

Notes:

- DISTANCES ARE IN METERS AND DECIMALS THEREOF.
- COORDINATES ARE BASED ON GNSS TIES TO ASCM 106435.
- COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999730
- PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM)
- HORIZONTAL DATUM: NORTH AMERICA DATUM 1983 (NAD83)
- ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVD28) VIA HT2.0 GEOID MODEL
- ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
- ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.
- SPOT ELEVATION GRID IS 5 METER SPACING.
- PRIOR TO DIGGING, UNDERGROUND UTILITIES MUST BE LOCATED.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES AND CONCEALED STRUCTURES AND TO CONTACT THE VARIOUS OWNERS/OPERATORS/AUTHORITIES FOR ON-SITE INFORMATION AS TO THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES OR CONCEALED STRUCTURES.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE OWNERS/OPERATORS/AUTHORITIES OF ITS INTENTION TO CARRY OUT OPERATIONS IN THE AREA.

Legend:

- MAJOR CONTOUR 0.5m INTERVAL
- MINOR CONTOUR 0.1m INTERVAL
- SPOT ELEVATION (8m GRID)
- FOUND STATUTORY IRON POST
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- POWER POLE
- GUY WIRE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- VALVE
- SIGN
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS PIPELINE - HIGH PRESSURE
- GAS - CO-OP LINE
- SANITARY LINE
- TELUS - BURIED LINE
- TELUS - OVERHEAD LINE
- WATER MAIN
- CULVERT
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES

Stamp:	Signature:
1 2025/06/30 ISSUED FOR: DP	
NO YYYY/MM/DD REVISION	
00	ISSUED TO CLIENT
No.	Revision Description
By	Date
Appr	

Title: TOPOGRAPHIC SITE SURVEY

Job Description: LOTS A (PORTION) & B, BLOCK 13 PLAN 741 0938 4215 Edmonton Trail N.E. Calgary, AB

Client: Williams Engineering Suite 1500, 500 4th Avenue S.W. Calgary, AB

Watt Consulting Group Ltd. 1500, 736 6th Avenue S.W. Calgary, AB, T2P 3T7 T: 403.273.9001 F: 403.273.3440 www.wattconsultinggroup.com

Drawn: N.K.	Field Survey(s): J.Y./N.K.
Draft Chk: M.P.	Survey Date: OCT. 31, 2024
Approved: J.D.	Date: NOV. 6, 2024
Scale: 1:250	File #: 2410990
	Sheet: 01
	Total Sheets: 01

June 30, 2026

ARCHITECTURE Calgary, Alberta T2N 3R1 Bus: (403) 265-3100 Fax: (403) 237-7486 info@kn-architecture.com

SCALE AS NOTED

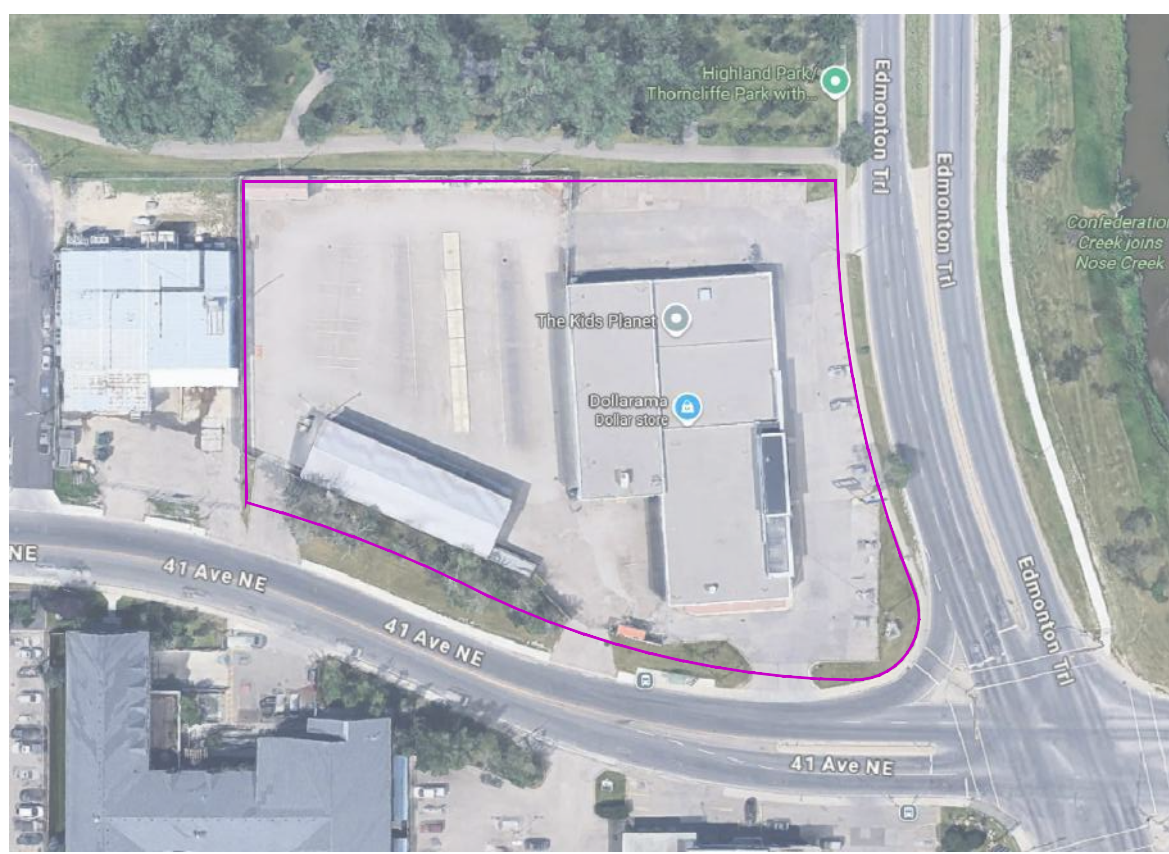
CLIENT

PROJECT 4215 EDMONTON TR NE CALGARY, ALBERTA PLAN 791P, BLOCK 58, LOT 31-40

TRADE	START DATE
DRAWING	2026

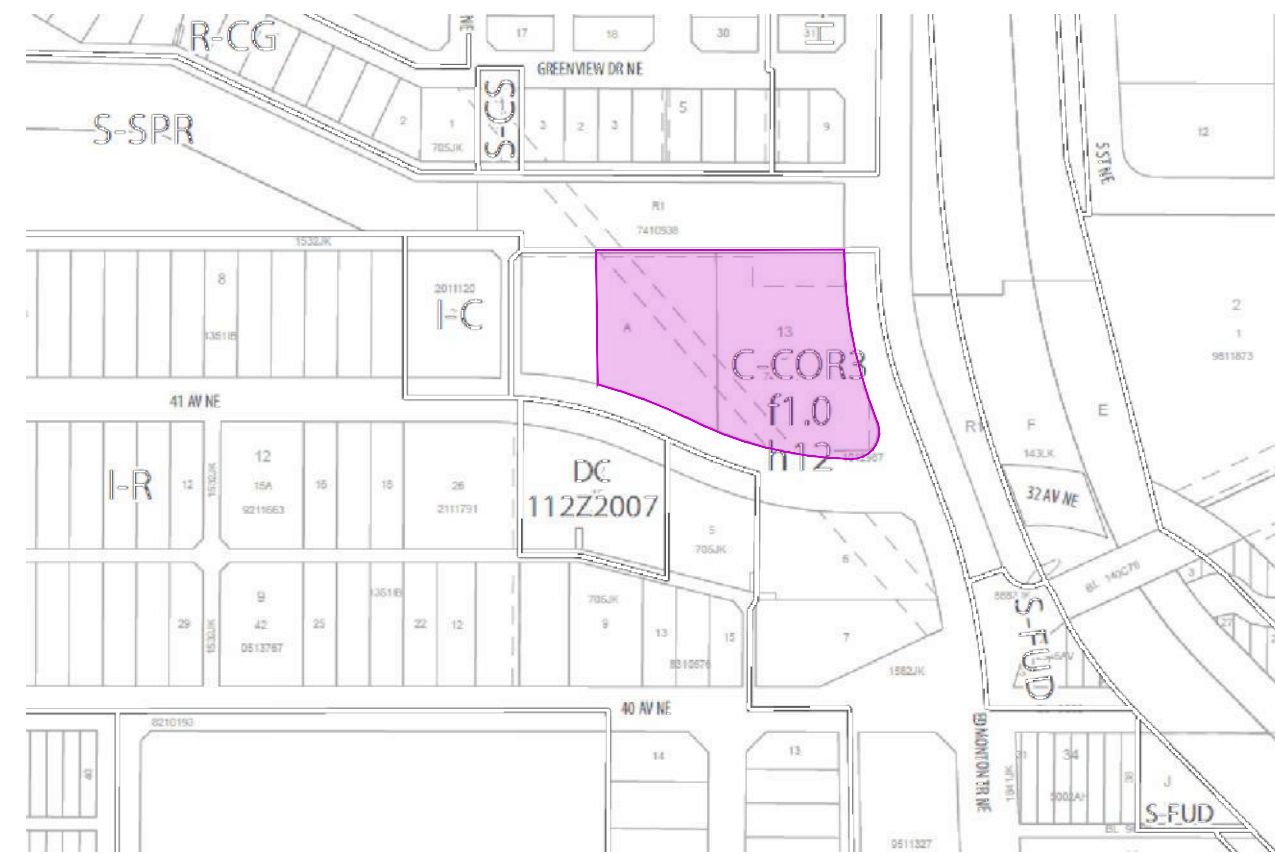
TOPOGRAPHIC SITE SURVEY	
DESIGNED AA	CHECKED MK
DRAWN AA	JOB No. 2506
	DWG No. A0.0

Tree #	Type	Trunk Ø (cm)	Canopy (m)	Height (m)
1	Coniferous	25	5	13
2	Deciduous	30	10	12
3	Deciduous	30	9	15
4	Deciduous	30	4	5
5	Coniferous	20	3	5
6	Deciduous	40	7	12
7	Deciduous	40	6	13
8	Coniferous	20	4	9
9	Deciduous	40	8	11
10	Deciduous	35	8	12
11	Deciduous	35	9	10
12	Coniferous	25	4	9
13	Coniferous	20	3	9
14	Deciduous	20	5	7
15	Deciduous	65	16	14
16	Deciduous	25	6	7
17	Deciduous	60	17	15
18	Deciduous	45	12	15
19	Deciduous	45	12	16
20	Deciduous	45	13	16
21	Deciduous	45	13	16
22	Deciduous	10	2	3
23	Deciduous	10	2	3
24	Deciduous	15	3	5
25	Deciduous	10	2	4
26	Deciduous	15	2	4
27	Deciduous	10	2	4
28	Deciduous	15	1	4
29	Deciduous	10	1	3
30	Deciduous	30	7	9



2
A1.1

CONTEXT LOT PLAN
N.T.S.



3
A1.1

ZONING MAP
N.T.S.



1
A1.0

CONTEXT
1:200

SITE INFORMATION:

LEGAL DESCRIPTION: LOT 31-40, BLOCK 58, PLAN 791P
MUNICIPAL ADDRESS: 4215 EDMONTON TR. NE., AB
ZONING: C-COR31.0H12 (ALLOWABLE GFA OF 123,516 ft²)
SITE AREA (OVERALL): ±9,627.3 m² (±2.38 acre) = ±0.963 ha
SETBACKS: FRONT: 6m (EDMONTON TRAIL),
REAR: 3m (WEST)
SIDES: 6m (41 AVE. & HIGHLAND PARK)

PROJECT INFORMATION:

PROPOSED BUILDING FOOTPRINT: ±357 m² (3,840 ft²)
BUILDING GFA:
EXISTING BUILDING: ±1,997 m² = 421,496 ft²
NEW BUILDING: ±423.3 m² = ±4,557 ft²
- MAIN FLOOR: ±357 m² = ±3,843 ft²
- MEZZANINE: ±66.3 m² = ±714 ft²
TOTAL: ±2,420.3 m² = ±26,053 ft²
FAR (FOR WHOLE SITE): 0.25*
* FAR INCLUDES EXISTING BUILDING GFA: ±1,997 m² (21,496 ft²)
NET USEABLE AREA:
- SHOP: ±3,126 ft²
- OFFICE: ±714 ft²
- MEZZ: STORAGE: ±714 ft²
TOTAL: ±4,554 ft²
BUILDING HEIGHT: XXXX
VEHICLE PARKING:
- BYLAW REQUIRED: ZERO
- PROVIDED: 54
EXISTING SURFACE PARKING: 54
NEW SURFACE PARKING: 9
TOTAL: 63 (RATIO: 2.5 STALL/1000 SQFT GFA)
BICYCLE PARKING:
- BYLAW REQUIRED: 1/2,000 SQFT = 2
- PROVIDED: CLASS 2: XXXX
OUTDOOR PLAYGROUND TO REMAIN.

BUILDING CLASSIFICATION: (3.2.2.80. GROUP F, DIVISION 2, UP TO 2 STOREYS - NO SPRINKLERED)
MULTIPLE MAJOR AND MINOR OCCUPANCIES
- OFFICE/RECEPTION AREA GROUP D (MINOR)
- STORAGE ROOMS (MEZZANINE) GROUP F, DIVISION 3 (MAJOR)
- SHOP (WAREHOUSE-6 BAYS) GROUP F, DIVISION 2 (MAJOR)

LANDSCAPE BYLAW REQ'T:

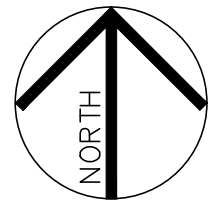
- Landscaping in Setback Areas**
- 824 (1) Where a setback area shares a property line with an LST corridor or street, the setback area must:
- (a) be a soft surfaced landscaped area; and
 - (b) provide a minimum of 1.0 trees and 2.0 shrubs:
 - (i) for every 35.0 square metres; or
 - (ii) for every 50.0 square metres, where irrigation is provided by a low water irrigation system.
- (2) Where a setback area shares a property line with a parcel designated as a residential district or with a lane that separates the parcel from a parcel designated as a residential district, the setback area must:
- (a) be a soft surfaced landscaped area;
 - (b) provide a minimum of 1.0 trees:
 - (i) for every 30.0 square metres; or
 - (ii) for every 45.0 square metres, where irrigation is provided by a low water irrigation system; and
 - (c) provide trees planted in a linear arrangement along the length of the setback area.
- (3) Where a setback area shares a property line with a lane and approved access to the parcel is from the lane, there is no requirement for soft surfaced landscaped area or hard surfaced landscaped area for that setback area.
- (4) Where a setback area shares a property line with a lane but there is no approved access to the parcel from the lane or with a parcel designated as a commercial, industrial or special purpose district, the setback area:
- (a) must be a soft surfaced landscaped area;
 - (b) may have a sidewalk along the length of the building; and
 - (c) must provide a minimum of 1.0 trees and 2.0 shrubs:
 - (i) for every 35.0 square metres; or
 - (ii) for every 50.0 square metres, where irrigation is provided by a low water irrigation system.

GIVEN THAT THIS DP IS FOR AN ADDITION OF A BUILDING THAT IS SMALLER TO THE PREVIOUS FOOTPRINT THAT IS BEING DEMOLISHED ON THIS EXISTING SITE, THEREFORE, WE WILL NOT BE MAKING ANY CHANGES TO THE EXISTING LANDSCAPING APPROVALS GIVEN AND ALL EXISTING LANDSCAPING IS TO REMAIN.

GENERAL NOTE:

- DEVELOPMENT CONSIDERATIONS:
- PRIMARILY FOR AUTO-ORIENTED COMMERCIAL USES
 - AUTO-SERVICE MINOR: must not have more than 200m² of floor area designated for the servicing of motor vehicles, excluding areas used for administration and storage; must not have any vehicle exiting doors located within 23.0 metres of a residential district, when measured to the nearest property line of a parcel designated as a residential district.
 - NO MIN. PARKING REQUIREMENT; requires 1 bicycle parking stalls — class 2 per 2000.0 square metres of gross usable floor area
 - URW IS IN MIDDLE OF SITE & NO NEW CONSTRUCTION IS BEING PROPOSED ON IT.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



LEGEND

- PROPERTY LINE
- HEAVY DUTY ASPHALT
- UTILITY/ACCESS RIGHT OF WAY ACCESS
- FIRE TRUCK ACCESS ROUTE

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SCALE AS NOTED

CLIENT

PROJECT

4215 EDMONTON TR NE
CALGARY, ALBERTA

PLAN 791P, BLOCK 58, LOT 31-40

TRADE START DATE 2026

DRAWING

CONTEXT PLAN

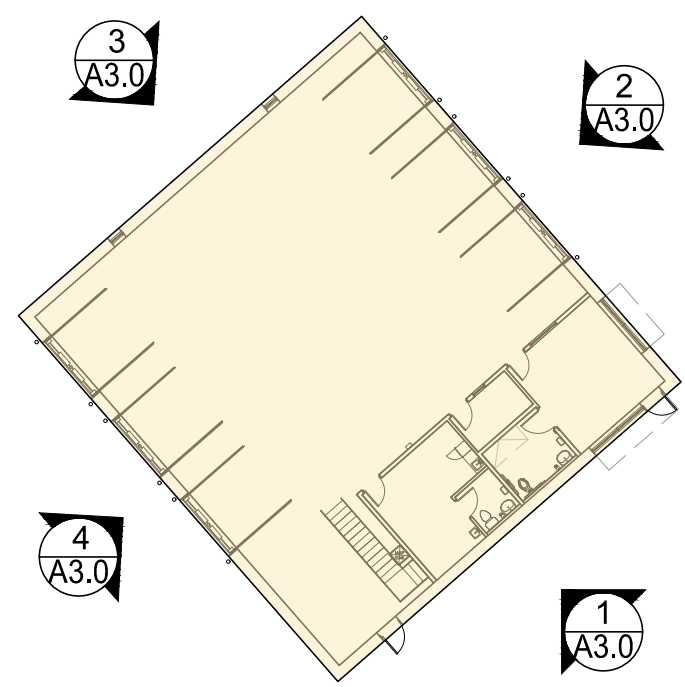
DESIGNED AA CHECKED MK

DRAWN AA JOB No. 2506

DWG No.

A1.0

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KEY PLAN
A3.0 NTS

June 30, 2026

1 2026/06/30 ISSUED FOR DP
NO YYYY/MM/DD REVISION

KN
ARCHITECTURE

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SCALE AS NOTED

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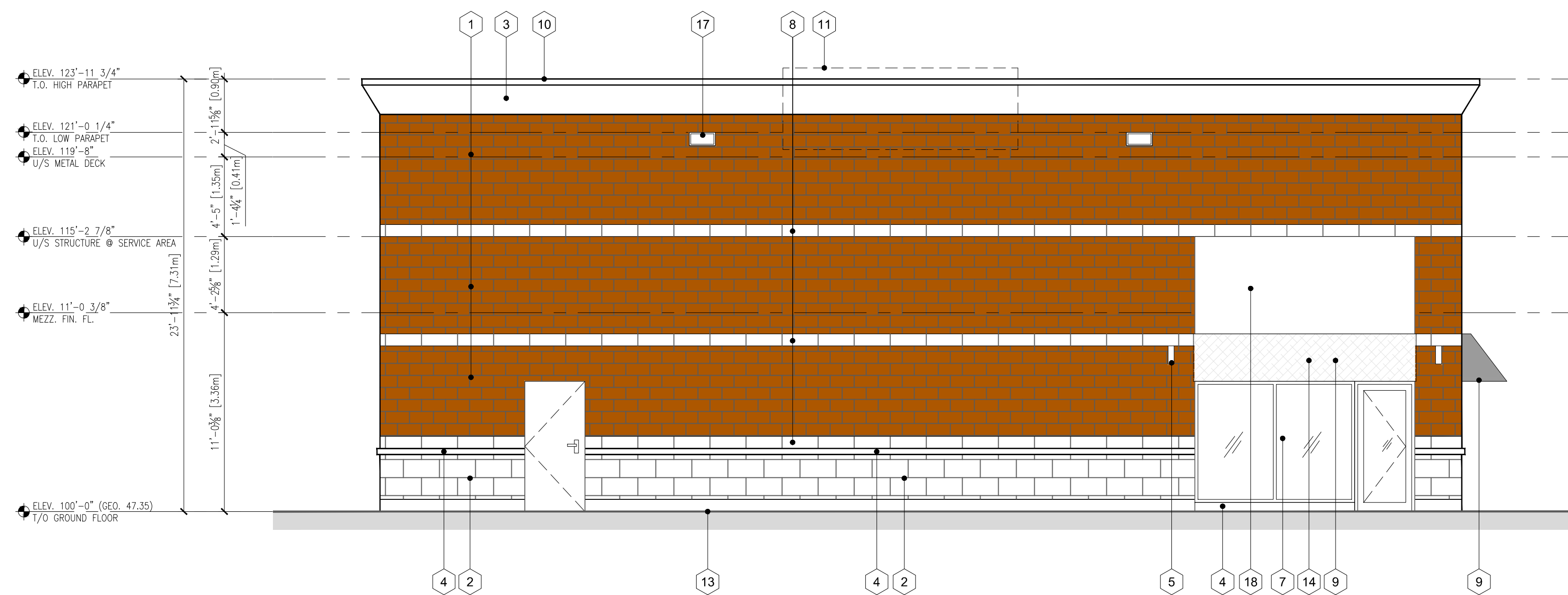
ELEVATIONS

DESIGNED AA CHECKED MK

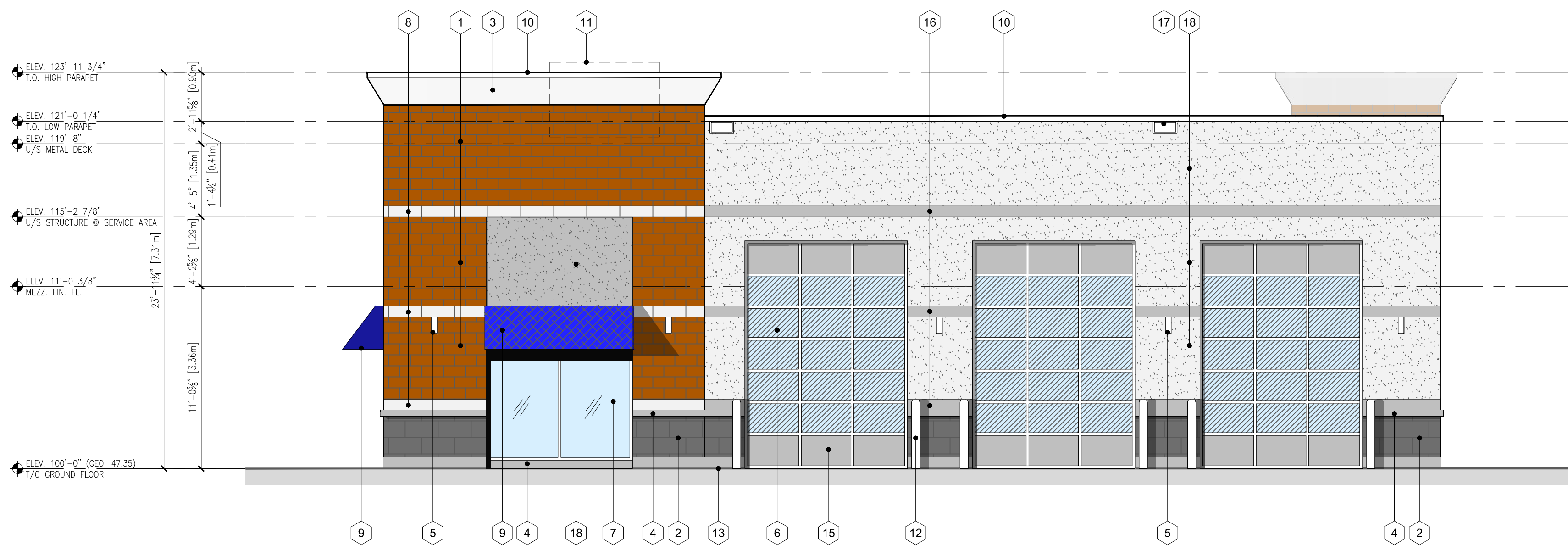
DRAWN AA JOB No. 2506

DWG No.

A3.0



1 SOUTH-EAST ELEVATION
A3.0 3/16" = 1'-0"



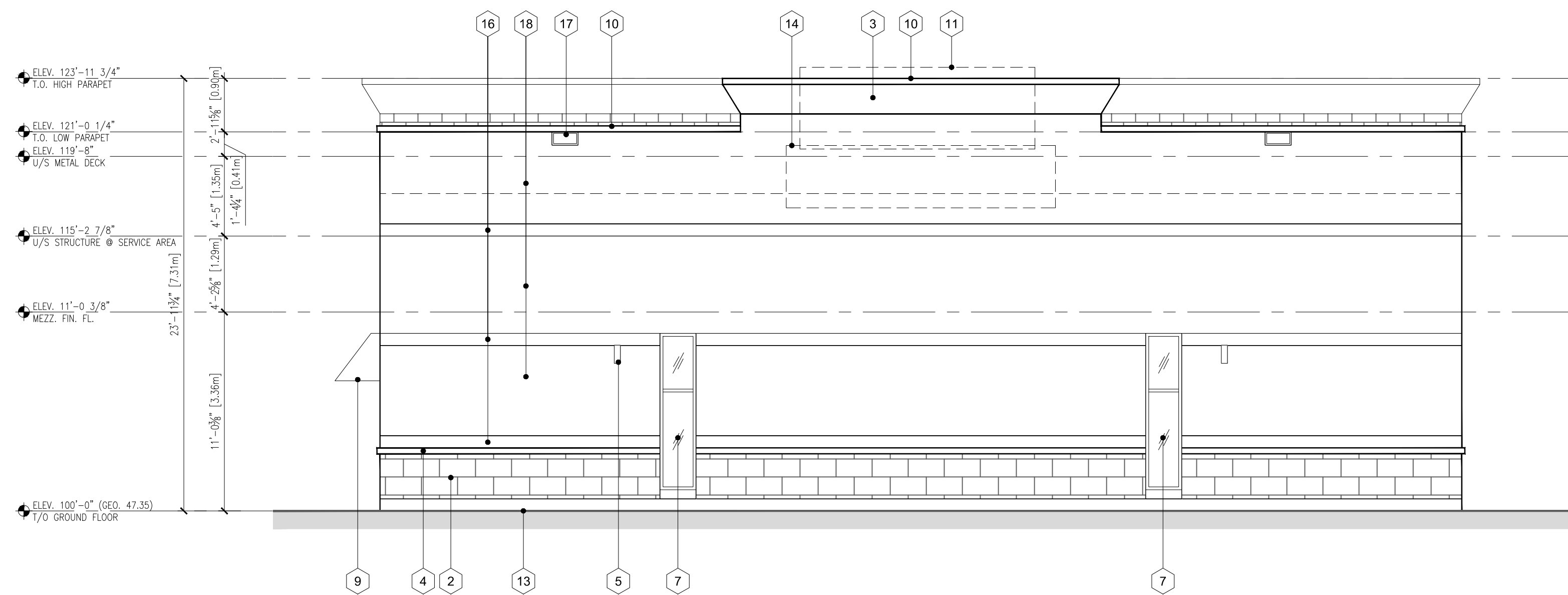
2 NORTH-EAST ELEVATION
A3.0 3/16" = 1'-0"

EXTERIOR MATERIALS LEGEND:

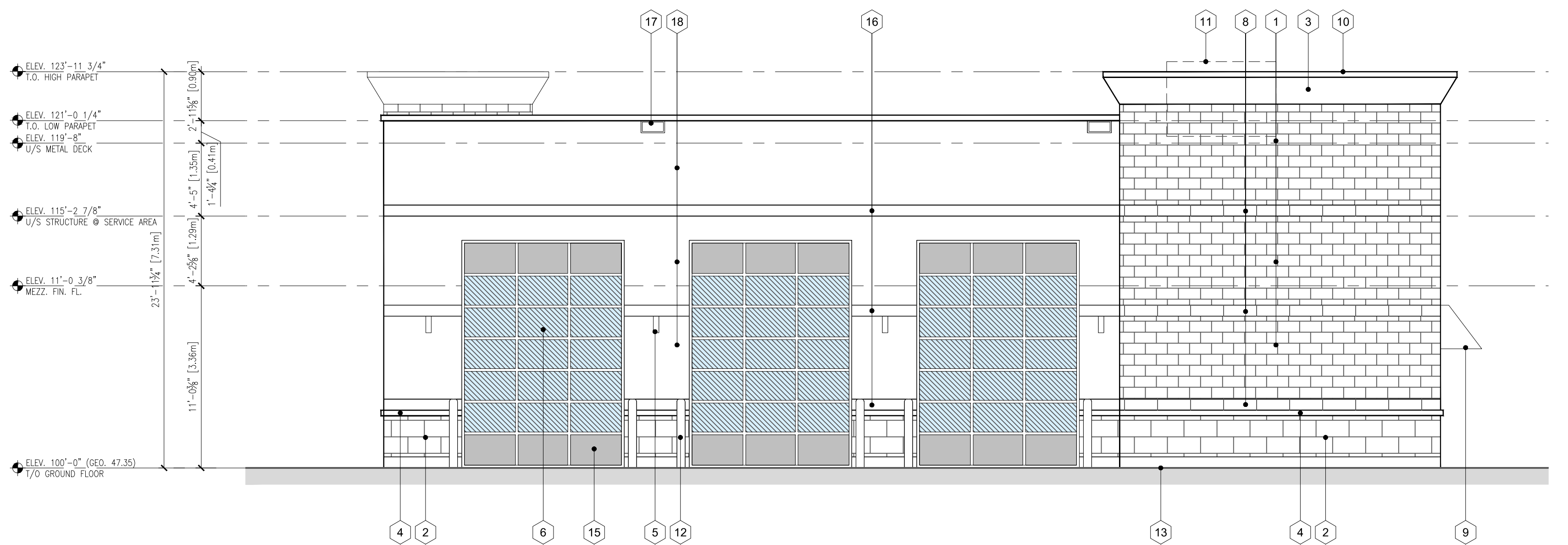
- | | |
|--|---|
| 1 - CANADA BRICK - RIVERDALE SMOOTH (IRONSPOT) (METRIC NORMAN) | 10 - METAL CAP FLASHING (WHITE) |
| 2 - ARRISCRAFT RENAISSANCE (CARBON) (190x590) (SMOOTH) | 11 - MECHANICAL SCREENING (WHITE) |
| 3 - SMOOTH TEXTURE EIFS CORNICE (WHITE) | 12 - CONCRETE FILLED STEEL PRIMED & PAINTED BOLLARD |
| 4 - STONE SILL (LIGHT GRAY) | 13 - FINISH GRADE VARIES (SEE CIVIL DWG'S.) |
| 5 - EXTERIOR LIGHTING (SEE ELEC. DWGS.) | 14 - SIGNAGE TO BE PROVIDED BY TENANT. |
| 6 - GLAZED OVERHEAD DOOR | 15 - PROVIDE EXHAUSTED PORT IN ALUMINUM PANEL TYP. |
| 7 - ALUMINUM STOREFRONT SYSTEM WITH 25.4mm THICK INSULATED GLASS | 16 - EIFS ON CONCRETE BLOCK - TEXTURE & COLOR (SIMILAR TO 8) (LIGHT GRAY) |
| 8 - 1 COURSE OF 200Hx400mm STONE (PEARL WHITE) | 17 - PRE - FINISHED METAL SCUPPER |
| 9 - FABRIC CANOPY TO PROVIDED BY TENANT NAVY BLUE (TBD) | 18 - LIGHT LACE TEXTURE EIFS ON CONCRETE BLOCK (LIGHT GRAY) |

GENERAL NOTE:

- MASONRY HATCH SHOWN IS NOT ACTUAL SIZE



3 NORTH-WEST ELEVATION
A3.0 3/16" = 1'-0"



4 SOUTH-WEST ELEVATION
A3.0 3/16" = 1'-0"