

CHELBURG INTERIORS SHOWROOM - OFFICE RENOVATION

PROPOSED INTERIOR ALTERATIONS TO NEW OFFICE SHOWROOM

ISSUED FOR TENANCY CHANGE OF USE

MUNICIPAL ADDRESS: 4030 4 SREET S.E CALGARY ALBERTA T2G 2W3

LEGAL DESCRIPTION: BLOCK: 02 ; PLAN: 2464JK ; LOT: 1-9

PROJECT DESCRIPTION: PROPOSED INTERIOR ALTERATIONS TO EXISTING WAREHOUSE / OFFICE LOCATION FOR NEW MILLWORK SHOWROOM. INC. PAINT, FLOORING, INTERIOR PARTITIONING, ELECTRICAL & MILLWORK UPGRADES

EXISTING BY-LAW INFORMATION:

COMMUNITY: MANCHESTER INDUSTRIAL
LAND USE: I-G - INDUSTRIAL GENERAL

LOT DIMS: FRONTAGE X DEPTH
(N/A X N/A - P.L SHARED)
AREA OF LOT: UNKNOWN
LAND USE BYLAW: CITY OF CALGARY LAND USE BYLAW 1P2007

EXISTING PERMITTED USE: UNKNOWN

PERMITTED USE: GENERAL INDUSTRIAL LIGHT

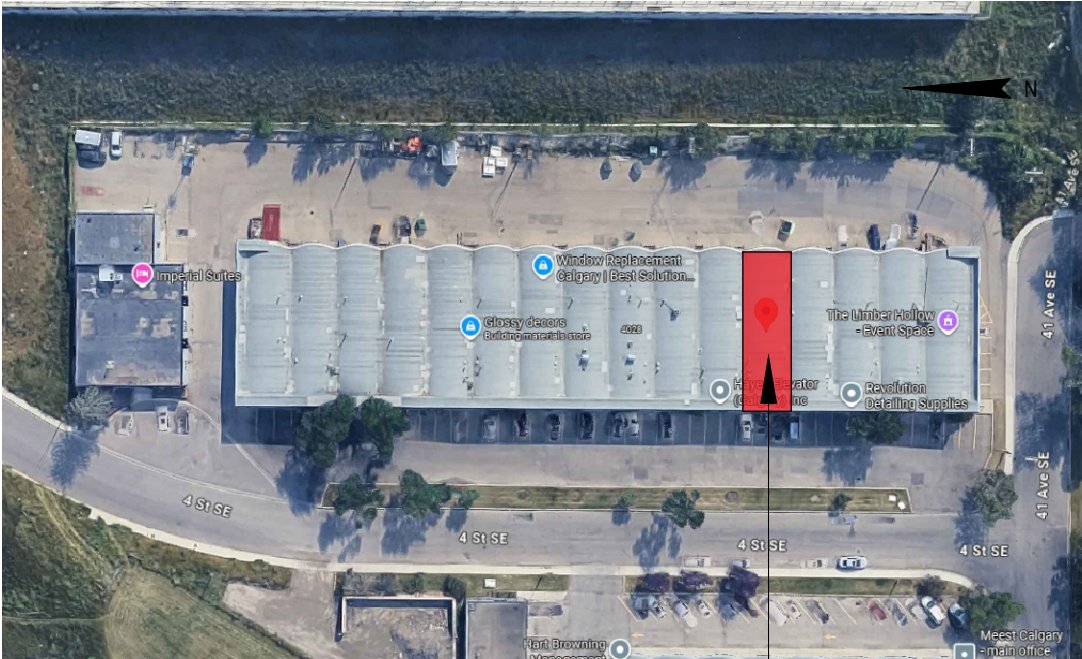
BUILDING INFORMATION:

MAJOR OCCUPANCY: GROUP D- BUSINESS & PERSONAL SERVICES
STYLE OF STRUCTURE: SINGLE STOREY
YEAR BUILT: 1965
CONSTRUCTION TYPE: CONCRETE / STEEL
FOUNDATION: CONCRETE
ROOF TYPE: CONCRETE
EXTERIOR FINISHES: ARCHITECTURAL CLADDING / STUCCO
HEATING TYPE: FORCED AIR
FUEL TYPE: NATURAL GAS / ELECTRIC
O/A AREA OF SUITE: 1,921.23 SQ FT (178.48 m²)
TOTAL OCCUPANCY LOAD: 178.48 m² / 9.30 m² = 19.19 =
ACTUAL OCCUPANT LOAD = 12 OCCUPANTS

CONSULTANTS:

INTERIOR DESIGN
PERSPECTIVE INTERIORS CONSULTING INC.
MANUELA ODDONE & ROBERTO LOMBARDO
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MECHANICAL ENGINEERING
DMH DESIGN LTD.
DAVE PEDERSEN
C. 403.620.3170
E. dmhdes@shaw.ca



1
ID0
KEY PLAN
SCALE: N.T.S
DRAWINGS ARE NOT TO BE SCALED

VACANT CRU - 140 11 AVENUE S.W CALGARY AB

ALL CONSTRUCTION MUST CONFORM TO CURRENT NATIONAL BUILDING CODE (ALBERTA EDITION - 2023)

DRAWING SYMBOLS LEGEND:

THE FOLLOWING SYMBOLS ARE COMMON DRAFTING SYMBOLS USED THROUGHOUT THIS ARCHITECTURAL DRAWING SET ONLY. REFER TO INDIVIDUAL DRAWING SHEETS, LEGENDS & SCHEDULES FOR SPECIFIC SYMBOLS, INFORMATION AND USES.

1 KEYNOTE (REFER TO SHEET KEY SCHEDULE)

1
ID01
ELEVATION REFERENCE TAG
DRAWING NUMBER
SHEET NUMBER

NOTES:

CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DO NOT SCALE DRAWINGS.

ALL SUB-TRADES, INSTALLERS & CONTRACTORS TO SITE VERIFY MATERIAL QUANTITIES REQUIRED PRIOR TO ORDERING.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER DRAWINGS, MECHANICAL ENGINEER DRAWINGS, ELEVATOR CONTRACTOR DRAWINGS & MILLWORK DRAWINGS.

NOTE TO CONTRACTORS - ITEMS IN THIS DRAWING PACKAGE APPEAR IN COLOR, PRINT THIS PACKAGE IN COLOR TO ENSURE ACCURACY.

DRAWING INDEX:

INTERIOR DESIGN:

ID0 COVER PAGE / SITE CONTENT
ID0.1 GENERAL NOTES
ID01 EXISTING SITE PLAN
ID02 EXISTING PARTITION PLAN
ID03 PROPOSED MAIN FLOOR PARTITION PLAN
ID04 REFLECTED CEILING / ELECTRICAL PLAN
ID05 MILLWORK ELEVATIONS & DETAILS PAGE 01
ID06 MILLWORK ELEVATIONS & DETAILS PAGE 02
ID07 MILLWORK ELEVATIONS & DETAILS PAGE 03
ID08 MILLWORK ELEVATIONS & DETAILS PAGE 04

ELECTRICAL ENGINEERING:

NOT REQUIRED WITHIN SCOPE OF ALTERATIONS

MECHANICAL ENGINEERING:

M1 MECHANICAL DEMOLITION FLOOR PLANS
M2 MECHANICAL PROPOSED FLOOR PLANS
M3 MECHANICAL SCHEDULES & SPECIFICATIONS

STRUCTURAL ENGINEERING:

NOT REQUIRED WITHIN SCOPE OF ALTERATIONS

DRAWING REVISIONS:

1.

THE DESIGN & DRAWING IS AND SHALL AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PERSPECTIVE INTERIORS CONSULTING INC. & SHALL NOT BE REPRODUCED OR USED WITHOUT PRIOR WRITTEN PERMISSION

JUL 03 2026	ISSUED FOR BUILDING PERMIT	REV. 4.0
JUL 02 2026	ISSUED FOR CLIENT FINAL REVIEW	REV. 3.0
JUN 11 2026	ISSUED FOR PRELIM REV. SIGN OFF	REV. 2.0
MAY 26 2026	ISSUED FOR CLIENT REVIEW	REV. 1.0
DATE	NAME	REV



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INTERIORS
CONSULTING INC.

PERSPECTIVE90@OUTLOOK.COM

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SEAL

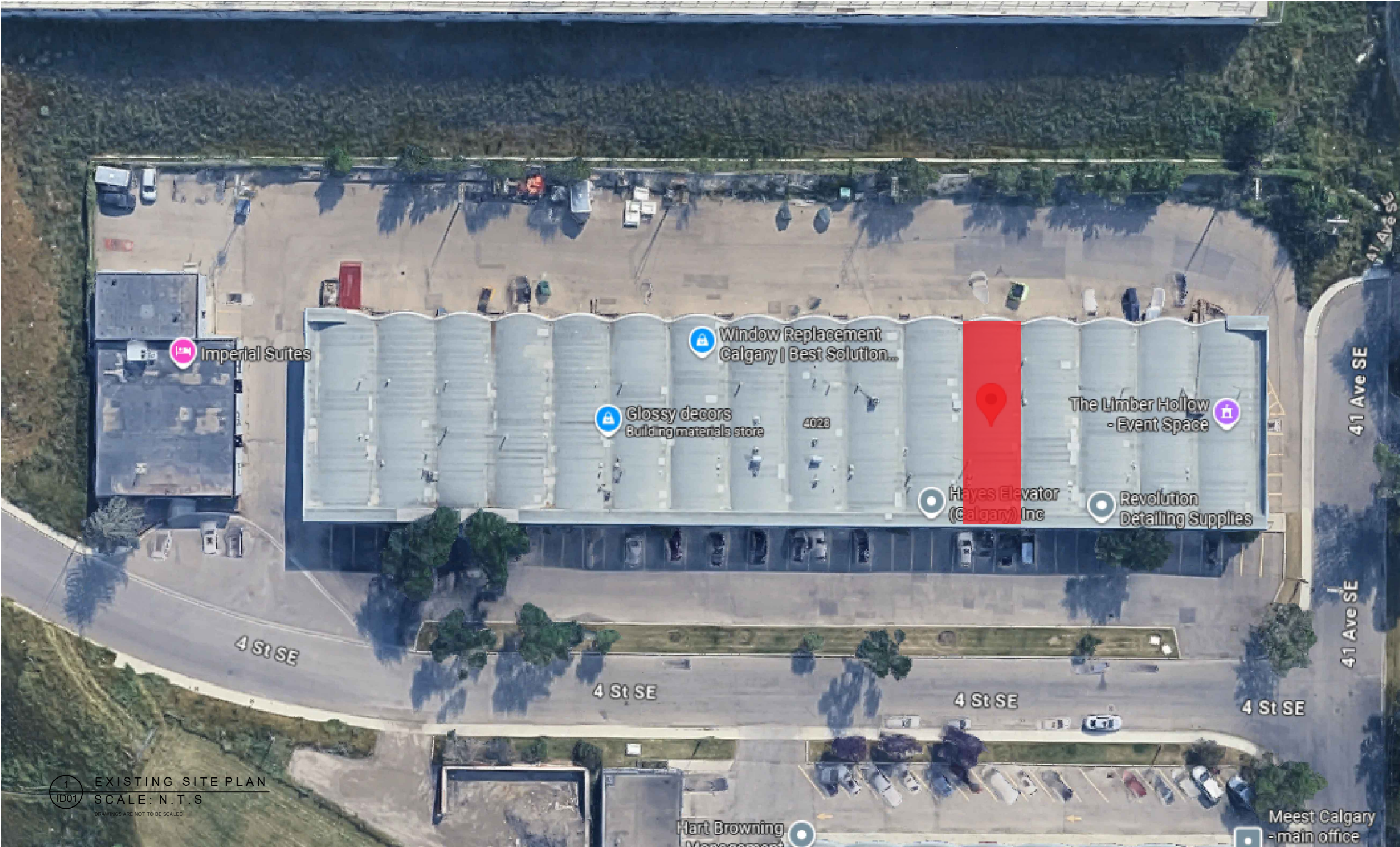
DRAWING

COVER PAGE / SITE CONTENT

CLIENT NAME

CHELBURG INTERIORS SHOWROOM
4030 4 STREET S.E
CALGARY ALBERTA T2G 2W3

DRAWN BY R.L	SCALE AS NOTED	SHEET NO. ID0
DATE MAY 26 2025	CHK'D BY M.O	



1
ID01
EXISTING SITE PLAN
SCALE: N.T.S.
DRAWINGS ARE NOT TO BE SCALED

MUNICIPAL ADDRESS: LEGAL ADDRESS:

4030 4 STREET S.E CALGARY ALBERTA
T2G 2W3

LOT: 1 - 9
BLOCK: 02
PLAN: 2464JK

THERE ARE TO BE NO CHANGES TO EXISTING EXTERIOR OF BUILDING. SCOPE OF WORK TO INCLUDE INTERIOR ALTERATIONS AS DENOTED & EXTERIOR SIGNAGE AS APPROVED BY LANDLORD

ALL SIGNAGE TO BE COORDINATED BY CLIENT OR CLIENT CONTRACTOR - REFER TO SIGNAGE SHOP DRAWINGS PROVIDED BY CLIENT FOR DETAILS & SIGNAGE APPROVAL TO LANDLORD

SITE INFORMATION

MUNICIPAL ADDRESS: 4030 4 STREET S.E. CALGARY ALBERTA T2G 2W3
LEGAL DESCRIPTION: LOTS 1-9 ; BLOCK 2 ; PLAN 2464JK
LAND-USE: I-G - INDUSTRIAL GENERAL
YEAR OF CONSTRUCTION: 1965
CONSTRUCTION SUITE AREA: ± 1,921.23 S.F - 178.48sq.m
LEASEABLE SUITE AREA: ± 2,036.7 S.F - 189.21 sq.m
SCOPE OF WORK AREA: INTERIOR OF 4030 SUITE & EXTERIOR SIGNAGE

SCOPE OF WORK

-DEMOLISH EXISTING INTERIOR PARTITION WALLS
DROPPED CEILING AREAS & PREP FLOORING TO BASE BLDG SLAB FOR NEW FLOORING FINISH.
- UPGRADE EMERGENCY EXIT SIGNAGE AS REQUIRED
- NEW INTERIOR PARTITIONING THROUGHOUT SUITE FOR NEW SALES SHOWROOM, OFFICES & DISPLAY AREAS.
- RETAIN EXISTING W/C LOCATIONS & PROVIDE NEW COSMETIC CHANGES TO FLOORING, PAINT, MILLWORK & LIGHTING.

SITE PLAN NOTES

- ALL EXISTING SITE AND LANDSCAPING ELEMENTS, SITE LIGHTING, AND GRADING TO REMAIN.
- ALL EXISTING PARKING AND LOADING FACILITIES EXISTING TO REMAIN
- ALL EXISTING WASTE AND RECYCLING FACILITIES TO REMAIN.
- ALL EXISTING COMPONENTS OF THE BUILDING ENVELOPE ARE TO REMAIN W/O CHANGES.

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SEAL		
DRAWING EXISTING SITE PLAN		
CLIENT NAME CHELBURG INTERIORS SHOWROOM 4030 4 STREET S.E CALGARY ALBERTA T2G 2W3		
DRAWN BY R.L	SCALE AS NOTED	SHEET NO. ID01
DATE MAY 26 2025	CHK'D BY M.O	