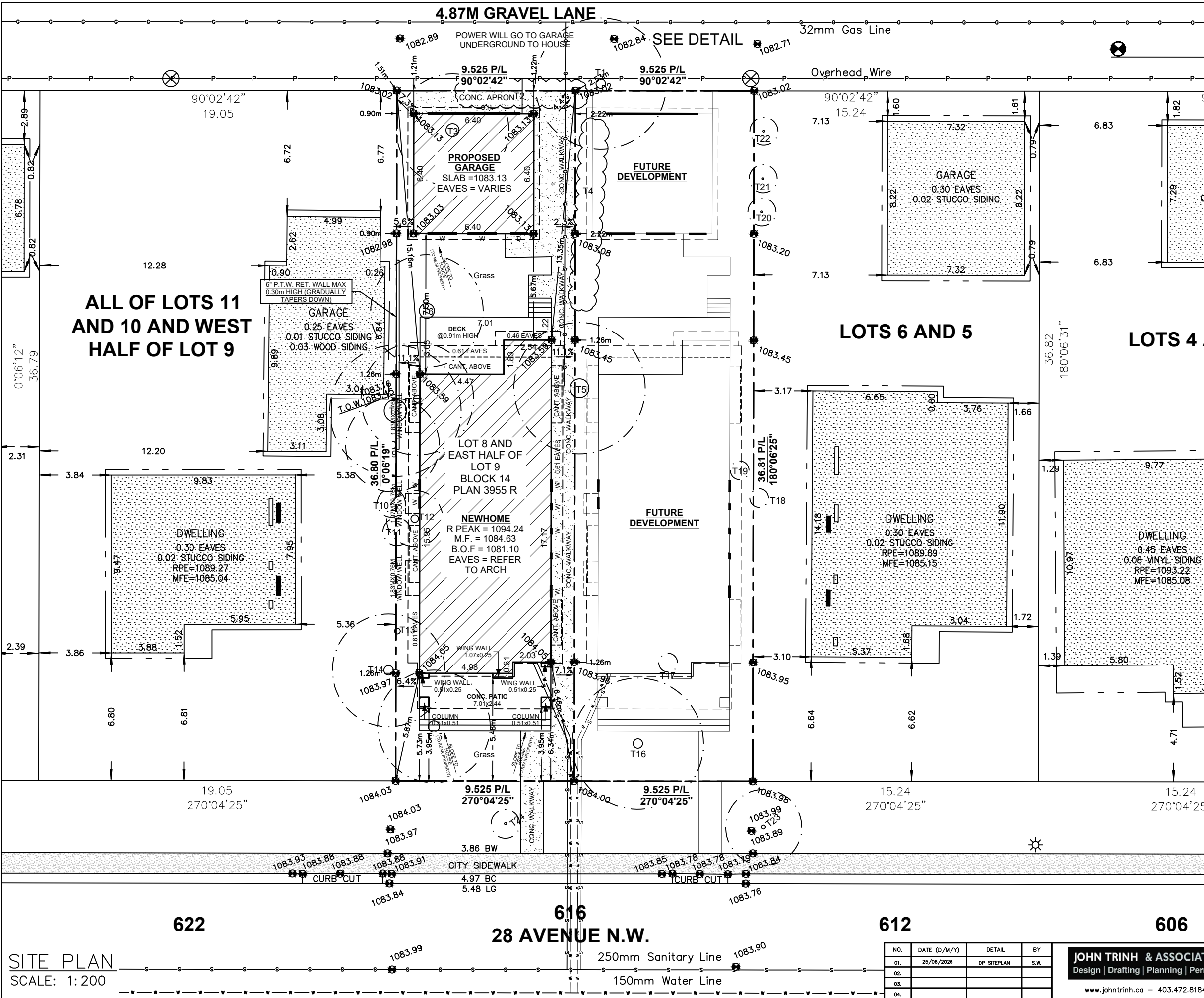




# SITE PLAN

**LEGEND**

ELEVATIONS ARE SHOWN THUS:  $\bullet$  = 1000.00 METRES. (GEODETIC)  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
AND ARE DERIVED FROM ASCMS 55269 AND 179085  
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\bullet$  denotes Calculation points
- $\boxtimes$  denotes Water Valve
- $\odot$  denotes Gas Valve
- $\oplus$  denotes Manhole
- $\odot$  denotes Tree
- $\bullet$  denotes Power Pole
- $\Delta$  denotes Sign
- $\odot$  denotes Light Standard
- $-X-X-$  denotes Fence
- $-S-$  denotes Sanitary Line
- $-ST-$  denotes Storm Line
- $-W-$  denotes Water Line
- $-G-$  denotes Gas Line
- $-E-$  denotes Electrical Line
- $-A.G.T-$  denotes A.G.T Line
- $-U.R.O.W-$  denotes Utility Right of Way Line
- $-P.L-$  denotes Property Line
- $\square$  denotes Door
- $\square$  denotes Main Floor Windows
- $\square$  denotes Second Floor Windows
- $\square$  denotes Basement Floor Windows
- $\square$  denotes Shed Hatch
- $\square$  denotes Detached Garage Hatch
- $\square$  denotes Main Building Hatch
- $\square$  denotes Concrete and Asphalt Hatch
- $\square$  denotes Wood Hatch

'Cant.' denotes Cantilevers  
'Enc.' denotes Encroach(es)  
'BW' denotes Back of Walkway  
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete  
'Ret.' denotes Retaining  
'BC' denotes Back of Curb  
'TOW' denotes Top of Wall

**Disclaimer**  
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

**LAND USE:** R-CG Residential  
Grade Oriented Infill

**SCALE** 1:200

**LEGAL DESCRIPTION:**  
LOTS 8 & THE EAST  
HALF OF LOT 9  
Block 14  
Plan 3955 R

**MUNICIPAL ADDRESS:**  
616 28 AVENUE N.W.  
Calgary, Alberta (WEST)

**LOT COVERAGE DETAIL:**  
(SINGLE LOT AND HOUSE)

LOT SIZE: 350.376 SQ M  
HOUSE SIZE: 115.231 SQ M  
COVERED PORCH: 0.00 SQ M  
CANT.: 0.00 SQ M  
GARAGE: 40.970 SQ M  
WING WALL: 1.045 SQ M

=  $\frac{157.246}{350.376}$   
= 44.88%

| NO. | DATE (D/M/Y) | DETAIL      | BY   |
|-----|--------------|-------------|------|
| 01. | 25/06/2026   | DP SITEPLAN | S.W. |
| 02. |              |             |      |
| 03. |              |             |      |
| 04. |              |             |      |

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits  
www.johntrinh.ca -- 403.472.8184

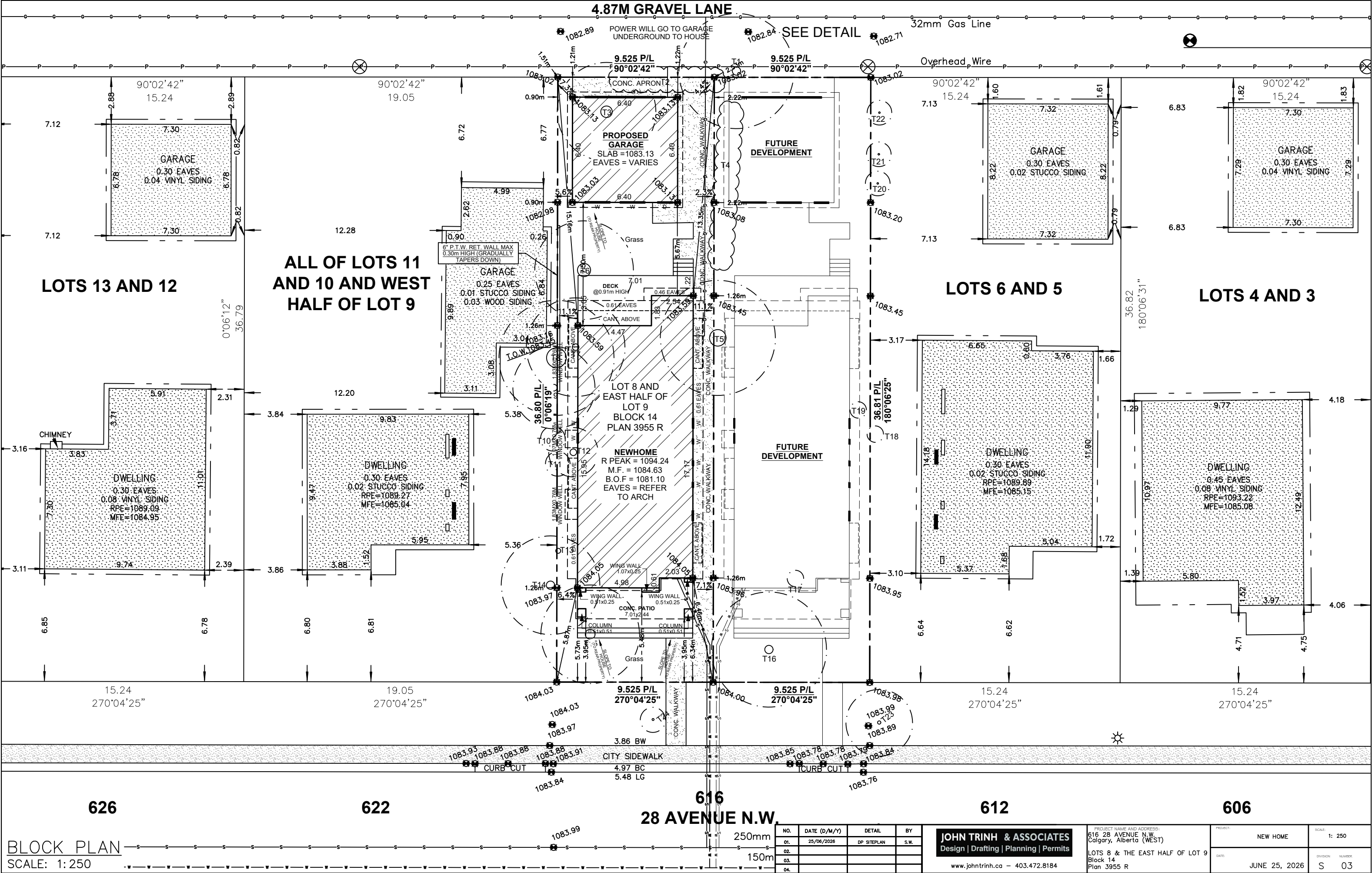
PROJECT NAME AND ADDRESS:  
616 28 AVENUE N.W.  
Calgary, Alberta (WEST)

PROJECT  
NEW HOME

DATE:  
JUNE 25, 2026

SCALE:  
1: 200

DIVISION NUMBER:  
S 01



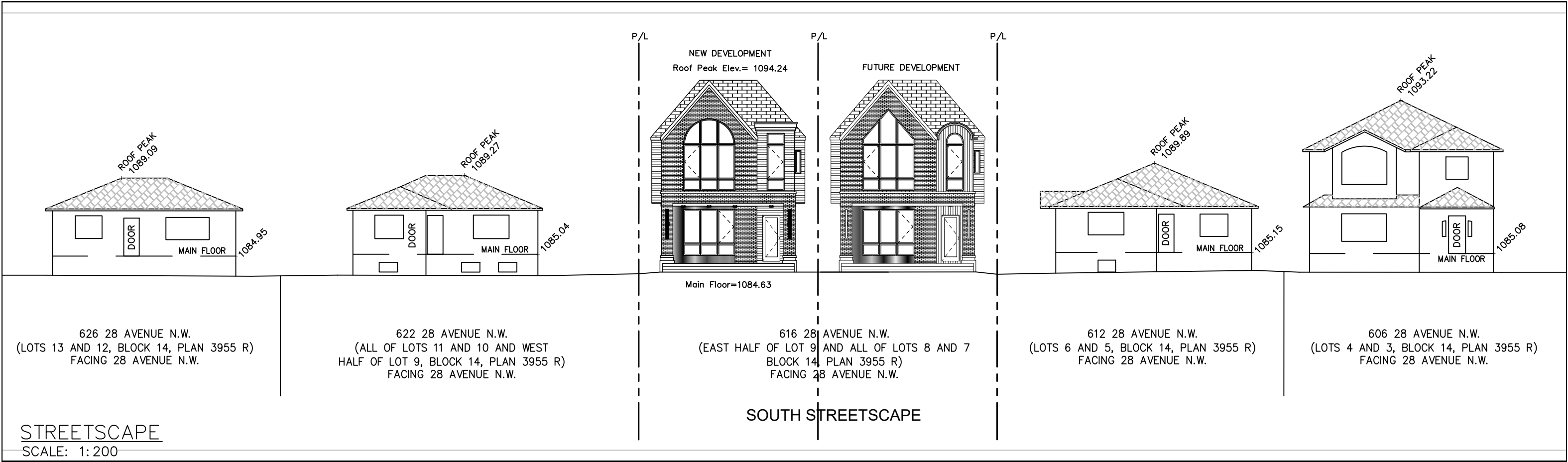
BLOCK PLAN  
SCALE: 1:250

| NO. | DATE (D/M/Y) | DETAIL      | BY   |
|-----|--------------|-------------|------|
| 01. | 25/06/2026   | DP SITEPLAN | S.W. |
| 02. |              |             |      |
| 03. |              |             |      |
| 04. |              |             |      |

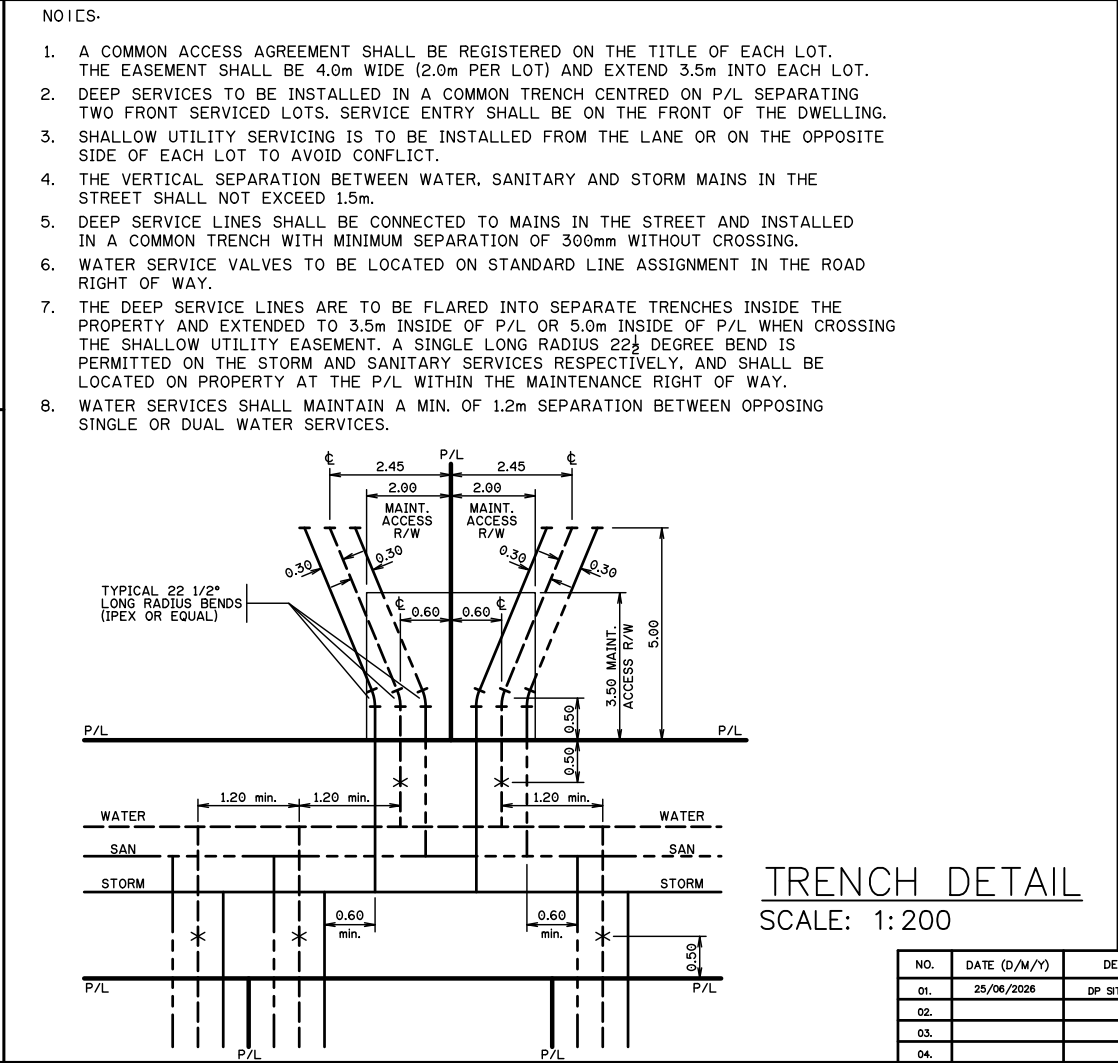
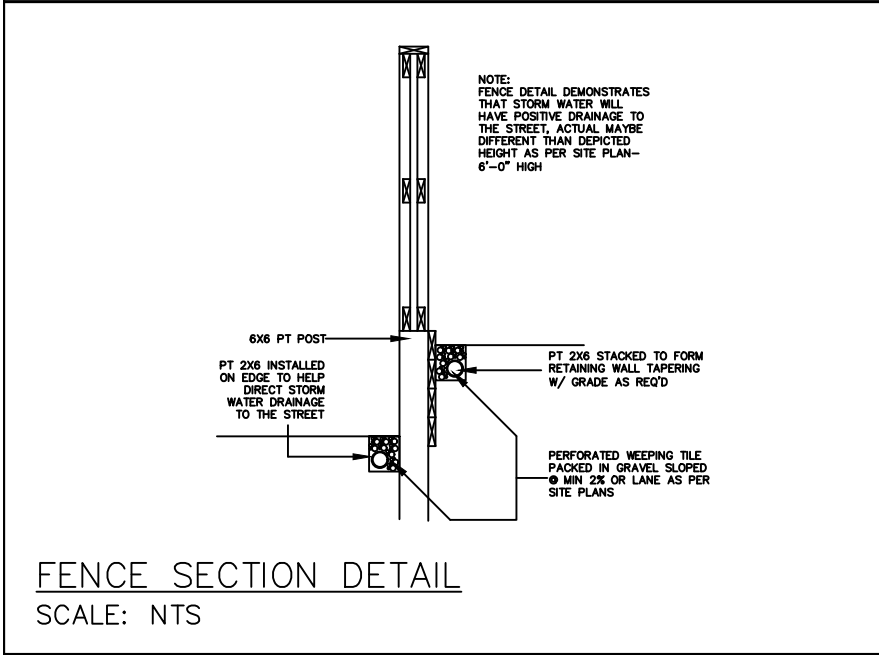
**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits  
www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:  
616 28 AVENUE N.W.  
Calgary, Alberta (WEST)  
LOTS 8 & THE EAST HALF OF LOT 9  
Block 14,  
Plan 3955 R

|          |               |          |                |
|----------|---------------|----------|----------------|
| PROJECT: | NEW HOME      | SCALE:   | 1: 250         |
| DATE:    | JUNE 25, 2026 | DIVISION | NUMBER<br>S 03 |



| NEW HOME SQFT. |               |
|----------------|---------------|
|                | NEW HOME      |
| GARAGES        | 441.00 SQ FT  |
| BASEMENT       | 1253.67 SQ FT |
| MAIN FLOOR     | 1257.16 SQ FT |
| UPPER FLOOR    | 1345.84 SQ FT |
| TOTAL          | 2603.00 SQ FT |



| TREE SCHEDULE: |           |            |             |            |                      |               |
|----------------|-----------|------------|-------------|------------|----------------------|---------------|
| Tree No.       | Variety   | Trunk (ø±) | Canopy (ø±) | Height (±) | Location             | Disposition   |
| T1             | Deciduous | 0.50       | 7.00        | 7.00       | In City Property     | To Be Removed |
| T2             | Hedge     | —          | 1.50        | 1.50       | On Property Line     | To Be Removed |
| T3             | Deciduous | 0.70       | 6.00        | 7.00       | In Subject Property  | To Be Removed |
| T4             | Hedge     | —          | 1.50        | 1.50       | In Subject Property  | To Be Removed |
| T5             | Deciduous | 1.00       | 7.00        | 10.00      | In Subject Property  | To Be Removed |
| T6             | Deciduous | 0.80       | 6.00        | 10.00      | In Subject Property  | To Be Removed |
| T7             | Deciduous | 0.40       | 6.00        | 10.00      | In Subject Property  | To Be Removed |
| T8             | Deciduous | 1.20       | 7.00        | 10.00      | On Property Line     | To Stay       |
| T9             | Deciduous | 0.40       | 5.00        | 10.00      | In Adjacent Property | To Stay       |
| T10            | Bush      | —          | 1.50        | 4.00       | On Property Line     | To Stay       |
| T11            | Bush      | —          | 1.50        | 3.00       | On Property Line     | To Stay       |
| T12            | Deciduous | 0.40       | 3.00        | 4.00       | In Subject Property  | To Be Removed |
| T13            | Truck     | 0.30       | —           | —          | On Property Line     | To Stay       |
| T14            | Deciduous | 0.50       | 6.00        | 10.00      | In Adjacent Property | To Stay       |
| T15            | Deciduous | 0.60       | 6.00        | 10.00      | In Subject Property  | To Be Removed |
| T16            | Deciduous | 0.50       | 7.00        | 6.00       | In Subject Property  | To Be Removed |
| T17            | Bush      | —          | 1.00        | 1.50       | In Subject Property  | To Be Removed |
| T18            | Bush      | —          | 1.00        | 1.50       | In Adjacent Property | To Stay       |
| T19            | Bush      | —          | 1.00        | 1.50       | In Subject Property  | To Be Removed |
| T20            | Deciduous | 0.10       | 1.50        | 10.00      | In Adjacent Property | To Stay       |
| T21            | Deciduous | 0.10       | 1.50        | 10.00      | In Adjacent Property | To Stay       |
| T22            | Deciduous | 0.10       | 1.50        | 10.00      | In Adjacent Property | To Stay       |
| T23            | Deciduous | 0.10       | 3.00        | 5.00       | In City Property     | To Stay       |
| T24            | Deciduous | 0.03       | 1.50        | 4.00       | In City Property     | To Stay       |

|     |              |             |      |
|-----|--------------|-------------|------|
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| 01. | 25/06/2026   | DP SITEPLAN | S.W. |
| 02. |              |             |      |
| 03. |              |             |      |
| 04. |              |             |      |

|                                                                              |  |
|------------------------------------------------------------------------------|--|
| <b>JOHN TRINH &amp; ASSOCIATES</b><br>Design   Drafting   Planning   Permits |  |
| www.johntrinh.ca — 403.472.8184                                              |  |

|                                                                            |  |
|----------------------------------------------------------------------------|--|
| PROJECT NAME AND ADDRESS:<br>616 28 AVENUE N.W.<br>Calgary, Alberta (WEST) |  |
| LOTS 8 & THE EAST HALF OF LOT 9<br>Block 14<br>Plan 3955 R                 |  |

|                   |  |
|-------------------|--|
| PROJECT: NEW HOME |  |
| SCALE: AS SHOWN   |  |

|                     |             |            |
|---------------------|-------------|------------|
| DATE: JUNE 25, 2026 | DIVISION: S | NUMBER: 02 |
|---------------------|-------------|------------|