

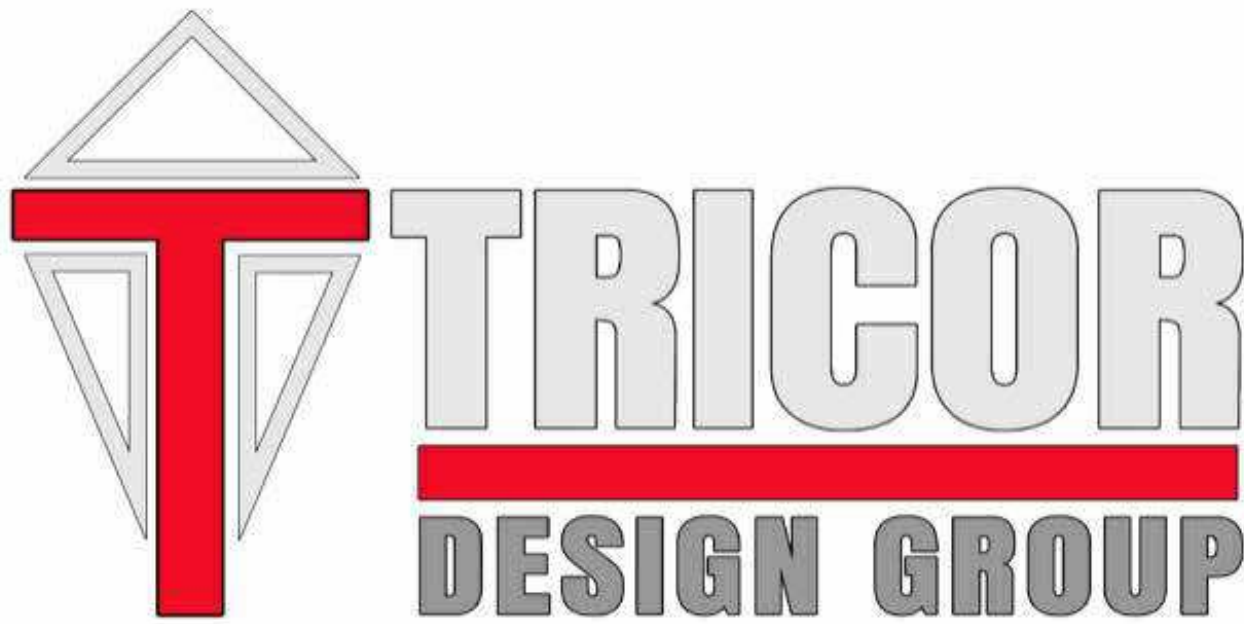
SEMI DETACHED
8144 - 47th AVENUE N.W.
CALGARY, ALBERTA
PLAN 2660AP, BLOCK 3, LOT 2



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-06-11

REVISION DATE : 2026-06-30



#202 - 4216 10TH STREET NE,
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

LIST OF DRAWINGS:

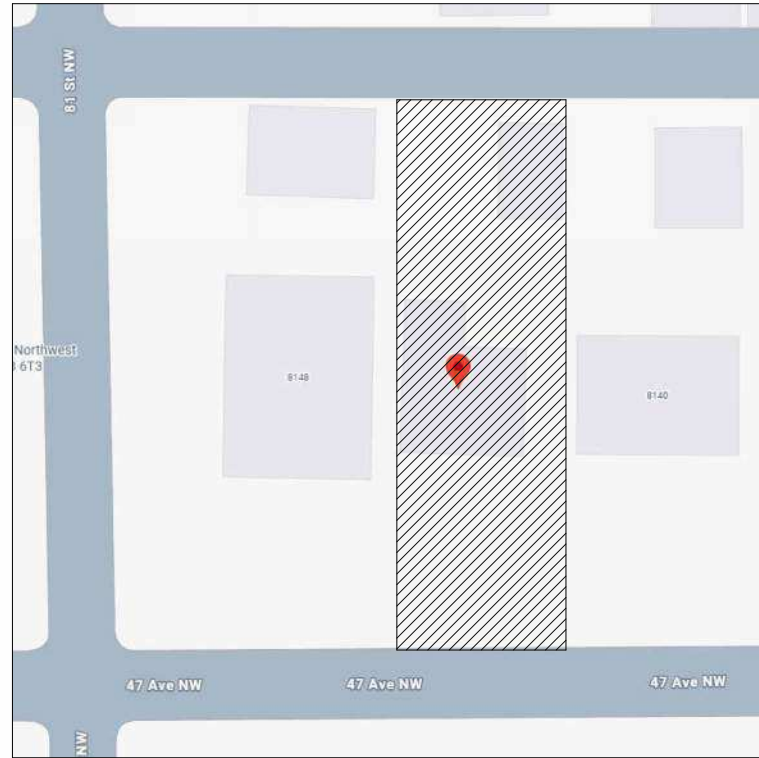
G-001 GENERAL NOTES
A-001 EXISTING SURVEY
A-002 PROPOSED & EXISTING SITE PLAN
A-003 PROPOSED SITE PLAN
A-004 PROPOSED GRADES
A-005 STREETScape
A-006 APRON & BOULEVARD SECTION
A-007 CONSTRUCTION ACCESS AREA
A-101 PROPOSED BASMENT FLOOR PLAN
A-102 PROPOSED MAIN FLOOR PLAN
A-103 PROPOSED UPPER FLOOR PLAN
A-104 PROPOSED ROOF FLOOR PLAN
A-105 PROPOSED PLANS AREA
A-201 PROPOSED FRONT & REAR ELEVATIONS
A-202 PROPOSED RIGHT & LEFT ELEVATIONS
A-301 BUILDING SECTIONS

A-401 WINDOWS SCHEDULE
A-501 PROPOSED ACCESSORY BUILDING GARAGE

UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	961.52	89.33
	UPPER FLOOR	1109.00	103.03
	TOTAL	2070.52	192.36
	BASMENT FLOOR	759.18	70.53
	GRAND TOTAL	2829.70	262.89
AREA SCHEDULE	GARAGE	383.09	35.59
	DECK	205.00	19.05

UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	961.52	89.33
	UPPER FLOOR	1109.00	103.03
	TOTAL	2070.52	192.36
	GARAGE	383.09	35.59
	DECK	205.00	19.05

KEY PLAN :



PROJECT NO.: 26-1055

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

8144 - 47th AVENUE N.W., CALGARY, ALBERTA

LEGAL ADDRESS:-

PLAN 2660AP, BLOCK 3, LOT 23

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

COVERAGE CALCULATION:
LOT AREA = 556.12 m²
MAXIMUM COVERAGE (45%) = 250.25 m²
BUILDING COVERAGE = 178.82 m²
GARAGE COVERAGE = 71.19 m²
TOTAL COVERAGE = 250.01 m² = 44.96%

PROJECT SETBACK REQUIREMENTS:

- CONTEXTUAL FRONT SETBACK = (A+ B)/2 - 1.5
= (6.73 + 4.94)/2 - 1.5 = 4.33 m
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
- MINIMUM 1.20m GARAGE SETBACK
- MINIMUM 1.20m SIDEYARD SETBACK
- BUILDING DEPTH
THE MAXIMUM BUILDING DEPTH OF A CONTEXTUAL SEMI-DETACHED DWELLING IS THE GREATER OF:
A) 60.0 PER CENT OF THE PARCEL DEPTH

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

NOTE :-

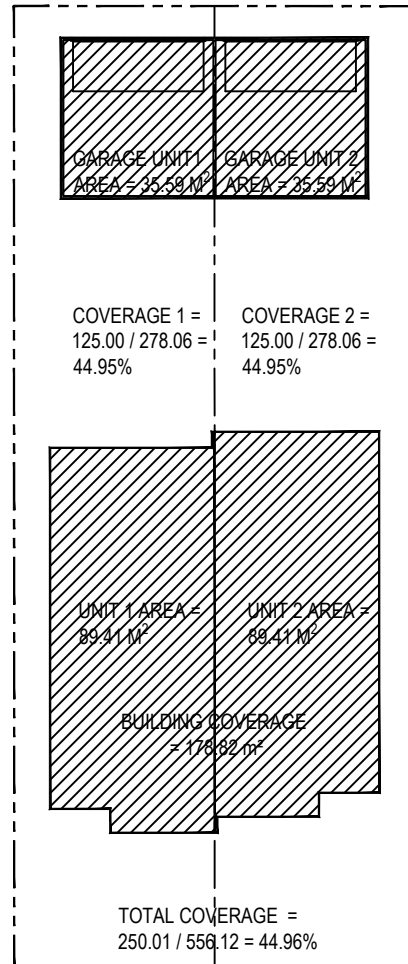
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH ANUNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY .FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OFRIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THECANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BEINSTALLED.

ROADS NOTE:

- CONSTRUCTION OF NEW SIDEWALKS ADJACENT TO 20A STREET S.E.
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.

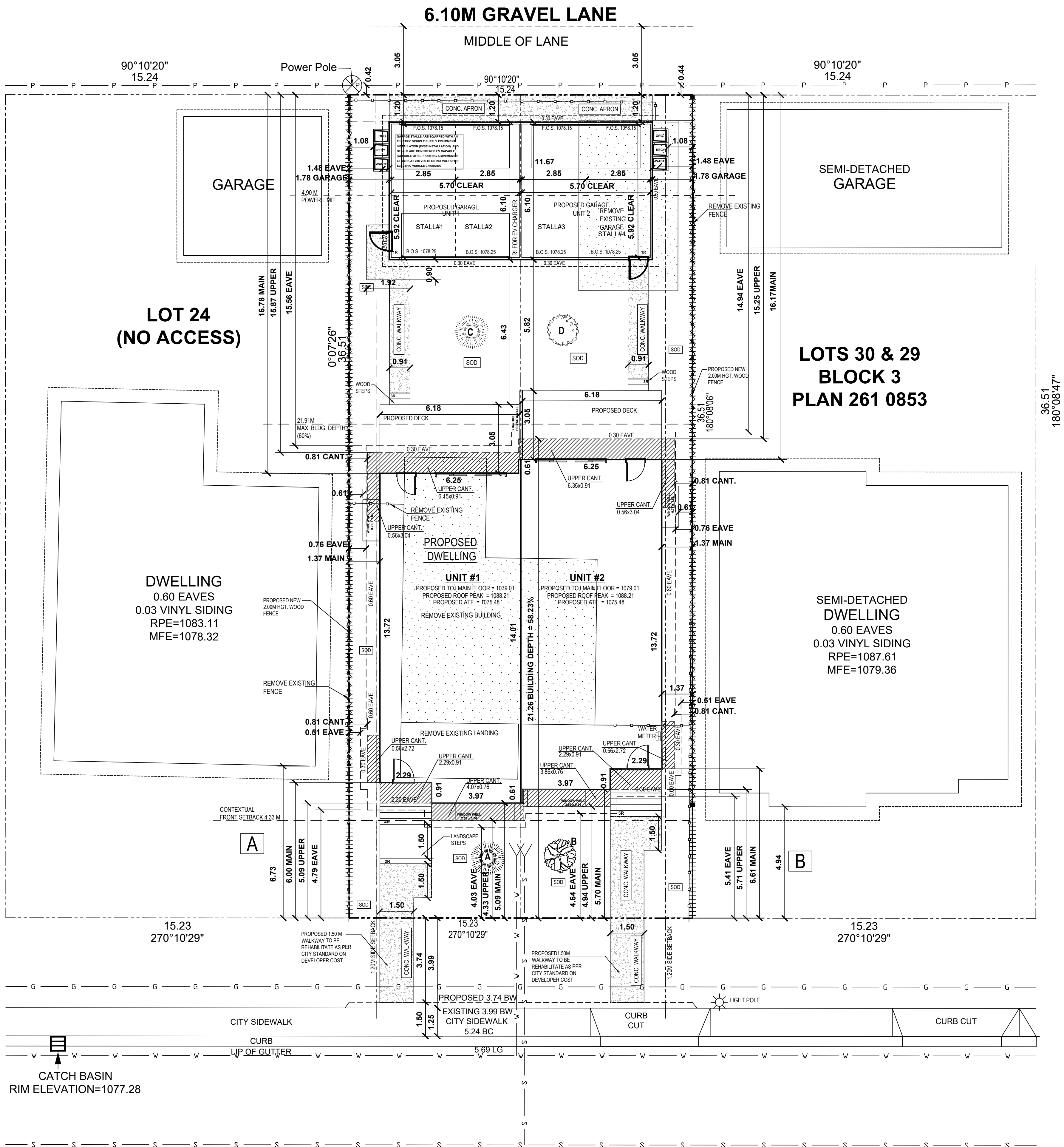
PROPOSED TREE SCHEDULE

A	- NEW LARGE COLORADO "BLUE" SPRUCE TREE - MIN. 3m or 10'-0" IN HEIGHT
B	- NEW LARGE MAYDAY TREE - MIN. 0.075 CALIPER
C	- NEW SMALL COLUMNAR "BLUE" SPRUCE TREE - MIN. 2.0m or 6'-6" IN HEIGHT
D	- NEW FLOWERING CRAB SPECIES TREE - MIN. 0.05 CALIPER



81 STREET NW

0°06'45" 36.51



8148

8144
47 AVENUE NW

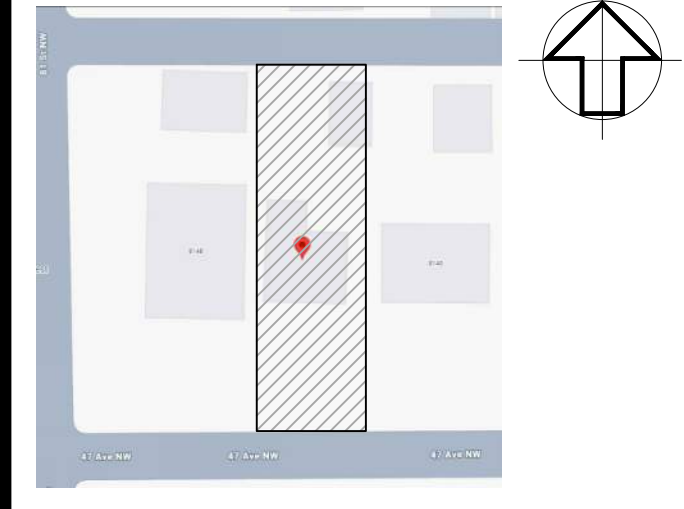
8140 & 8138

DESIGNED BY:



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CALGARY, AB.
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KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-15	CLIENT COMMENTS	H.E.	E.R.
02	2026-06-21	CLIENT COMMENTS	H.E.	A.K.
03	2026-06-24	CLIENT COMMENTS	H.E.	--

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-11	DEVELOPMENT PERMIT SET	R.E./E.R.	E.R.

THE CLIENT :

PRIVATE CLIENT

PROJECT :

SEMI DETACHED

ADDRESS:

8144 - 47TH AVENUE N.W.,
CALGARY, ALBERTA
PLAN 2660AP , BLOCK 3 , LOT 23

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED AND EXITING
SITE PLAN

DRAWING NO.

A-002

PROJECT NO. :

26-1055

CHECKED BY:

E.R./R.N.

DATE:

2026-06-30

DRAWN BY:

E.R./E

SCALE:

1:100

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

8144 - 47th AVENUE N.W., CALGARY, ALBERTA

LEGAL ADDRESS:-

PLAN 2660AP, BLOCK 3, LOT 23

ZONNING:- R-CG

NOTES:

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GARAGE COVERAGE = 71.19 m²
TOTAL COVERAGE = 250.01 / 558.12 = 44.96%

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= (6.73 + 4.94)/2 - 1.5 = 4.33 m
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	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

NOTE :-

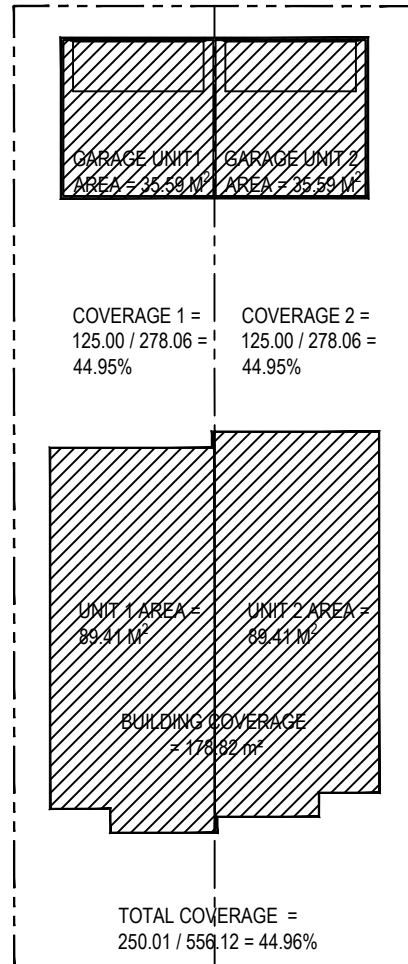
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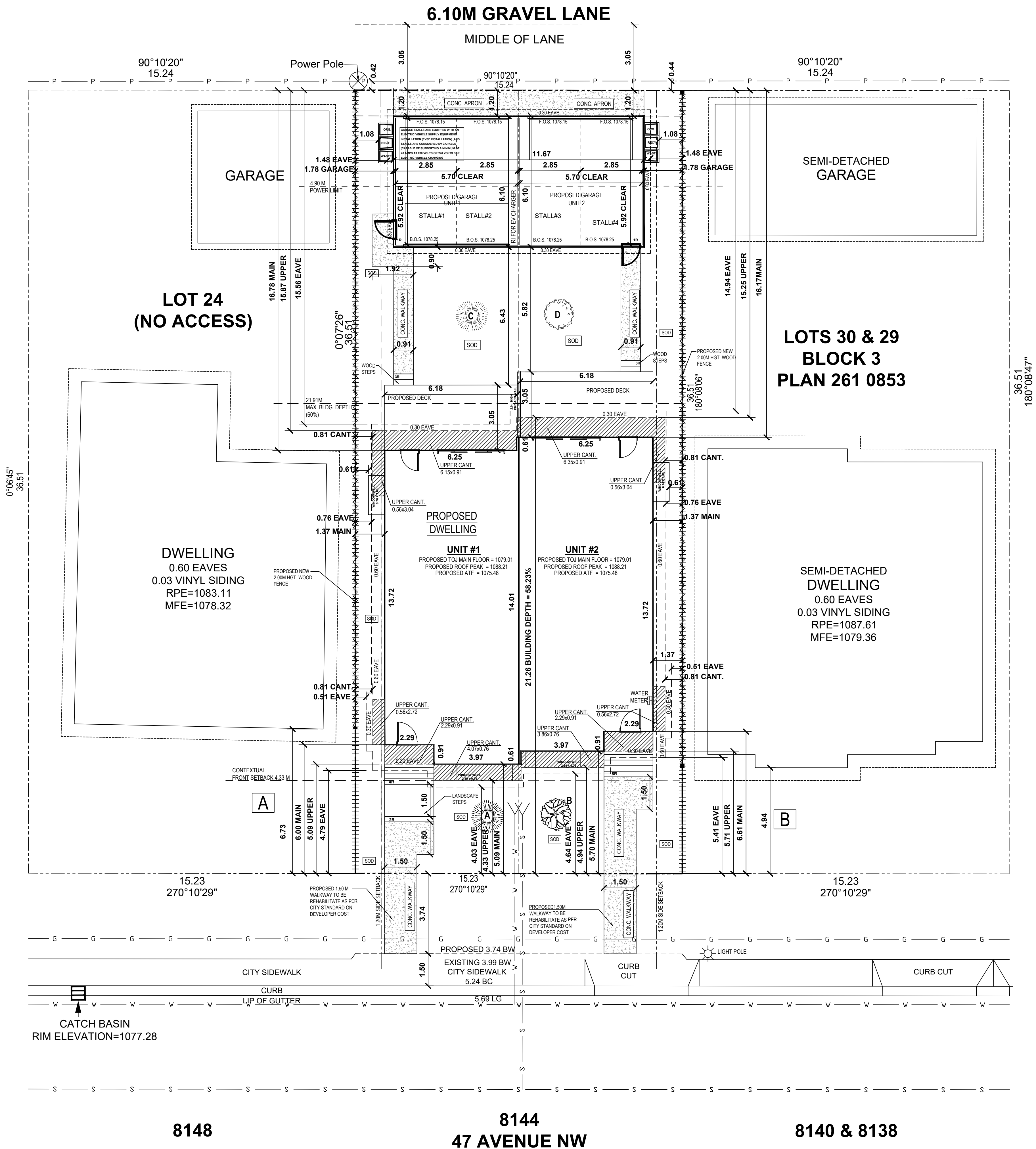
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PROPOSED TREE SCHEDULE

A	- NEW LARGE COLORADO "BLUE" SPRUCE TREE - MIN. 3m or 10'-0" IN HEIGHT
B	- NEW LARGE MAYDAY TREE - MIN. 0.075 CALIPER
C	- NEW SMALL COLUMNAR "BLUE" SPRUCE TREE - MIN. 2.0m or 6'-6" IN HEIGHT
D	- NEW FLOWERING CRAB SPECIES TREE - MIN. 0.05 CALIPER



81 STREET NW

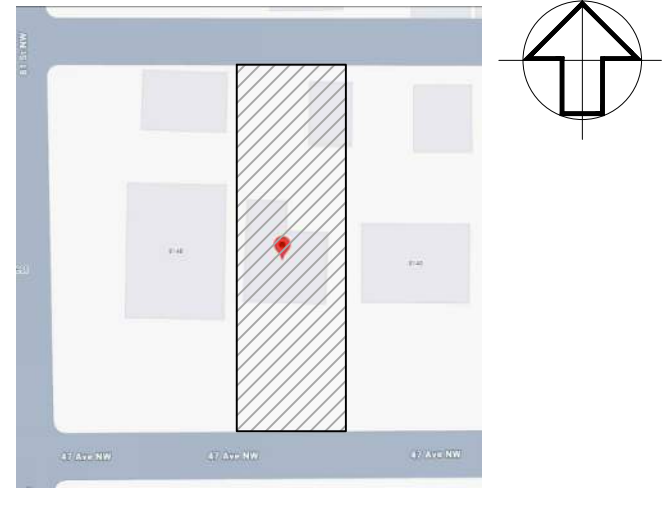


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EMAIL: info@tricordg.ca

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-15	CLIENT COMMENTS	H.E.	E.R.
02	2026-06-21	CLIENT COMMENTS	H.E.	A.K.
03	2026-06-24	CLIENT COMMENTS	H.E.	--

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-11	DEVELOPMENT PERMIT SET	R.E./E.R.	E.R.

THE CLIENT :

PRIVATE CLIENT

PROJECT :

SEMI DETACHED

ADDRESS:

8144 - 47TH AVENUE N.W.,
CALGARY, ALBERTA
PLAN 2660AP , BLOCK 3 , LOT 23

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO. :

26-1055

CHECKED BY:

E.R./R.N.

DATE:

2026-06-30

DRAWN BY:

E.R./E

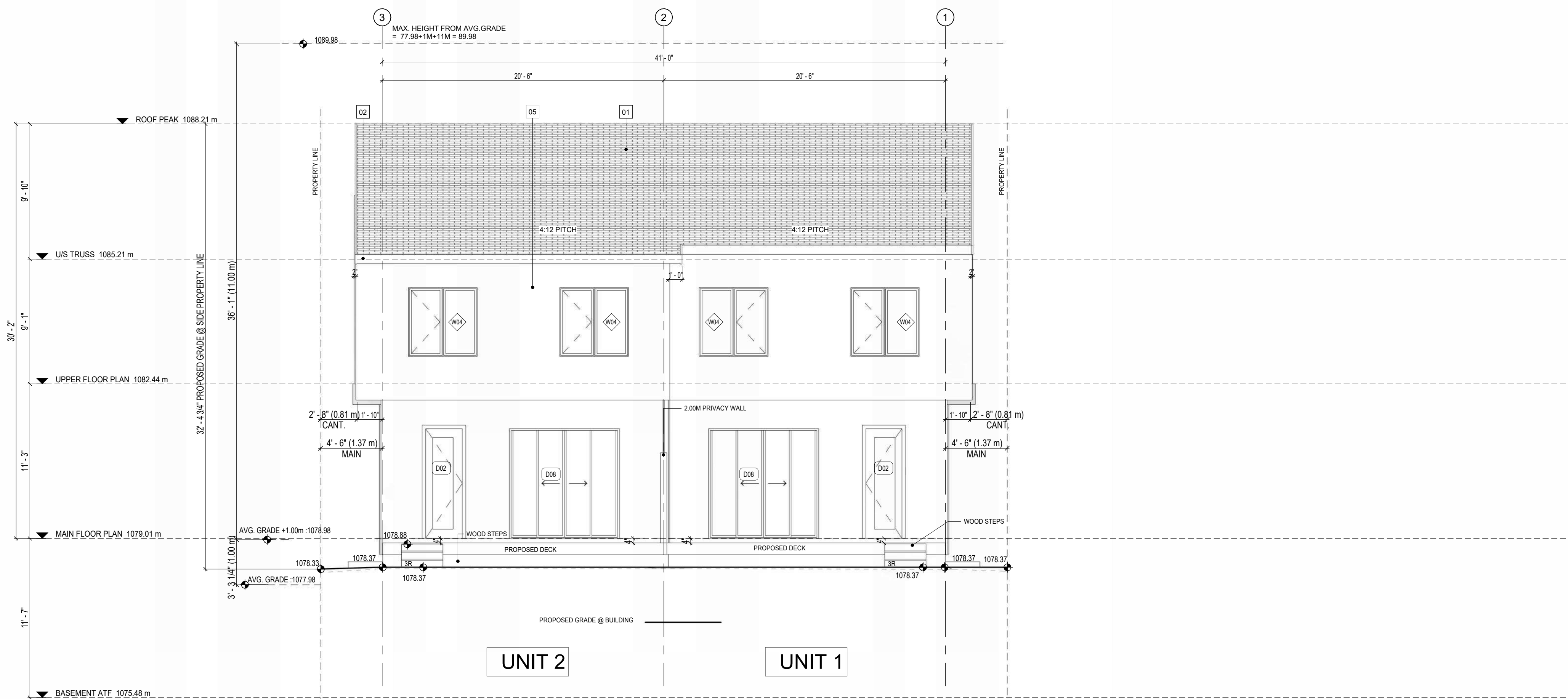
SCALE:

1:100

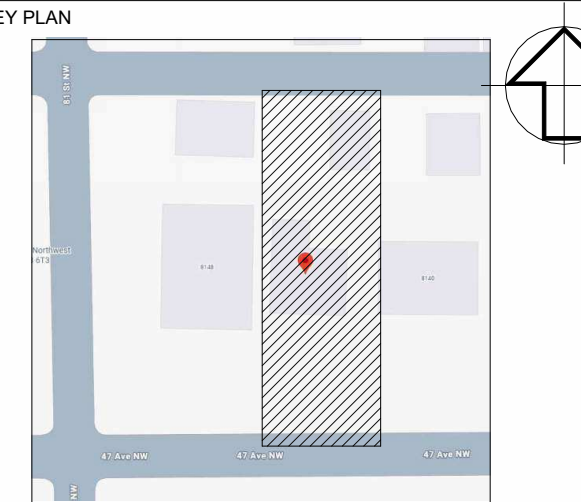
ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
03	BOARD AND BATTEN DARK
04	EXTERIOR MANUFACTURED BRICK VENEER
05	STUCCO CLADDING WHITE
06	SMART BOARD DARK
07	BOARD AND BATTEN WHITE
08	4" TRIM
13	TRIM - HORIZONTAL /VERTICAL 8"



1 PROPOSED FRONT (SOUTH) ELEVATION
3/16" = 1'-0"



2 PROPOSED REAR (NORTH) ELEVATION
3/16" = 1'-0"

[illegible]

DIVISIONS:				
O.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-16	CLIENT COMMENTS	H.E	E.R
02	2026-06-21	CLIENT COMMENTS	H.E	A.K
03	2026-06-25	CLIENT COMMENTS	H.E	--
04				
05				

ISSUES:				
O.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-11	DEVELOPMENT PERMIT	MA / H.E	R.N. / E.R
02				
03				
04				
05				

THE CLIENT : **PRIVATE CLIENT**

PROJECT : **SEMI DETACHED**

**8144 - 47th AVENUE N.W.
CALGARY, ALBERTA
PLAN 2660AP, BLOCK 3, LOT 23**

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**PROPOSED FRONT & REAR
ELEVATIONS**

LEAVING NO

A-201

OBJECT NO. : 26-1055	CHECKED BY: R.N. / E.R	DATE: 2026-06-25
	DRAWN BY: M.A / H.E.	SCALE: 3/16" = 1'-0"

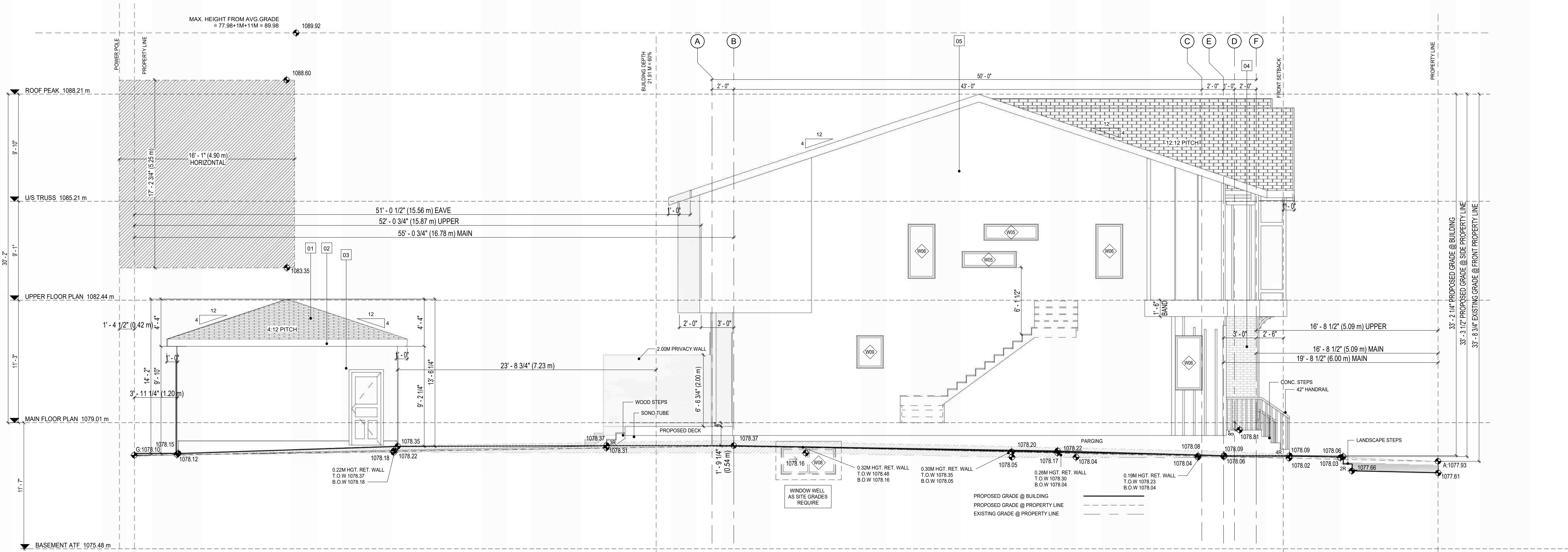
ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
03	BOARD AND BATTEN DARK
04	EXTERIOR MANUFACTURED BRICK VENEER
05	STUCCO CLADDING WHITE
06	SMART BOARD DARK
07	BOARD AND BATTEN WHITE
08	4" TRIM
13	TRIM - HORIZONTAL /VERTICAL 8"

UNPROTECTED OPENINGS LEFT ELE.

CODE CHECK	1091.27 SQ. FT.	101.38 SQ.M²
EXPOSED BUILDING FACE	4'-0"	1.37 M
MINIMUM SETBACK	7.00%	70.39 SQ. FT.
PERCENTAGE OF ALLOWED OPENINGS	7.10 SQ.M²	
ACTUAL SQ. FTG. OF OPENINGS	60.00 SQ. FT.	5.57 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	38.19 SQ. FT.	3.55 SQ.M²

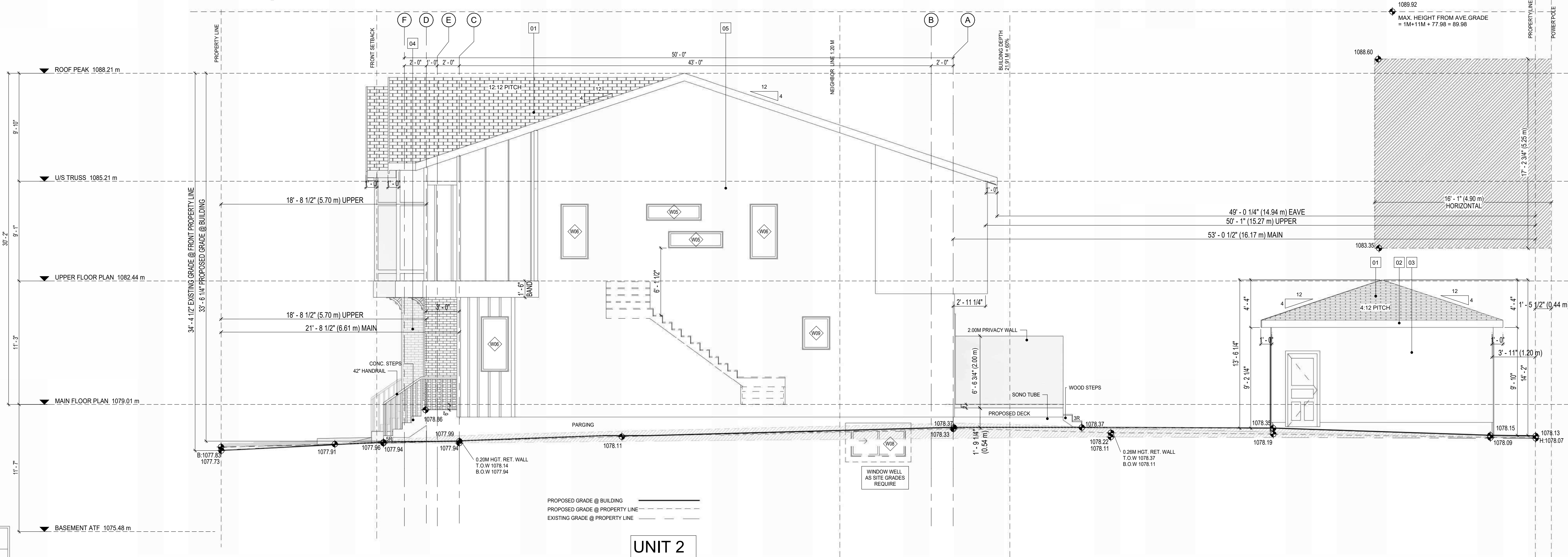
UNPROTECTED OPENINGS RIGHT ELE.

CODE CHECK	1099.97 SQ. FT.	102.19 SQ.M²
EXPOSED BUILDING FACE	4'-0"	1.37 M
MINIMUM SETBACK	7.00%	77.00 SQ. FT.
PERCENTAGE OF ALLOWED OPENINGS	7.15 SQ.M²	
ACTUAL SQ. FTG. OF OPENINGS	60.00 SQ. FT.	5.57 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	38.50 SQ. FT.	3.58 SQ.M²



1 PROPOSED LEFT (WEST) ELEVATION

3/16" = 1'-0"



2 PROPOSED RIGHT (EAST) ELEVATION

3/16" = 1'-0"

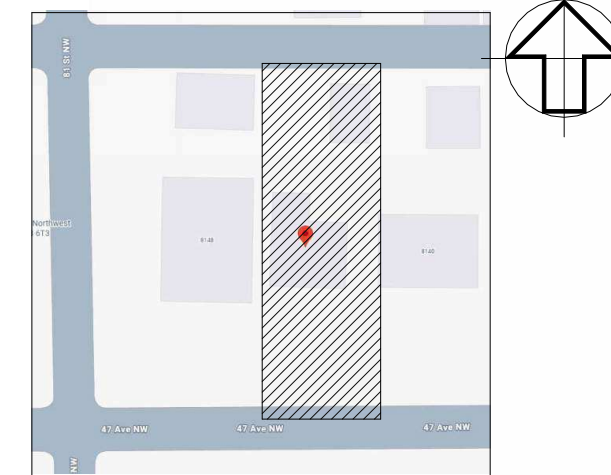
DESIGNED BY:



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KEY PLAN



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02	2026-06-21	CLIENT COMMENTS	H.E	A.K
03	2026-06-25	CLIENT COMMENTS	H.E	--
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-11	DEVELOPMENT PERMIT	M.A / H.E	R.N. / E.R
02				
03				
04				
05				

THE CLIENT:

PRIVATE CLIENT

PROJECT:

SEMI DETACHED

ADDRESS:

8144 - 47th AVENUE N.W.
CALGARY, ALBERTA
PLAN 2660AP, BLOCK 3, LOT 23

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO.:

26-1055

CHECKED BY:

R.N. / E.R

DATE:

2026-06-25

DRAWN BY:

M.A / H.E

SCALE:

3/16" = 1'-0"

DESIGNED BY:

TRICOR

DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202, 4216 10TH STREET NE

CALGARY, AB. T2E 6K3

PHONE: (403)203-1970

FAX: (403)203-1990

EMAIL: info@tricordesigns.com

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NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHK'D BY	
01	2026-06-16	CLIENT COMMENTS	H.E	E.R
02	2026-06-21	CLIENT COMMENTS	H.E	A.K
03	2026-06-30	CLIENT COMMENTS	H.E	--
04				
05				

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHK'D BY	
01	2026-06-11	DEVELOPMENT PERMIT	M.A/H.E	R.N./E.R
02				
03				
04				
05				

THE CLIENT : **PRIVATE CLIENT**

PROJECT : **SEMI-DETACHED**

ADDRESS: **8144 - 47th AVENUE N.W.
CALGARY, ALBERTA
PLAN 2660AP, BLOCK 3, LOT 23**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **PROPOSED GARAGE (ACCESSORY BUILDING)**

DRAWING NO. **A-501**

PROJECT NO. : 26-1055	CHECKED BY: R.N. / E.R	DATE: 2026-06-30
	DRAWN BY: M.A / H.E.	SCALE: 3/16" = 1'-0"

GR-1	ROOF AND CEILINGS
	- ASPHALT SHINGLE ROOFING AS SPEC'D - BUILDING PAPER - 1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT - APPROVED WOOD TRUSSES @ 24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL) 2X4 TRUSS BRACING TO OCCUR @ 7'-0" O/C AT BOTTOM CHORD) - ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES - MIN R35 LOOSE FILL/ OR CELLULOSE INSUL. - VAPOUR BARRIER (6 MIL POLY) - 5/8" TYPE 'X' DRYWALL
GF-4	GARAGE SLAB
	4" DURACRETE CONC. SLAB 5" COMP. GRAVEL (SLOPE 4") (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)
GW-1	EXTERIOR WALLS
	- EXTERIOR FINISH AS SPEC'D - 1 LAYER 5/8" TYPE X EXTERIOR GYPSUM BOARD OR EQUIVALENT TO PROVIDE A MIN. 45 min FRR - 1 PLY AIR BARRIER - 2X4" WOOD STUDS @16" OC. - R12 FRICTION-FIT FIBERGLASS INSULATION - VAPOUR BARRIER (6 MIL POLYETHYLENE) - 1 LAYERS 5/8" TYPE 'X' DRYWALL (INTERIOR SHEATHING)
W-7	(W13-A) 1HR FRR STC-57
	- 5/8" TYPE 'X' DRYWALL - 6 MIL POLY V-B - 2X4 STUDS ON EDGE @ 24" OC - 6 MIL POLY V-B - 5/8" TYPE 'X' DRYWALL
	NOTE
	- SOIL BEARING CAPACITY 2000 # FT²

TRC_SCHEDULE OF FINISHES

MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
03	STUCCO CLADDING WHITE

4 PROPOSED FRONT (NORTH) ELEVATION
3/16" = 1'-0"

6 PROPOSED LEFT (EAST) ELEVATION
3/16" = 1'-0"

5 PROPOSED RIGHT (WEST) ELEVATION
3/16" = 1'-0"

7 PROPOSED REAR (SOUTH) ELEVATION
3/16" = 1'-0"