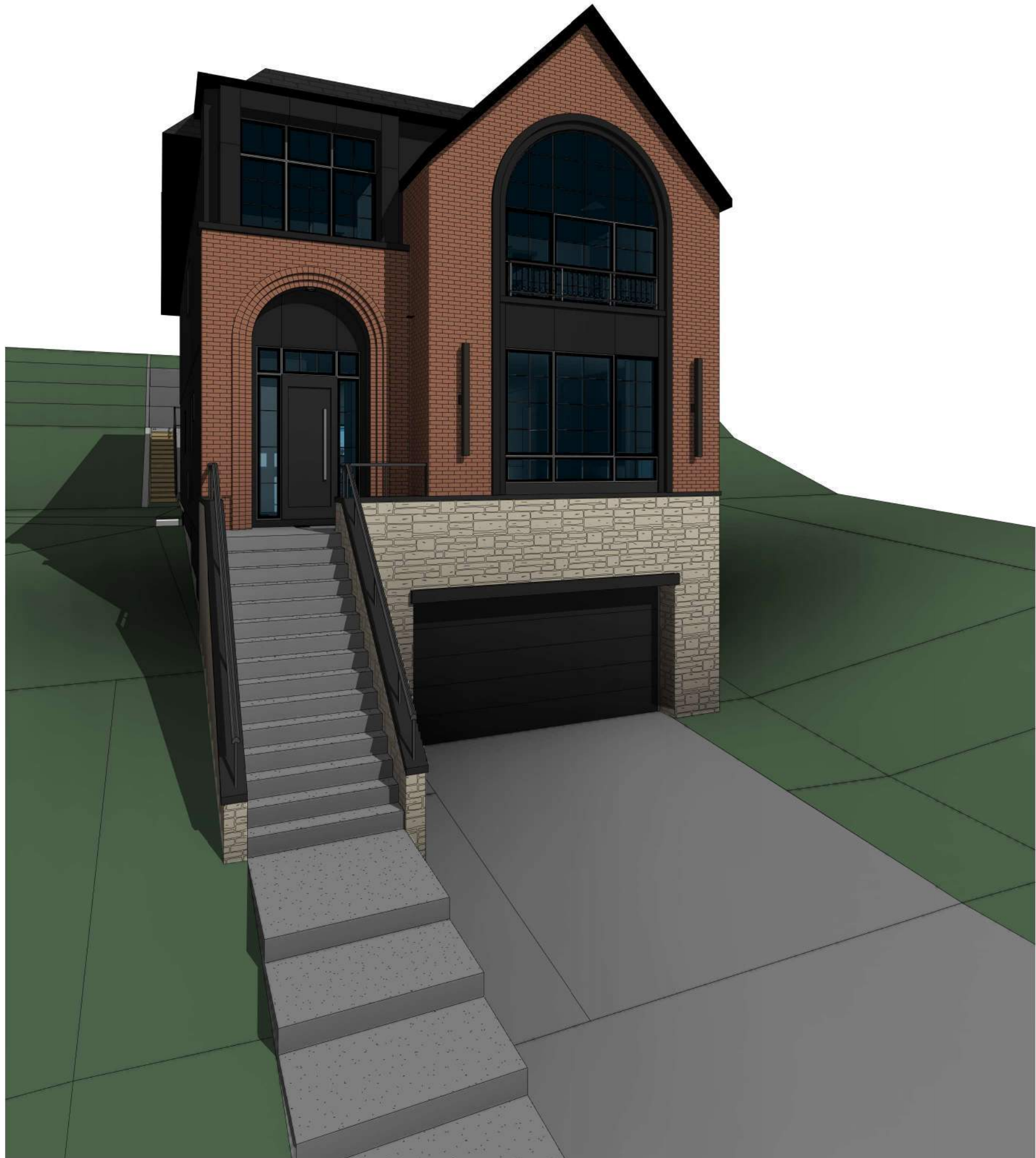


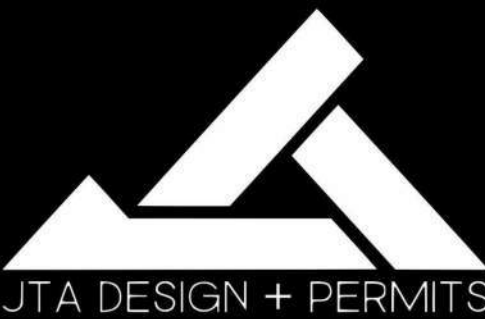


LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

FLOOR AREA	
BASEMENT	= 1157.71 SQ. FT.
ATTACHED GARAGE	= 839.38 SQ. FT.
MAIN FLOOR	= 1715.00 SQ. FT.
UPPER FLOOR	= 1803.50 SQ. FT.
TOTAL	= 3515.50 SQ. FT.

GENERAL NOTES:

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	26/06/2026	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--



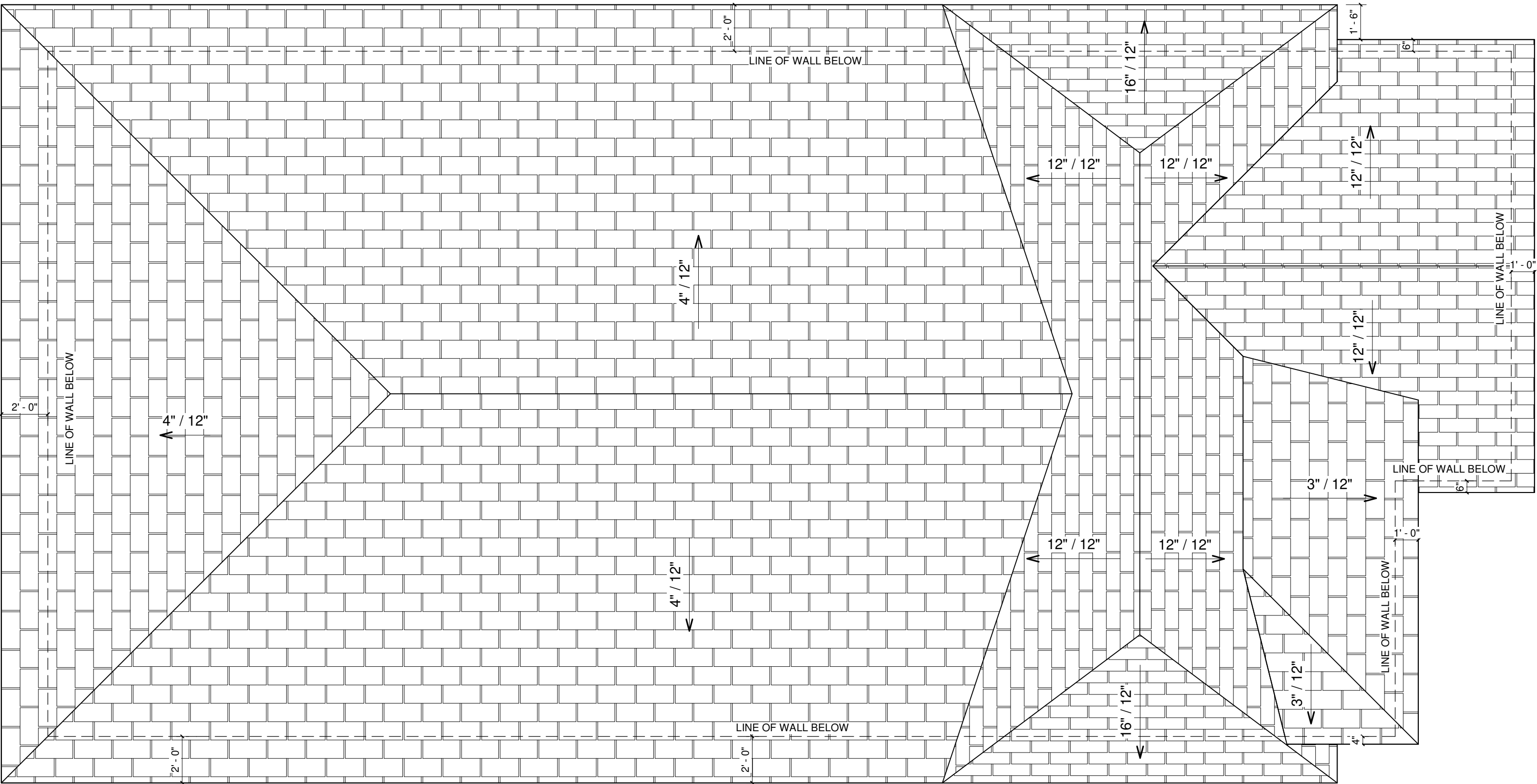
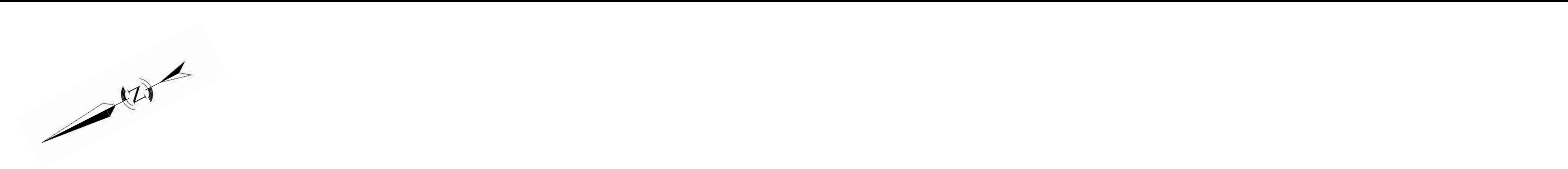
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ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

MUNICIPAL ADDRESS:
2304 Juniper Road NW
CALGARY, ALBERTA
PROJECT:
NEW HOME
STATUS:
DP
LEGAL LAND DISCRPTION:
LOT: 18 BLOCK: 23 PLAN: 4683 GP

PROJECT NUMBER: 246-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE: *
SCALE:

DRAWING SET:
SHEET NAME:
Cover Page
PAGE:

A-0.0

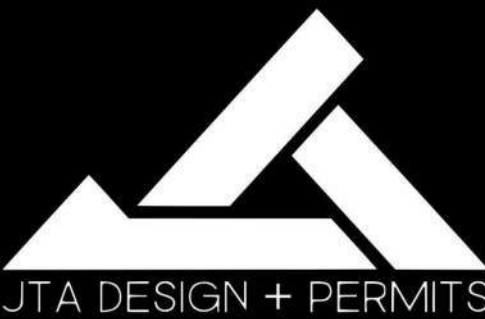


ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

-CONTRACTOR TO CONFIRM HEEL HEIGHT & ROOF DETAILS PRIOR TO ORDERING WITH THE MANUFACTURE. ANY ISSUE MUST BE RESOLVED WITH THE DESIGNER

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	26/06/2026	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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MUNICIPAL ADDRESS: 2304 Juniper Road NW CALGARY, ALBERTA		PROJECT NUMBER: 246-26	DRAWING SET: SHEET NAME: Roof Plan
PROJECT: NEW HOME		DESIGN BY: JT	
STATUS: DP		DRAWN BY: JT	
LEGAL LAND DISCRPTION: LOT: 18 BLOCK: 23 PLAN: 4683 GP		LAST REVISION BY:	
		LAST REVISION DATE: * SCALE: 1/4" = 1'-0"	
			PAGE:

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

6" ALUMINUM FASCIA
- 3

STUCCO FINISH - BLACK
- 4

BRICK AS SPEC'D - RED
- 5

STONE AS SPEC'D - BEIGE
- 6

CONCRETE PARGING
- 7

CAST-IN-PLACE CONCRETE

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

6" ALUMINUM FASCIA
- 3

STUCCO FINISH - BLACK
- 4

BRICK AS SPEC'D - RED
- 5

STONE AS SPEC'D - BEIGE
- 6

CONCRETE PARGING
- 7

CAST-IN-PLACE CONCRETE

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REAR ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	26/06/2026	DP PLANS	D.L.
02.	-	-	-
03.	-	-	-
04.	-	-	-



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MUNICIPAL ADDRESS:
2304 Juniper Road NW
CALGARY, ALBERTA
PROJECT:
NEW HOME

STATUS:
DP

LEGAL LAND DISCRPTION:
LOT: **18** BLOCK: **23** PLAN: **4683 GP**

PROJECT NUMBER: 246-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE: *
SCALE: 1/4" = 1'-0"

DRAWING SET:
SHEET NAME:
Front & Rear Elevation

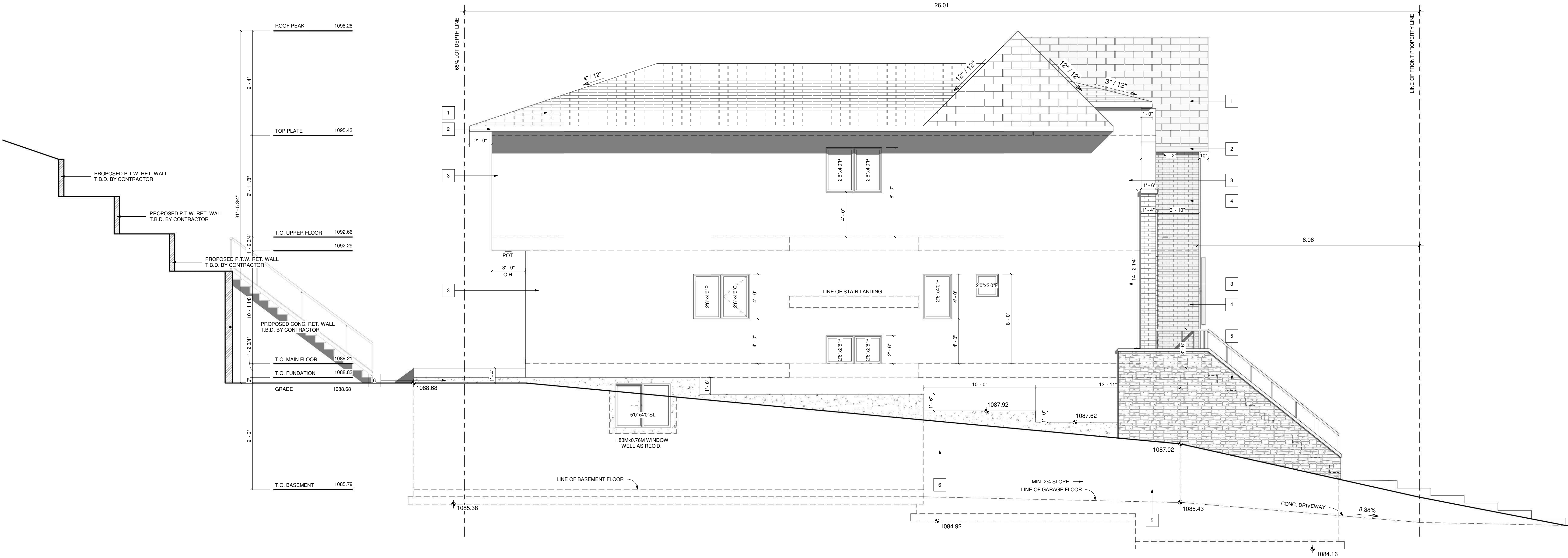
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	5	STONE AS SPEC'D - BEIGE
2	6" ALUMINUM FASCIA	6	CONCRETE PARGING
3	STUCCO FINISH - BLACK	7	CAST-IN-PLACE CONCRETE
4	BRICK AS SPEC'D - RED		

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
@ 1.22m LIMITING DISTANCE
WALL AREA = 1452.17 SQ. FT.
WINDOW AREA = 74.90 SQ. FT.
TOTAL: 74.90 / 1452.17 = 5.16%



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	26/06/2026	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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RESOLVED BEFORE PROCEEDING

MUNICIPAL ADDRESS:
**2304 Juniper Road NW
CALGARY, ALBERTA**
PROJECT:
NEW HOME
STATUS:
DP
LEGAL LAND DISCRPTION:
LOT: **18** BLOCK: **23** PLAN: **4683 GP**

PROJECT NUMBER: 246-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE: *
SCALE: 1/4" = 1'-0"

DRAWING SET:
SHEET NAME:
Left Elevation
PAGE:

A-2.1

- EXTERIOR FINISHES:

1

ASPHALT SHINGLE

2

6" ALUMINUM FASCIA

3

STUCCO FINISH - BLACK

4

BRICK AS SPEC'D - RED

5

STONE AS SPEC'D - BEIGE

6

CONCRETE PARGING

7

CAST-IN-PLACE CONCRETE

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)

-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m

-NON VENTED SIDES SOFFIT IF WITHIN 1.2m

(SOFFIT ARE PRE-FIN ALUM)

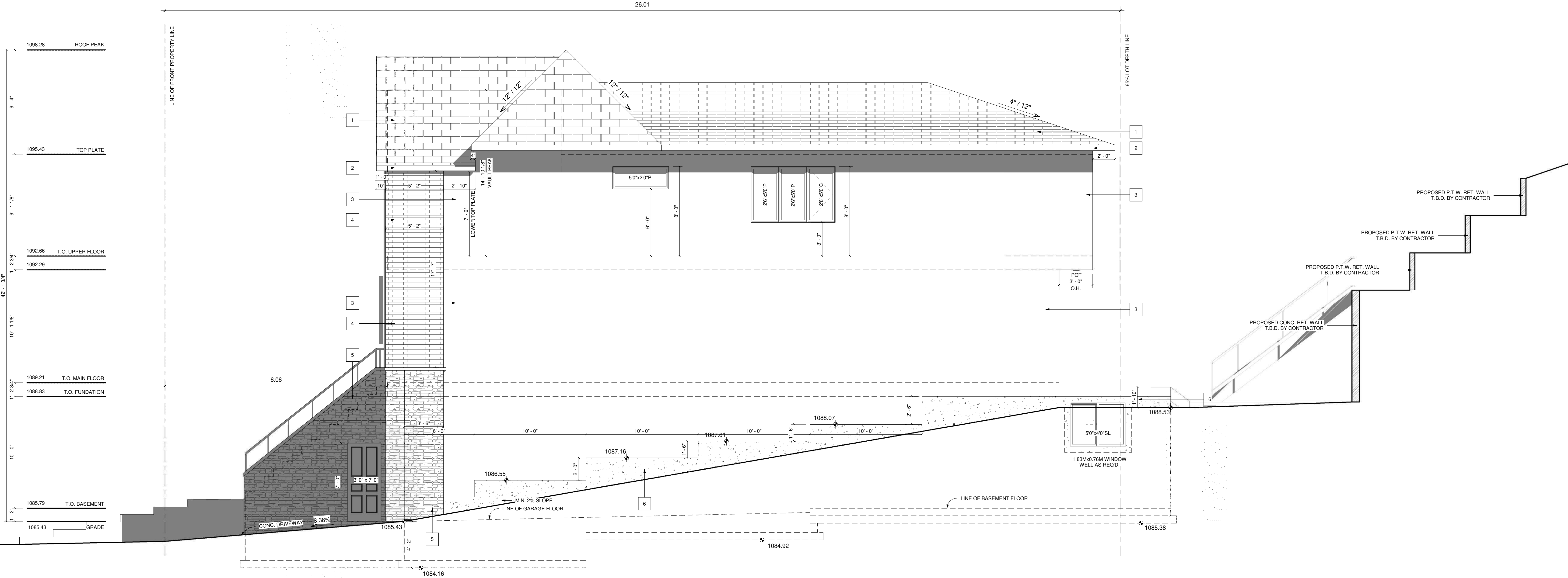
WINDOW CALCULATION :

@ 1.22m LIMITING DISTANCE

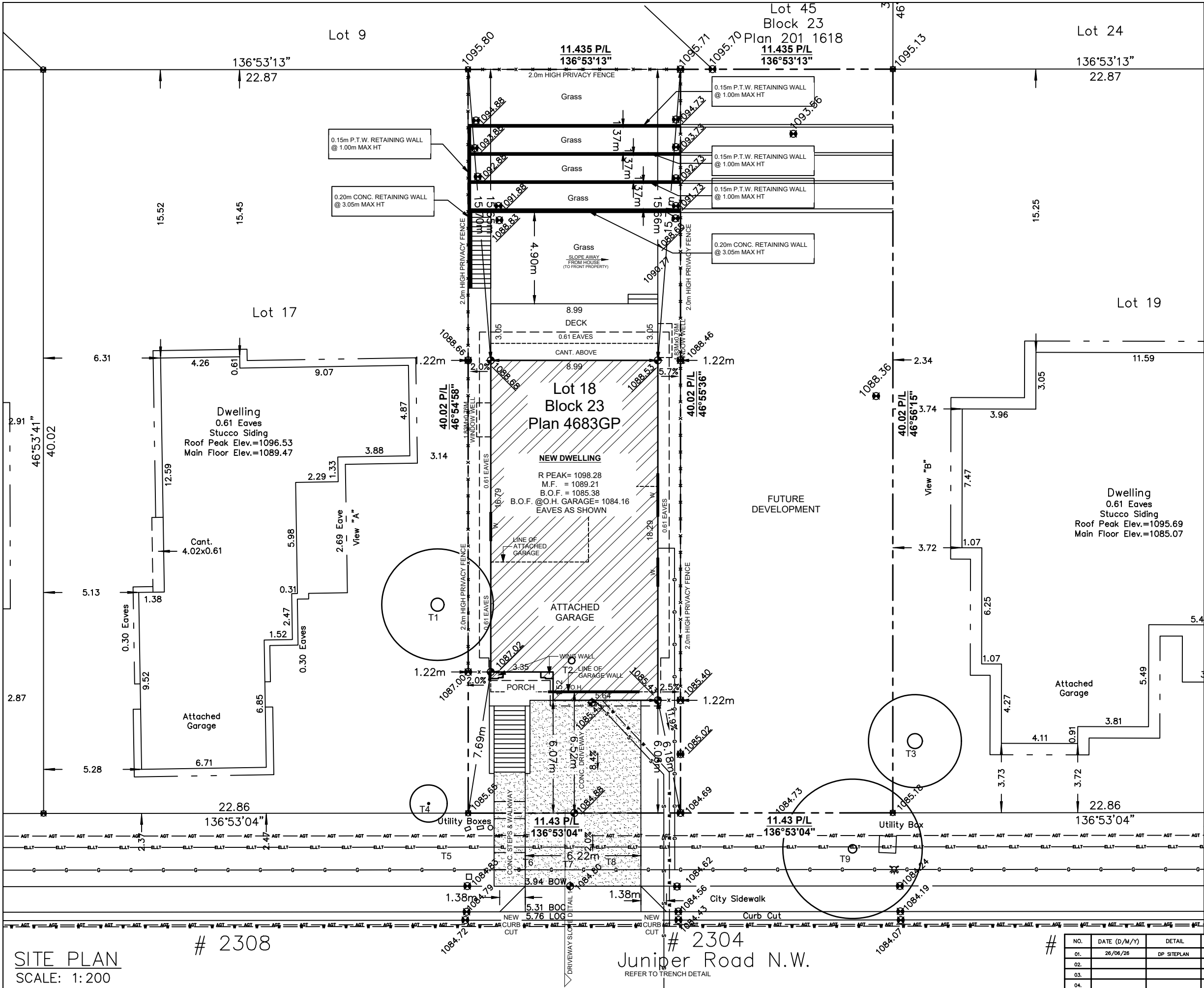
WALL AREA = 1679.65 SQ. FT.

WINDOW AREA = 52.10 SQ. FT.

TOTAL: 52.10 / 1679.65 = 3.10%



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
Lot 18
Block 23
Plan 4683 GP

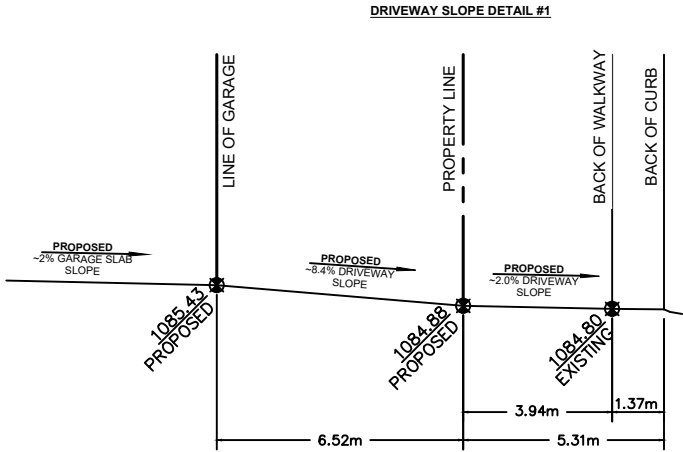
MUNICIPAL ADDRESS:
2304 - JUNIPER ROAD N.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 457,288 SQ M
HOUSE: 164,637 SQ M
COVERED PORCH: 0,000 SQ M
CANT.: 0,000 SQ M
WING WALL: 0,444 SQ M
TOTAL: 165,081/457,288
= 36.10%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	26/06/26	DP SITEPLAN	D.L.	2304 JUNIPER ROAD NW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 18 Block 23 Plan 4683 GP	DATE: JUN 26, 2026	DIVISION NUMBER: S 01
03.						
04.						

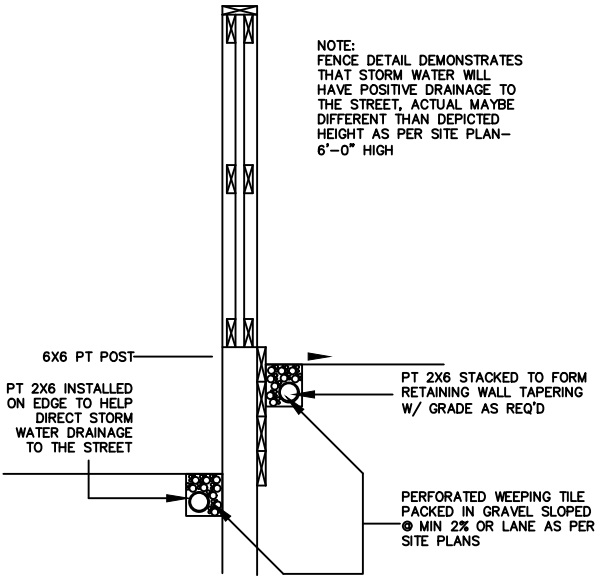
TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Coniferous	0.70	6.00	10.0	In Adjacent Property	To Stay
T2	Deciduous	0.35	5.00	5.00	In Subject Property	To be Removed
T3	Coniferous	0.80	5.00	10.0	In Adjacent Property	To Stay
T4	Deciduous	0.10	2.0	2.50	In Adjacent Property	To Stay
T5	Bush	–	1.00	1.20	In City Property	To be Removed
T6	Bush	–	0.70	1.40	In City Property	To be Removed
T7	Bush	–	1.40	1.00	In City Property	To be Removed
T8	Bush	–	1.60	1.40	In City Property	To be Removed
T9	Deciduous	0.45	7.50	9.00	In City Property	To Stay



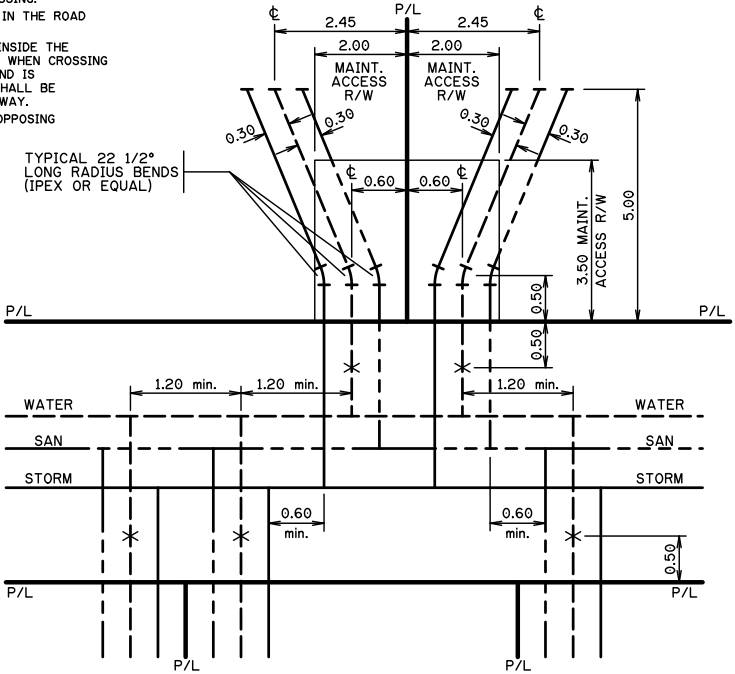
SINGLE DETACHED SQFT:

	AREA
BASEMENT	1157.71 SQ FT
ATTACHED GARAGE	839.38 SQ FT
MAIN FLOOR	1715.00 SQ FT
UPPER FLOOR	1803.50 SQ FT
TOTAL AREA	3518.50 SQ FT



NOTES:

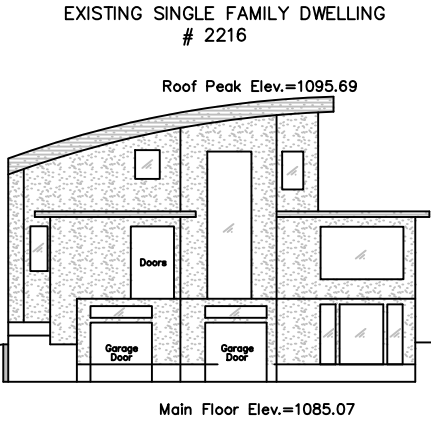
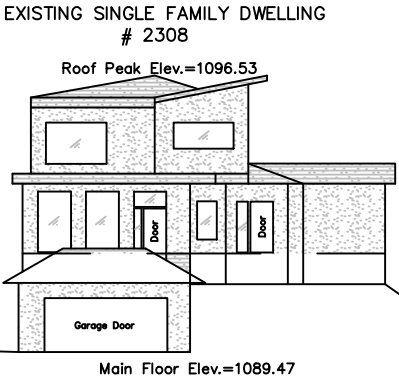
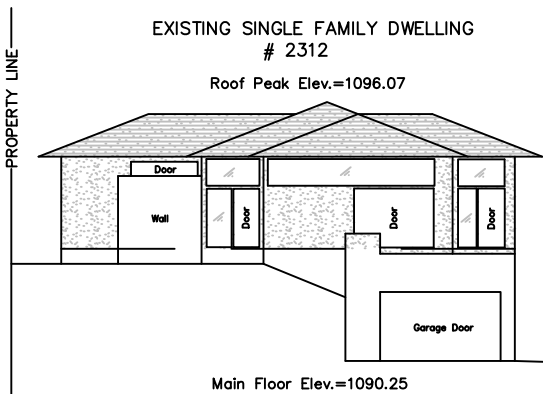
1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



DRIVEWAY SLOPE DETAIL
 SCALE: NTS

FENCE SECTION DETAIL
 SCALE: NTS

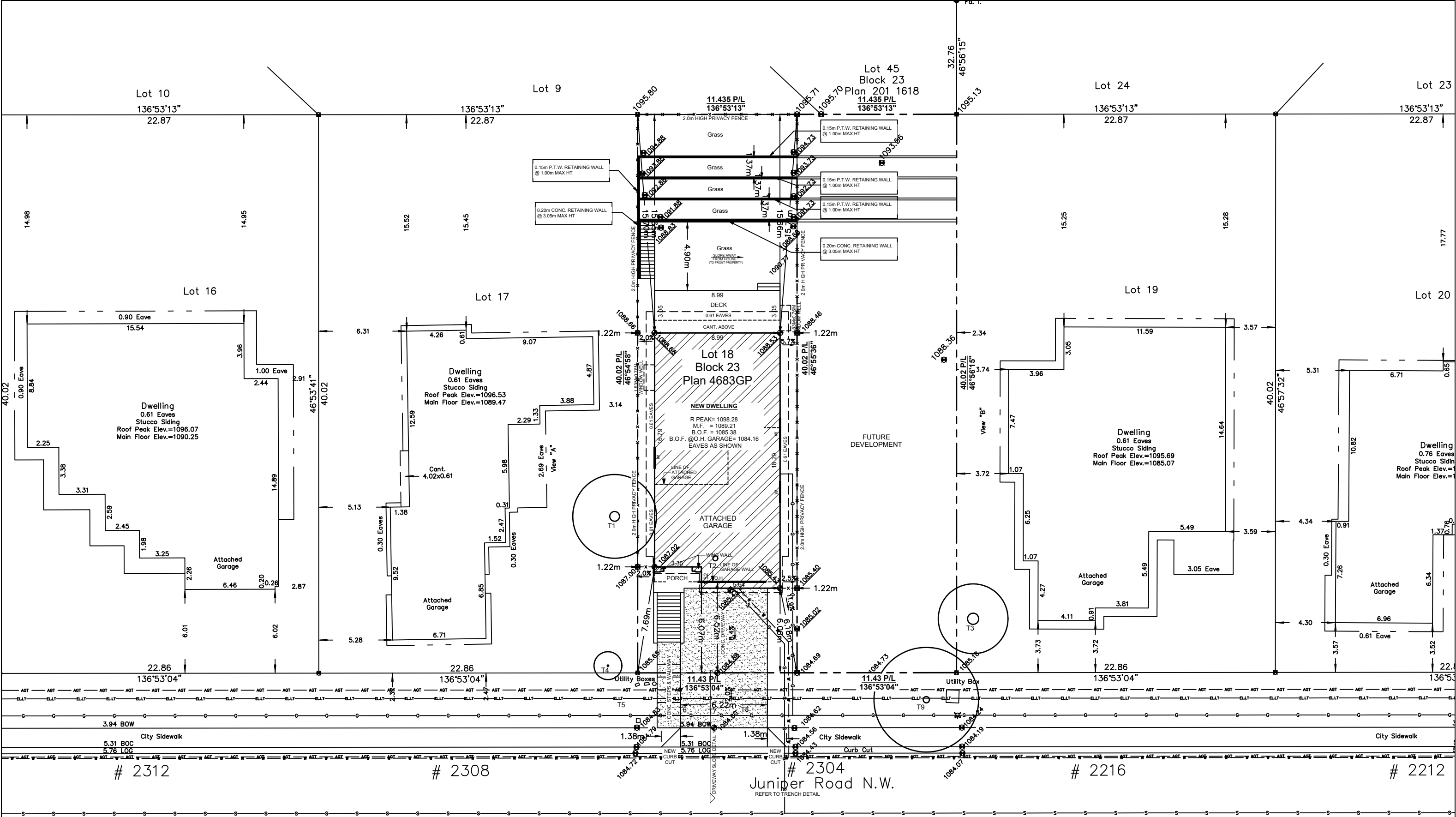
TRENCH DETAIL
 SCALE: NTS



STREETSCAPE

SCALE: 1: 300

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	26/06/26	DP SITEPLAN	D.L.	2304 JUNIPER ROAD NW Calgary, Alberta	SINGLE HOUSE	AS SHOWN
02.				Lot 18 Block 23 Plan 4683 GP	DATE:	DIVISION NUMBER
03.					JUN 26, 2026	S 02
04.						



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	26/06/26	DP SITEPLAN	D.L.	2304 JUNIPER ROAD NW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 18 Block 23 Plan 4683 GP	DATE:	DIVISION NUMBER
03.					JUN 26, 2026	S 03
04.						