDITIONAL INFORMATION REFER TO CIVIL DRAWINGS.
- THIS DEVELOPMENT PERMIT DRAWING AND NOTED AREA CALCULATION IS FOR GENERAL REFERENCE ONLY. ALL BUILDINGS ARE APPROXIMATE AND ARE TO BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT.

SITE LEGEND

- PRINCIPAL ENTRY
- BARRIER FREE PARKING
- BARRIER FREE PARKING SIGNAGE
- NO LEFT TURN
- NO PARKING ANY TIME / FIRELANE
- STOP SIGN
- LOADING BAY
- PEDESTRIAN CROSSWALK
- GAS METER
- WATER METER
- CATCH BASIN
- GRATED TOP MANHOLE
- DIRECTION OF TRAVEL
- TRANSFORMER & CONC. PAD
- WHEELCHAIR RAMP
- NUMBER OF RISERS (REFER TO CIVIL DRAWINGS)
- FIRE HYDRANT EXISTING (E) & PROPOSED (P)
- MAIN FLOOR (ENTRY LEVEL)
- PAINTED PEDESTRIAN CROSSWALK
- RETAINING WALL
- CONCRETE SIDEWALK
- URW AREA
- HEAVY DUTY ASPHALT
- FIRE ACCESS ROUTE
- FIRE ACCESS ROUTE TO BE MINIMUM 6.0M WIDE MADE OF HEAVY DUTY ASPHALT (ABLE TO SUPPORT A MIN. OF 85,000 LB OR 38,556 KG)
- PROPERTY LINE
- SETBACK LINE
- UTILITY - GAS LINE
- UTILITY - WATER LINE
- UTILITY - SANITARY LINE
- UTILITY - STORM LINE
- STRATA LINE
- PARKING FOR ELECTRICAL VEHICLE
- PICK UP/ DROP OFF PARKING STALL (CHILD CARE SERVICE)



DATE	ISSUED FOR	REV
2024-07-31	ISSUED FOR DEVELOPMENT PERMIT	1
2024-10-17	ISSUED FOR DR1	2
2024-12-13	DR2	3
2025-01-08	DR2 - R1	4
2025-03-11	FULL SET DR2-R1	5
2025-04-09	PRIOR TO RELEASE	6
2025-12-05	BLDG 4 SITE REVISION	7
2025-12-11	ISSUED FOR REVISIONS TO DP	8
2026-02-04	ISSUED FOR DR-1	9

AMENDED DRAWINGS
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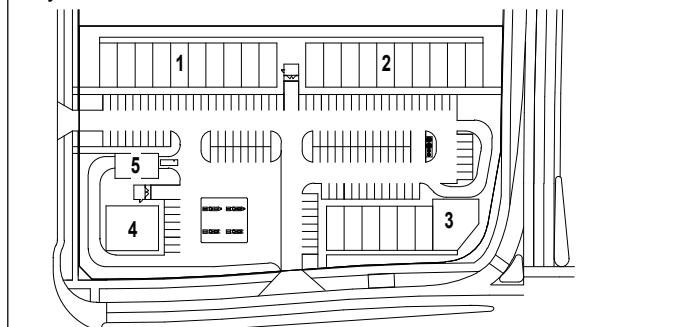
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Project Component
CONSTRUCTION

Key Plan



Consultants
Survey: PASQUINI & ASSOCIATES GEOMATICS LTD.
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR
Structural: TRL & ASSOCIATES
Mechanical: TLJ
Electrical: TLJ
Interiors: TLJ
Landscape: GROUND CUBED

Seal(s)

CITY OF CALGARY: PLANNING, DEVELOPMENT AND ASSESSMENT
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A Partnership of Corporations

Jonathan Hughes, Architect, AAA, OAA, ASBC, MAA, AAN, AAPE
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Client	

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project
LEWISBURG COMMERCIAL

1100 140 AVENUE NE, CALGARY, AB

Drawing Title

SITE PLAN

Scale
As indicated

Project No.
CO1124-0099

Drawing No.
DP-10-00-02