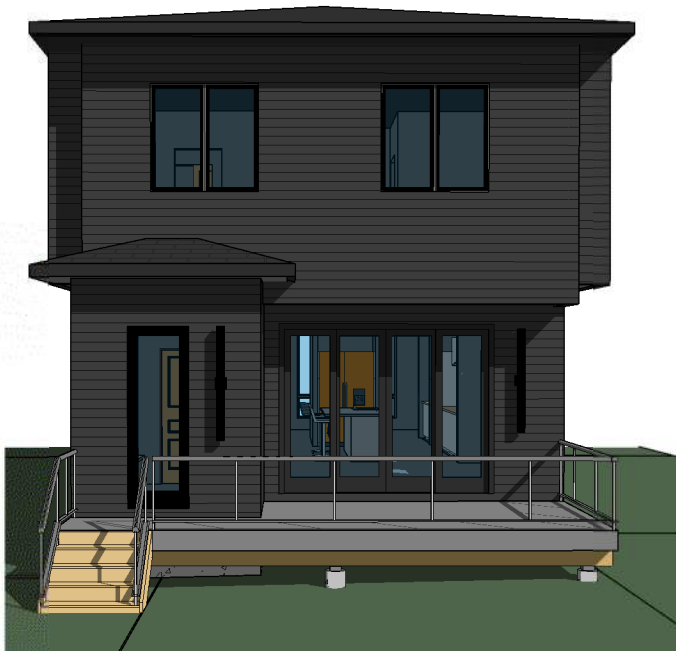




LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Right Elevation
A-2.2	Left Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevation 1
A-4.2	Garage Elevation 2
A-4.3	Garage Section

PROJECT NOTES:

FLOOR AREA

BASEMENT = 1253.67 SQ. FT.
MAIN = 1257.16 SQ. FT.
UPPER = 1345.84 SQ. FT.
TOTAL = 2603.00 SQ. FT.

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	25/06/2026	CONCEPT	S.W.
02.	25/06/2026	DP PLANS	S.W.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-06-30 4:47:58 PM

PROJECT NAME:
616 28 Ave NW - East
CALGARY, ALBERTA

DESIGNER: JT JOB #: 335-26

SCALE: AS SHOWN SHEET: A-0.0

1	ASPHALT SHINGLE	5	WOOD SLAT - BLACK
2	6" ALUMNIMUM FASCIA	6	CONCRETE PARGING
3	SIDING FINISH	7	CAST-IN-PLACE CONCRETE
4	BRICK CLADDING		

This architectural elevation drawing shows the front facade of a building with a gabled roof and a central arched entrance. The drawing includes numerous dimensions and annotations for construction.

Dimensions and Annotations:

- Roof:** The roof has a pitch of 14" / 12". The total width of the building is 4.00 units.
- Windows:**
 - Three large windows on the left, each 30" x 60" (labeled "CUSTOM").
 - Three smaller windows below them, each 30" x 20" (labeled "P").
 - A central arched window with a 30" x 60" opening (labeled "CUSTOM").
 - Three smaller windows below the central arch, each 30" x 20" (labeled "P").
 - A 3' 0" French door on the right (labeled "P").
- Entrance:** The entrance features a 3' 0" French door and a 1' 0" x 4' 0" opening (labeled "P").
- Roof Peak:** The roof peak is at an elevation of 1094.24.
- Top Plate:** The top plate is at an elevation of 1090.85.
- Top of Upper Floor:** The top of the upper floor is at an elevation of 1088.08.
- Top of Main Floor:** The top of the main floor is at an elevation of 1087.70.
- Top of Foundation:** The top of the foundation is at an elevation of 1084.63.
- Grade:** The ground level is at an elevation of 1084.25.
- Other Dimensions:**
 - Overall height: 33' - 5 3/8"
 - Overall width: 4.00 units
 - Overall depth: 7.00 units
 - Overall height of the main floor: 10' - 1 1/8"
 - Overall height of the upper floor: 9' - 1 1/8"
 - Overall height of the foundation: 1' - 2 3/4"
 - Overall height of the roof: 11' - 1 5/8"
 - Overall height of the roof peak: 1094.24
 - Overall height of the top plate: 1090.85
 - Overall height of the top of upper floor: 1088.08
 - Overall height of the top of main floor: 1087.70
 - Overall height of the top of foundation: 1084.63
 - Overall height of the grade: 1084.25

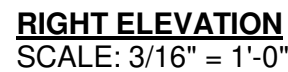
This architectural elevation drawing shows the front facade of a building with a gabled roof and a small porch. The drawing includes the following details and dimensions:

- Roof:** The main roof has a pitch of 14" / 12". The gable end has a pitch of 4" / 12". A smaller gable over the porch also has a pitch of 4" / 12".
- Windows:** There are four windows, each labeled 26" x 50" C (Casement) or 26" x 50" P (Picture). They are arranged in two pairs, each pair separated by an 8'-0" dimension.
- Door and Porch:** The main entrance is a 10'0" x 8'0" 4 PANEL DOOR with a RAILING. To the left is a 2'8" French door. The porch area includes two planters labeled POT.
- Dimensions:**
 - Overall width: 34' - 11 3/8"
 - Overall height: 34' - 11 3/8"
 - Roof peak height: 11' - 1 5/8"
 - Top plate height: 1090.85
 - Top of upper floor: 1088.08
 - Top of main floor: 1084.63
 - Top of foundation: 1084.25
 - Grade: 1083.59
 - Foundation depth: 2' - 2"
 - Foundation width: 3' - 0"
 - Foundation area: 0.91
- Level Markers:**
 - 1094.24: ROOF PEAK
 - 1090.85: TOP PLATE
 - 1088.08: TOP OF UPPER FLOOR
 - 1087.70: (Intermediate level)
 - 1084.63: TOP OF MAIN FLOOR
 - 1084.25: TOP OF FOUNDATION
 - 1083.59: GRADE

A-2.0

1	ASPHALT SHINGLE	5	WOOD SLAT - BLACK
2	6" ALUMNIMUM FASCIA	6	CONCRETE PARGING
3	SIDING FINISH	7	CAST-IN-PLACE CONCRETE
4	BRICK CLADDING		

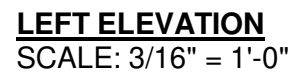
VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



SHEET:
A-2.1

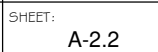
1	ASPHALT SHINGLE	5	WOOD SLAT - BLACK
2	6" ALUMNIMUM FASCIA	6	CONCRETE PARGING
3	SIDING FINISH	7	CAST-IN-PLACE CONCRETE
4	BRICK CLADDING		

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

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EXTERIOR FINISHES:

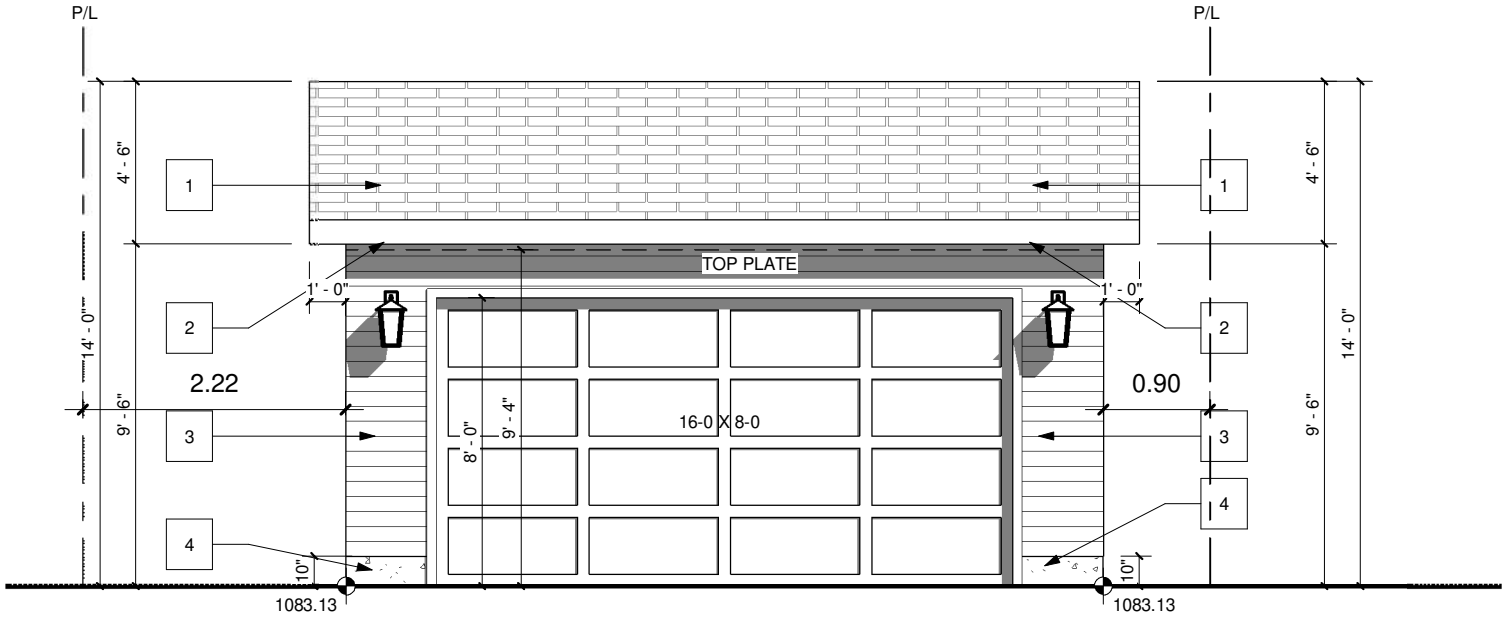
- 1

ASPHALT SHINGLES
- 2

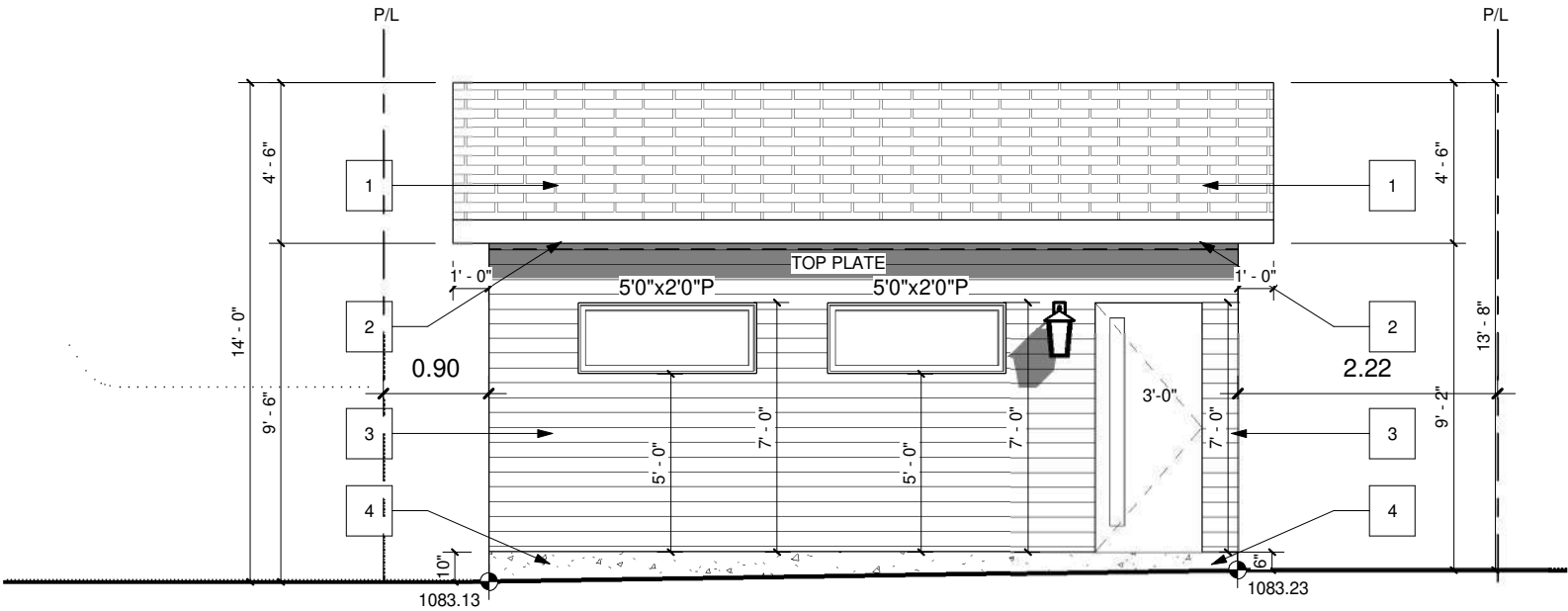
8" ALUMNIMUM FASCIA
- 3

HARDIE FINISH
- 4

CONC. PARGING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	25/06/2026	CONCEPT	S.W.
02.	25/06/2026	DP PLANS	S.W.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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GOVERNING AUTHORITIES.

PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-06-30 4:48:05 PM

PROJECT NAME:
616 28 Ave NW - East
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 335-26

SCALE: AS SHOWN
SHEET: A-4.1

EXTERIOR FINISHES:

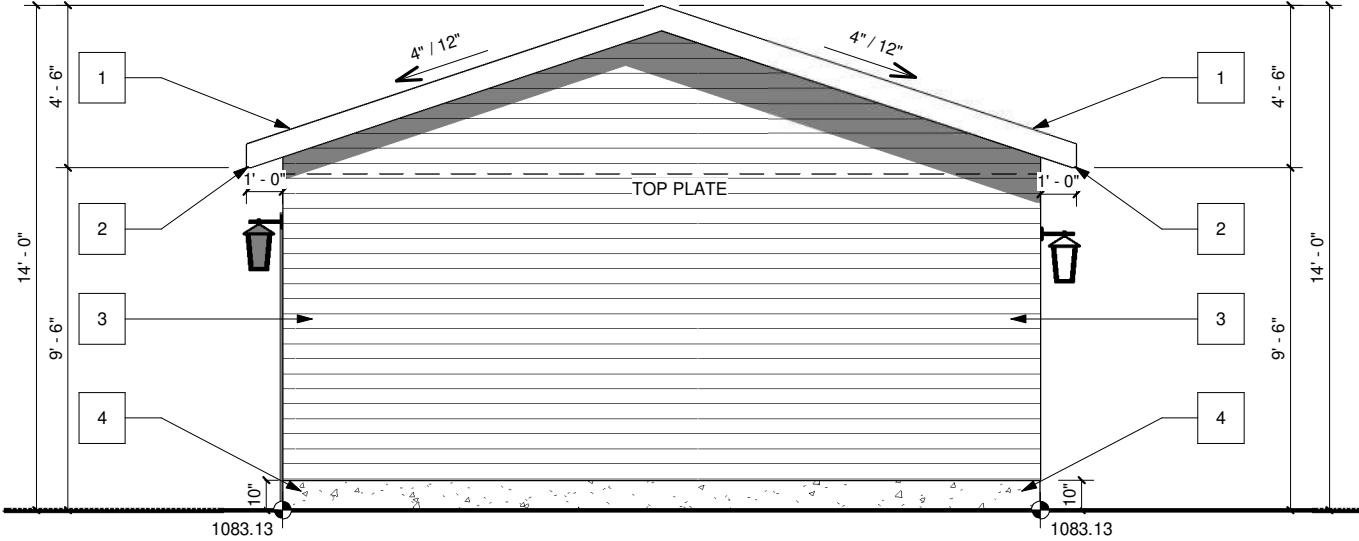
- 1

ASPHALT SHINGLES
- 2

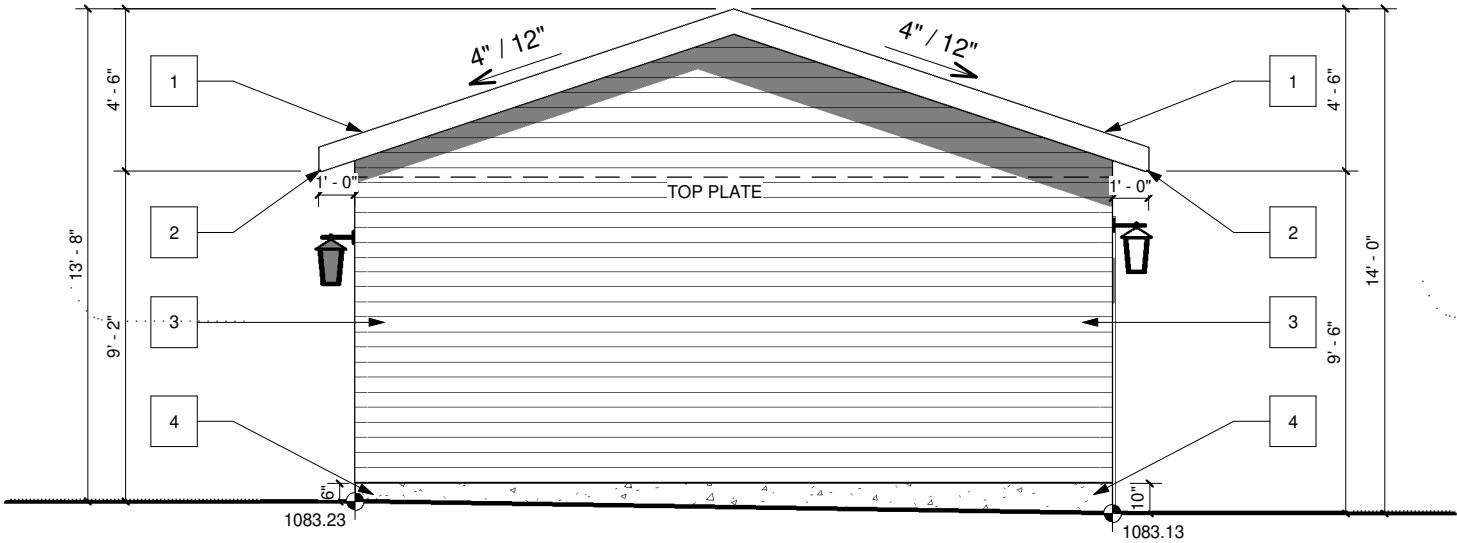
8" ALUMNIMUM FASCIA
- 3

HARDIE FINISH
- 4

CONC. PARGING



GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	25/06/2026	CONCEPT	S.W.
02.	25/06/2026	DP PLANS	S.W.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:
NEW HOME

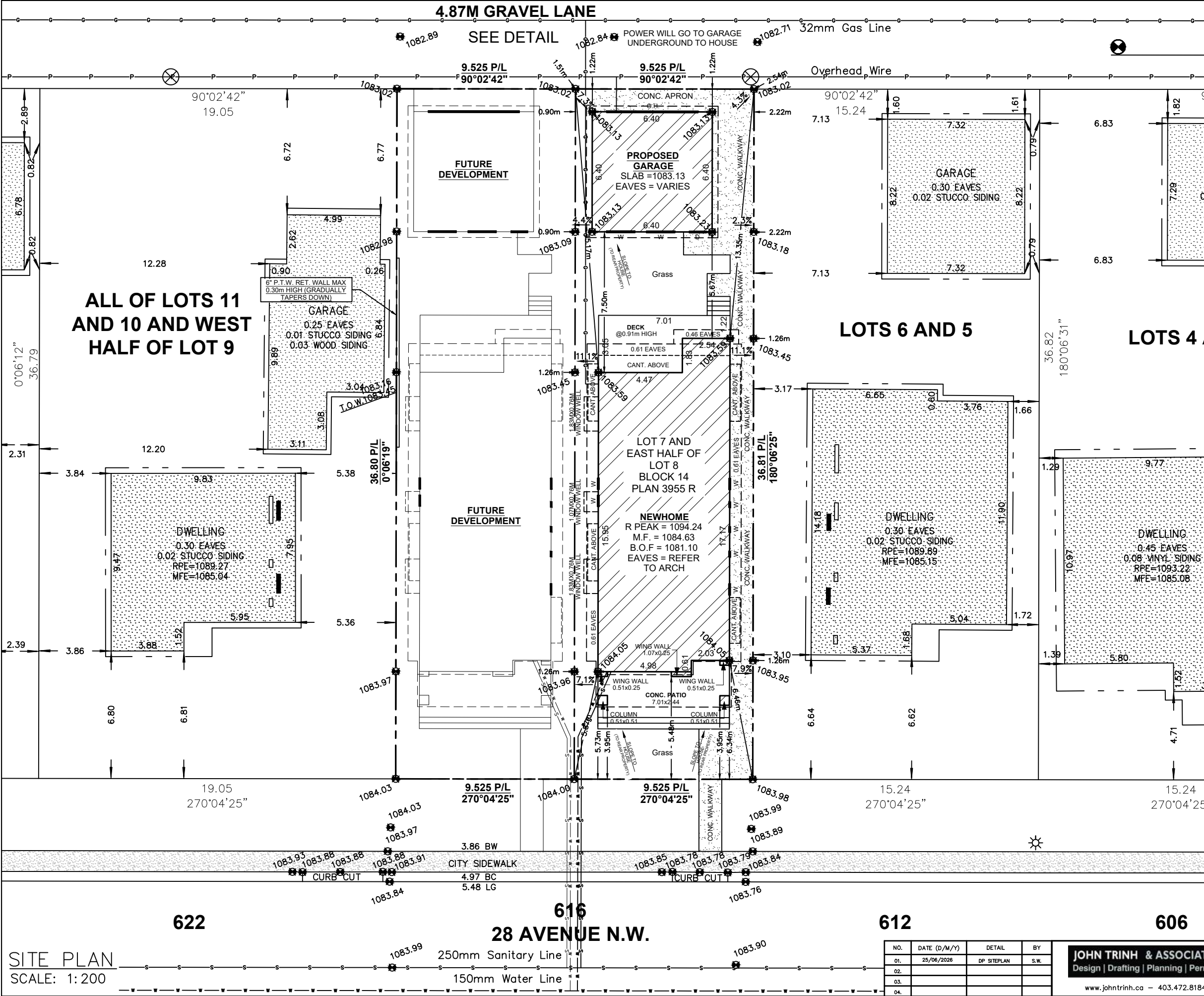
STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-06-30 4:48:05 PM

PROJECT NAME:
616 28 Ave NW - East
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 335-26
SCALE: AS SHOWN	SHEET: A-4.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\bullet$ ----- denotes Calculation points
- $\boxtimes$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\blacklozenge$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
LOTS 7 & THE EAST
HALF OF LOT 8
Block 14
Plan 3955 R

MUNICIPAL ADDRESS:
616 28 AVENUE N.W.
Calgary, Alberta (EAST)

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 350.421 SQ M
HOUSE SIZE: 115.231 SQ M
COVERED PORCH: 0.00 SQ M
CANT.: 0.00 SQ M
GARAGE: 40.970 SQ M
WING WALL: 1.045 SQ M

= $\frac{157.246}{350.421}$
= 44.87%

NO.	DATE (D/M/Y)	DETAIL	BY
01.	25/06/2026	DP SITEPLAN	S.W.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
616 28 AVENUE N.W.
Calgary, Alberta (EAST)

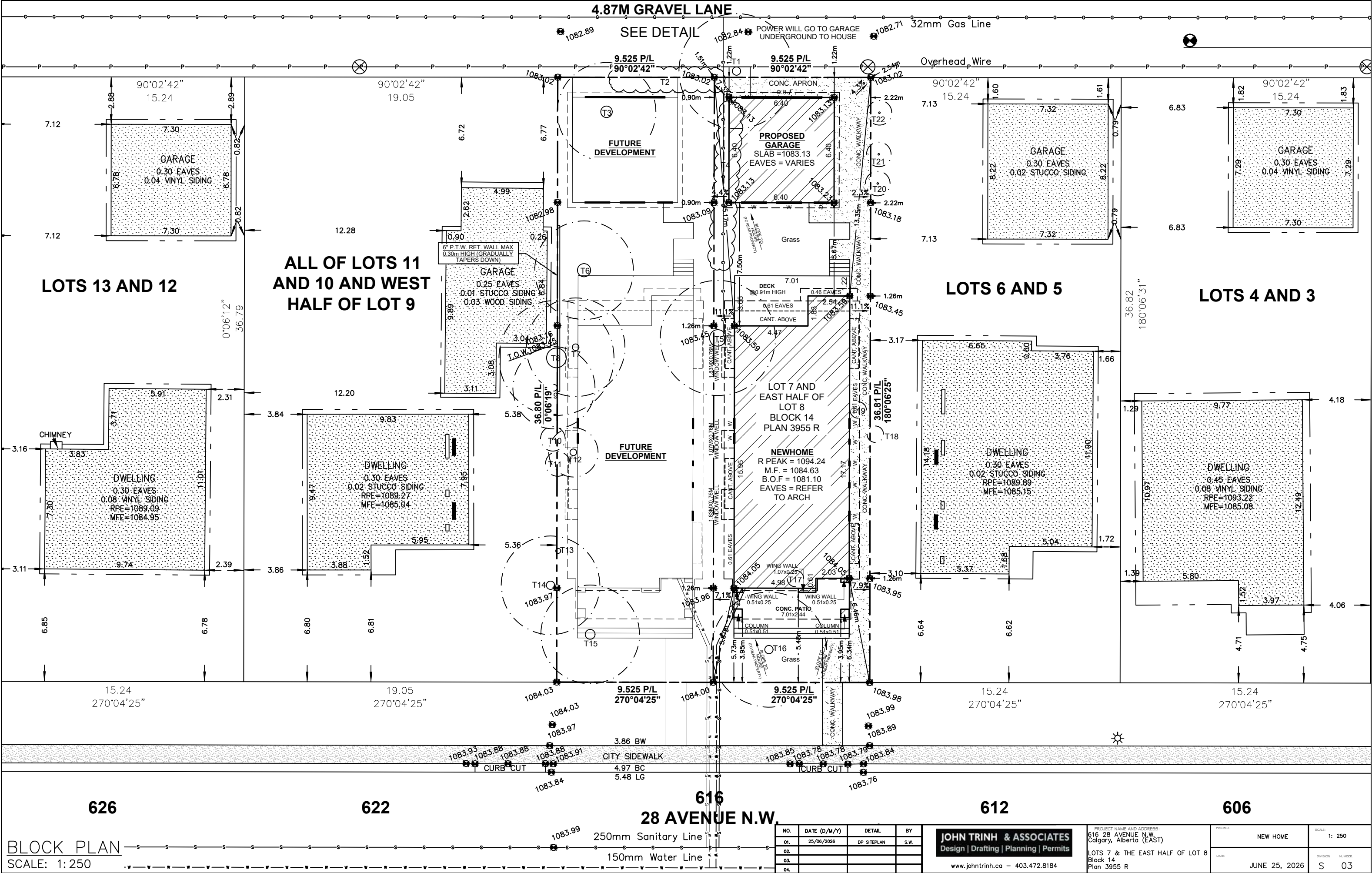
PROJECT
NEW HOME

SCALE:
1: 200

DATE:
JUNE 25, 2026

DIVISION NUMBER:
S 01

SITE PLAN
SCALE: 1: 200



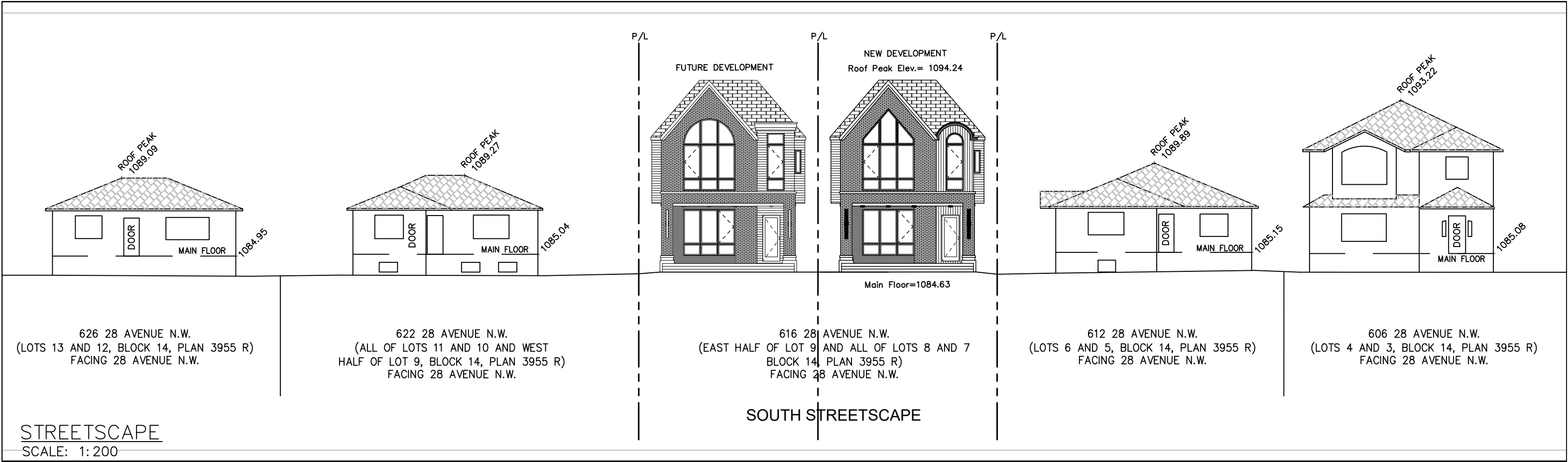
BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	25/06/2026	DP SITEPLAN	S.W.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
616 28 AVENUE N.W.
Calgary, Alberta (EAST)
LOTS 7 & THE EAST HALF OF LOT 8
Block 14
Plan 3955 R

PROJECT:	NEW HOME	SCALE:	1: 250
DATE:	JUNE 25, 2026	DIVISION	NUMBER S 03



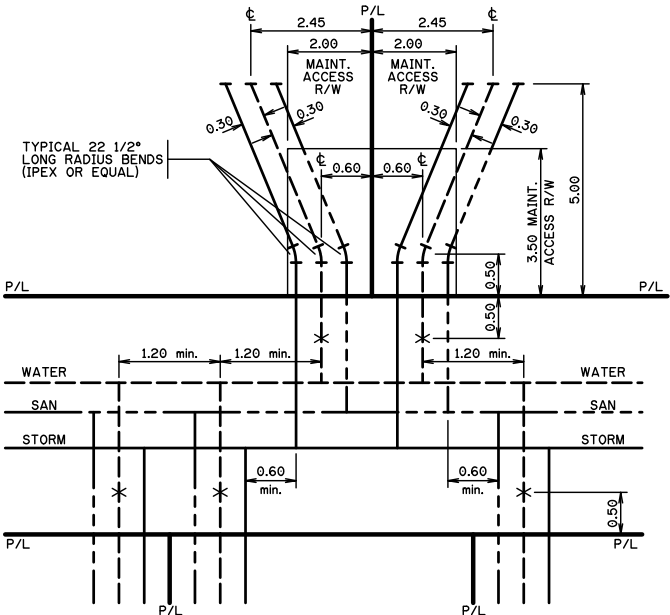
STREETSCAPE
SCALE: 1:200

NEW HOME SQFT.

	NEW HOME
GARAGES	441.00 SQ FT
BASEMENT	1253.67 SQ FT
MAIN FLOOR	1257.16 SQ FT
UPPER FLOOR	1345.84 SQ FT
TOTAL	2603.00 SQ FT

NOTES-

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22 $\frac{1}{2}$ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

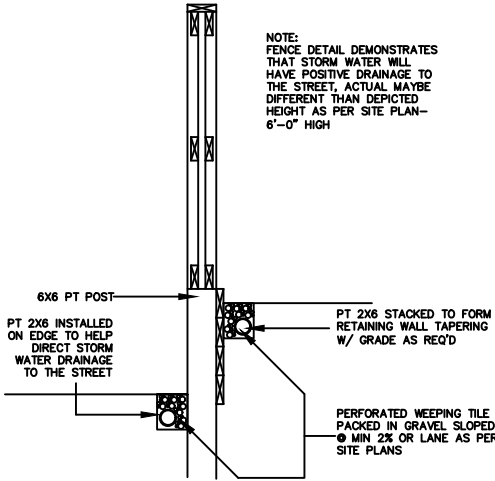


TRENCH DETAIL
SCALE: 1:200

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.50	7.00	7.00	In City Property	To Be Removed
T2	Hedge	—	1.50	1.50	On Property Line	To Be Removed
T3	Deciduous	0.70	6.00	7.00	In Subject Property	To Be Removed
T4	Hedge	—	1.50	1.50	In Subject Property	To Be Removed
T5	Deciduous	1.00	7.00	10.00	In Subject Property	To Be Removed
T6	Deciduous	0.80	6.00	10.00	In Subject Property	To Be Removed
T7	Deciduous	0.40	6.00	10.00	In Subject Property	To Be Removed
T8	Deciduous	1.20	7.00	10.00	On Property Line	To Stay
T9	Deciduous	0.40	5.00	10.00	In Adjacent Property	To Stay
T10	Bush	—	1.50	4.00	On Property Line	To Stay
T11	Bush	—	1.50	3.00	On Property Line	To Stay
T12	Deciduous	0.40	3.00	4.00	In Subject Property	To Be Removed
T13	Truck	0.30	—	—	On Property Line	To Stay
T14	Deciduous	0.50	6.00	10.00	In Adjacent Property	To Stay
T15	Deciduous	0.60	6.00	10.00	In Subject Property	To Be Removed
T16	Deciduous	0.50	7.00	6.00	In Subject Property	To Be Removed
T17	Bush	—	1.00	1.50	In Subject Property	To Be Removed
T18	Bush	—	1.00	1.50	In Adjacent Property	To Stay
T19	Bush	—	1.00	1.50	In Subject Property	To Be Removed
T20	Deciduous	0.10	1.50	10.00	In Adjacent Property	To Stay
T21	Deciduous	0.10	1.50	10.00	In Adjacent Property	To Stay
T22	Deciduous	0.10	1.50	10.00	In Adjacent Property	To Stay

FENCE SECTION DETAIL
SCALE: NTS



NO.	DATE (D/M/Y)	DETAIL	BY
01.	25/06/2026	DP SITEPLAN	S.W.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
616 28 AVENUE N.W.
Calgary, Alberta (EAST)

LOTS 7 & THE EAST HALF OF LOT 8
Block 14
Plan 3955 R

PROJECT: NEW HOME

DATE: JUNE 25, 2026

SCALE: AS SHOWN

DIVISION: S
NUMBER: 02