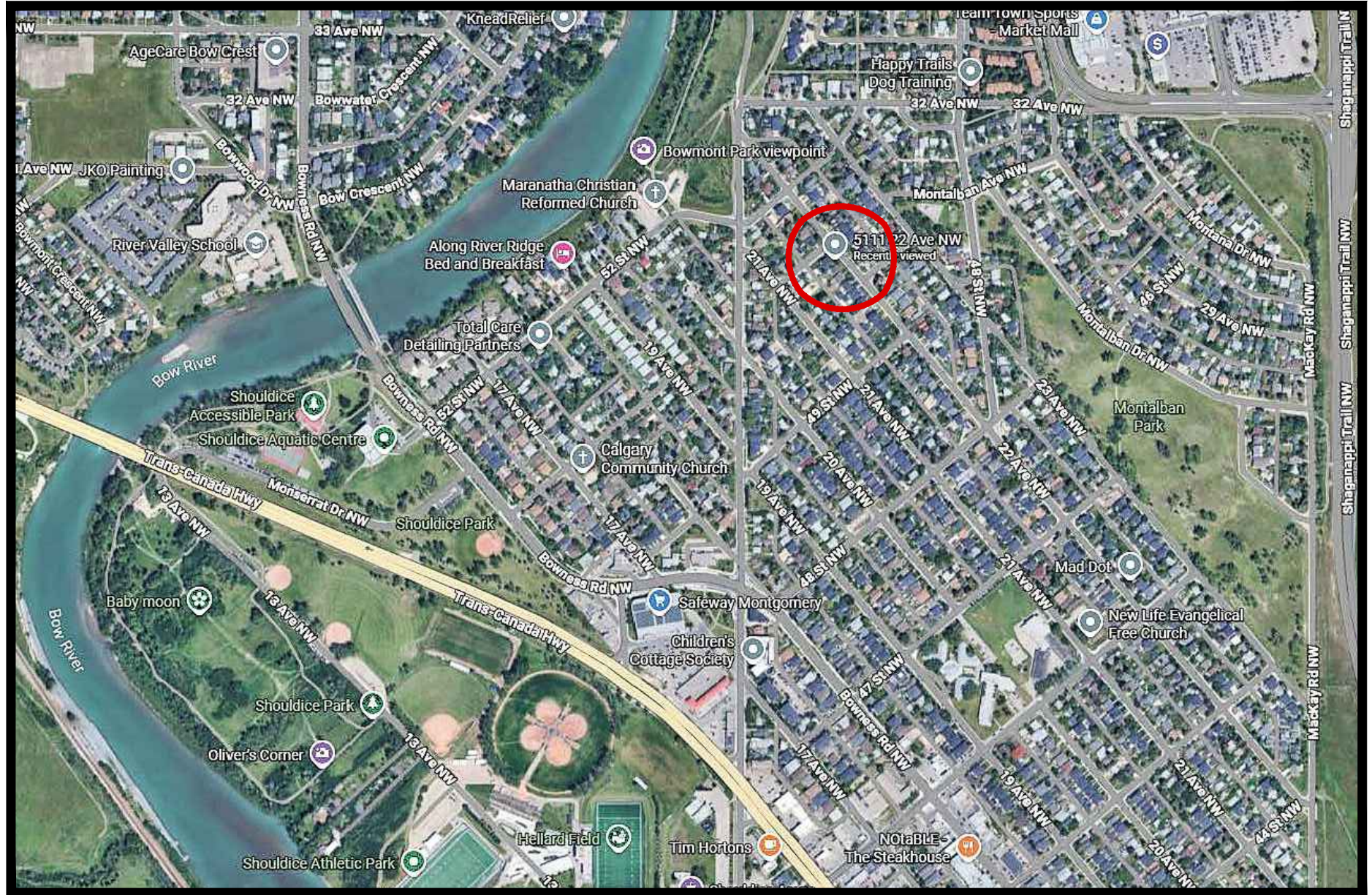


ARCHITECTURAL CONCEPT



VICINITY MAP NTS

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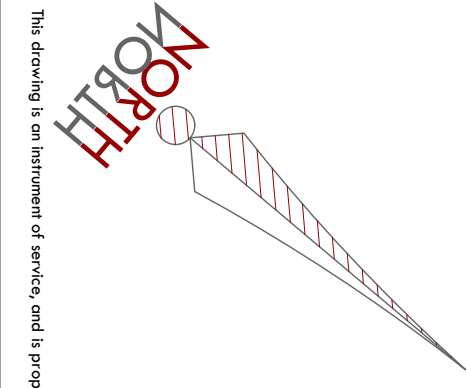
PROJECT DATA SUMMARY	
LEGAL ADDRESS:	LOT 12, BLOCK 50, PLAN 4994GI
LAND DESCRIPTION:	LANED PROPERTY
JURISDICTION:	THE CITY OF CALGARY
ZONING:	R-C1 [CONTEXTUAL ONE DWELLING]
BUILDING TYPE:	SINGLE DETACHED DWELLING AND DETACHED GARAGE C/W BASEMENT SECONDARY SUITE
BLDG CONSTRUCTION:	COMBUSTIBLE
CODE CLASSIFICATION:	PART 9 - NBC ALBERTA EDITION 2023
SITE INFORMATION:	
PARCEL AREA:	5994 ft ² OR 556.86m ²
BUILDING AREA:	1166 ft ² OR 108.32m ²
SEC. SUITE AREA:	615 ft ² OR 57.14m ²
GARAGE AREA:	995 ft ² OR 95.16m ²
BUILDING HEIGHT:	30'-10" OR 9.40m
FRONT SETBACK:	3.00m
SIDE YARD SETBACK:	2.43m (EAST) AND 1.22m(WEST)
REAR YARD SETBACK:	2.44m
PARKING:	3 STALLS AND 1 POSSIBLE ADDITIONAL STALL 2 STALLS TO HOMEOWNER 1 STALL TO TENANT

ABBREVIATIONS	
A.F.F.	- ABOVE FINISHED FLOOR /(SUB-FLOOR)
C/L	- CENTER LINE
C/W	- COMPLETE WITH
CANT.	- CANTILEVER
DP	- DROPPED
DIM	- DIMENSION/(S)
EX	- EXISTING
EXT	- EXTERIOR
F/A	- FRESH AIR INTAKE
FD	- FLOOR DRAIN
FL	- FLUSHED
FR	- FRENCH DOOR
FR	- FIRE RESISTANCE RATING
F.O.B	- FACE OF BEAM
FURN	- FURNACE
HRV	- HEAT RECOVERY VENTILATION UNIT
HWT	- HOT WATER TANK
HUMID	- HUMIDIFIER
INT	- INTERIOR
O/H	- OVERHEAD DOOR
PROP	- PROPOSED
R.O.	- ROOF OVERHANG
RFP	- ROOF PITCH
REF	- REFER/REFERENCE
S.A.	- STRUCTURE ABOVE
STD	- STANDARD
TBD	- TO BE DETERMINED

SYMBOLS	
	- PERSON HEIGHT REFERENCE. HEIGHT OF IMAGE IS 5'-10" OR 1.78m

GENERAL NOTES	
1.	The General Contractor/Builder shall carefully study and compare the construction documents and shall at once notify the Designer/Architect of any error, inconsistency, or omission he/she may discover. Contractor shall perform no portion of the work at any time without the construction documents, approved shop drawings, product data or samples for such portion of the work.
2.	The term "Owner" herein refers to the party with which the general contractor has contracted to perform the work.
3.	The General Contractor/Builder shall maintain at the site for the Designer/Architect, one record copy of all drawings, specifications, addenda, change orders, and other modifications, in good order and marked currently to record all changes made during construction, and approved shop drawings, product data and samples.
4.	General Contractor/Builder to coordinate all construction and design documents supplied by Anomaly Drafting and Design, any construction work pertaining to HVAC systems, security systems, special electrical requirements, etc, shall be handled by both the Owner and General Contractor's specific vendors.
5.	Each contractor /subcontractor shall be responsible for daily clean-up and removal of debris as related to his trade. Space shall be left clean and ready for the next trade. At the final phase, the General Contractor/Builder shall leave the area clean for the Owner to move-in.
6.	Wall construction dimensions are from the face of stud, outside face of sheathing, face of concrete, top of subfloor to underside of ceiling. In the event that dimensions refer to the face of drywall, they will be equipped with a tolerance. The General Contractor/Builder shall compensate for such when laying out or measuring chalk lines.
7.	When dimensioned electrical outlets are measured from the face of stud to the centerline of the location, unless noted otherwise.
8.	Unless noted otherwise provided in contract documents, the General Contractor/Builder is responsible for providing and paying for all prints for trade distributions, labour, construction equipment, and machinery, tools, transportation and other facilities and services necessary for proper execution and completion of work.
9.	The General Contractor/Builder shall supervise and direct the work. Using the contractor's best skill and attention, the contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and shall coordinate all portions of the work.
10.	The General Contractor/ Builder shall be responsible to the Owner for the acts and omissions of the contractor's employees, subcontractors, and their agents and employees, and other persons performing any of the work under this contract.
11.	The General Contractor/Builder is responsible for enforcing strict discipline and good order among contractors, employees and will not employ on the work any unfit person or anyone not skilled in the task assigned to them.
12.	The General Contractor/Builder warrants to the owner that all equipment and material furnished under this contract will be new, unless noted otherwise specified, and all work will be of good quality, free from faults and defects and in conformance with contract documents all work not conforming to these requirements, including substitutions not properly approved and authorized, may be considered defective and will be removed & replaced at the General Contractor/Builder's expense.
13.	The General Contractor/Builder will be presumed to have inspected, read, and thoroughly familiarized themselves with the construction documents. Failure or omission by any contractor to examine any form, instrument, or document shall not relieve them of any obligation regarding their work.
14.	All finishes, specified or not, shall be approved by the Designer/Architect in conjunction with the Owner for sustainability prior to application.
15.	Where special items require an extended lead time, preventing installation by the projected move-in date. The General Contractor is to propose an available alternate for approval by the Owner and Designer/architect, as well as to prepare pricing for possible temporary assemblies and/or finishes.
16.	All construction to be per the National Building Code - Alberta Edition 2023. The General Contractor/Builder shall notify Anomaly Drafting and Design, of any conflict between the drawings and governing codes before beginning construction.
17.	All plans are drawn to scale as much as possible. But they are not intended to be or should not be scaled.
18.	The General Contractor/Builder is to verify all dimensions, conditions, etc, before submission of proposals and to familiarize themselves with existing conditions as well as the nature and scope of the work. Notify the Designer/Architect in writing of any variations or discrepancies before beginning construction.
19.	The General Contractor/Builder to verify the size, location and characteristics of all mechanical and electrical equipment and prepare all spaces accordingly.
20.	"Typical" means typical for all similar conditions unless noted otherwise.
21.	All gypsum board partition returns shall have metal "L" corner beads from floor to ceiling.
22.	"Align" means similar components of construction (i.e., walls, jambs, etc.) shall align across voids or with the existing wall.
23.	The General Contractor/Builder is to coordinate the keying system with the Owner.
24.	All wall angles are either 90 degrees or 45 degrees unless noted otherwise.
25.	All required firestopping is to be ULC-approved.
26.	The Owner, without invalidating the contract, may request additional work or make changes by altering, adding to, or deducting from the work, and the contract sum will be adjusted accordingly. All such work must be performed under the original contract conditions, except that any requests for time extensions resulting from these changes should be addressed at the time the change is ordered.
27.	The General Contractor/Builder is responsible for scheduling all inspections for the work when required.
28.	The General Contractor/Builder should notify the Designer/Architect immediately if he/she cannot comply with all the notes called for on all documents and drawings before construction.
29.	The General Contractor/ Builder shall furnish and install any and all items required to meet all codes as required by the National Building Code - Alberta Edition 2023.
30.	The General Contractor/ Builder shall furnish and install all items required to meet accessibility standards as required in Part 3 of the National Building Code - Alberta Edition 2023.

email: info@anomalydraftinganddesign.com phone: 403 971 9275				PROJECT STATUS: DEVELOPMENT PERMIT RELEASE		SHEET TITLE: TITLE PAGE	
PROJECT TYPE: SINGLE DETACHED DWELLING	PROJECT ADDRESS: 5111 22 AVENUE NW, CALGARY, AB	PROJECT NO.: NH017	SCALE: 1/4"= 1'-0"	DRAFTER: EKS	SHEET NO.:	A0	
AREA OF FLOOR:	TOTAL DEV. SQFT: 2142 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 06/29/26	ISSUE DATE M/D/Y: 06/29/26	REVISION ISSUE #: X		



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PROJECT TYPE: SINGLE DETACHED DWELLING		PROJECT ADDRESS: 5111 22 AVENUE NW, CALGARY, AB		PROJECT NO.: NH017		SCALE: 1/4" = 1'-0"		DRAWN BY: EKS		SHEET NO.: A1.2	
ARE OF FLOOR: N/A		TOTAL DEV. SQFT: 2142 SQFT		ISSUED TO: MUNICIPALITY		DWG DATE M/D/Y: 06/29/26		ISSUE DATE M/D/Y: 06/29/26		REVISION ISSUE #: X	

ANOMALY
DRAFTING AND DESIGN

DEVELOPMENT PERMIT
RELEASE

PROPOSED SITE
LAYOUT

PROPOSED SITE PLAN LEGEND

	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	PROPOSED SETBACK LINE
	EXISTING SETBACK LINE
	PROPOSED FENCE LINE
	EXISTING FENCE LINE
	PROPOSED ROOF OVERHANG
	EXISTING ROOF OVERHANG
	PROPOSED O/H POWER-LINES
	EX. OVERHEAD POWER-LINES
	PROPOSED GAS LINE
	EXISTING GAS LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROP. BURIED ELECTRICAL LINE
	EXISTING ELECTRICAL CABLE
	PROPOSED SANITARY LINE
	EXIST. SANITARY LINE
	PROPOSED STORM LINE
	EXIST. STORM LINE
	PROP. FOUNDATION WINDOW
	MAIN DOOR WITH FOUNDATION
	PROP. GEODEC ELEVATION
	EX. GEODEC ELEVATION
	PROPOSED SLOPE
	PROP. DIMENSIONS
	POURED CONCRETE
	AREA OF STRUCTURE ABOVE
	WOODEN DECK
	AREA OF PROP. BUILDING
	AREA OF MAIN FLOOR PROJECTION
	AREA OF BALCONY ABOVE
	AREA OF NEW UR/W
	PRESSURE TREATED WOOD CURB AND/OR RETAINING WALL
	PRESSURE TREATED PRIVACY SCREEN - SEE ELEVATIONS FOR CONFIRMATION

PROPOSED DEVELOPMENT INFORMATION

LEGAL DESCRIPTION
LOT: 12
BLOCK: 50
PLAN: 499423
MUNICIPAL ADDRESS: 5111 22 AVENUE NW, CALGARY, ALBERTA

PROPOSED SITE INFORMATION

AREA OF EXISTING LOT: 556.86 m²

BUILDING FRONT SETBACK: 3.00m
BUILDING EAST SIDE YARD SETBACK: 2.43m
BUILDING WEST SIDE YARD SETBACK: 1.22m
BUILDING REAR SETBACK: 20.44m
GARAGE REAR SETBACK FROM LANE: 0.91m
GARAGE EAST SIDE YARD SETBACK: 4.37m
GARAGE WEST SIDE YARD SETBACK: 1.22m
GARAGE BUILDING SEPARATION: 8.86m

AVERAGE CONTEXTUAL SETBACK: 7.59m

BUILDING DEPTH: 6.72m
DEPTH OF PARCEL: 36.55m
MAXIMUM BUILDING DEPTH: 45.76%

PROPOSED AREA OF NEW BUILDING: 129.67m² = [(AREA OF CANT. PROJECTION: 5.96m² + 4.33m²) + (AREA OF PORCH: 11.06m²) + (AREA OF BUILDING: 108.32m²)]

AREA OF PROPOSED GARAGE: 95.16m²
PROPOSED LOT COVERAGE: 40.37%

PROPOSED BUILDING HEIGHT: 9.40m
TOP OF MAIN SUBFLOOR: 1088.57m
BOTTOM OF JOIST ELEV.: 1088.19m
TOP OF UPPER FLOOR: 1092.01m
ROOF PEAK: 1096.51m
TOP OF SLAB: 1085.15m
LOWEST TOP OF FOOTING: 1083.85m

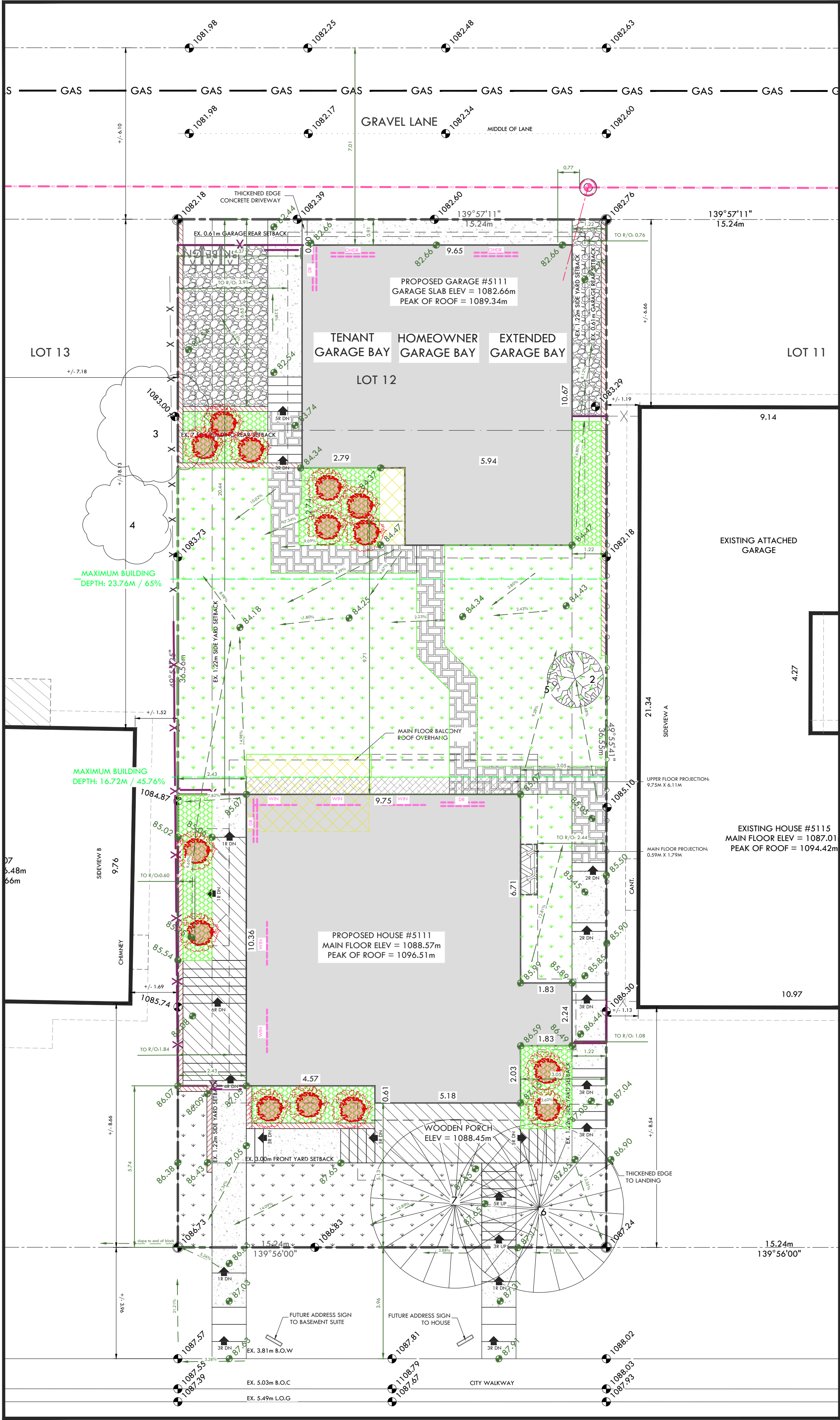
PROPOSED AREA OF CONCRETE DRIVEWAY APRON: 8.81m²

NH017 - SITE SPECIFIC NOTES

- ENMAX IS TO BRING A NEW PANEL TO SUITE. GC IS TO SPEAK TO ENMAX PRIOR TO INSTALL.
- CONCRETE WALKWAYS SHOWN ARE APPROXIMATE AND WILL BE DETERMINED ON SITE.
- FENCING: THE EXISTING FENCING IS EXISTING TO REMAIN WHERE REQUIRED. THE HOMEOWNER WILL DISCUSS WITH NEIGHBOR ON THE EAST SIDE OF THE PROPERTY, IF NEW FENCE CAN BE ERRECTED DUE TO THE EXISTING SITE CONDITIONS.
- PROPOSED RETAINING WALLS ARE TEMPORARY UNTIL THE HOUSE IS PASSED FOR OCCUPANCY. THE HOMEOWNER WILL SUBMIT A FUTURE LANDSCAPING DEVELOPMENT PERMIT TO ADJUST THE RETAINING WALLS WHERE REQUIRED.
- DUE TO THE EXCESSIVE STORM RUNOFF FROM THE STREET TO THE HOUSE, THE DESIGNER HAS REVERSE THE DRAINAGE SLOPE BACK TO THE STREET.**
- THE HOMEOWNER WILL PROVIDE DECORATIVE ROCKS TO DISPLAY THE ADDRESS FOR THE SUITE AND MAIN DWELLING.
- PORCH STAIR IS TEMPORARY, DESIGN WILL DISCUSS WITH THE MUNICIPALITY TO CONFIRM.
- EXISTING TREES TO REMAIN WHERE REQUIRED. NEW TREES TO BE PLANTED AFTER OCCUPANCY.
- STEPS WITHIN SIDE YARD ARE APPROXIMATE, AND WILL BE DETERMINED ON SITE.

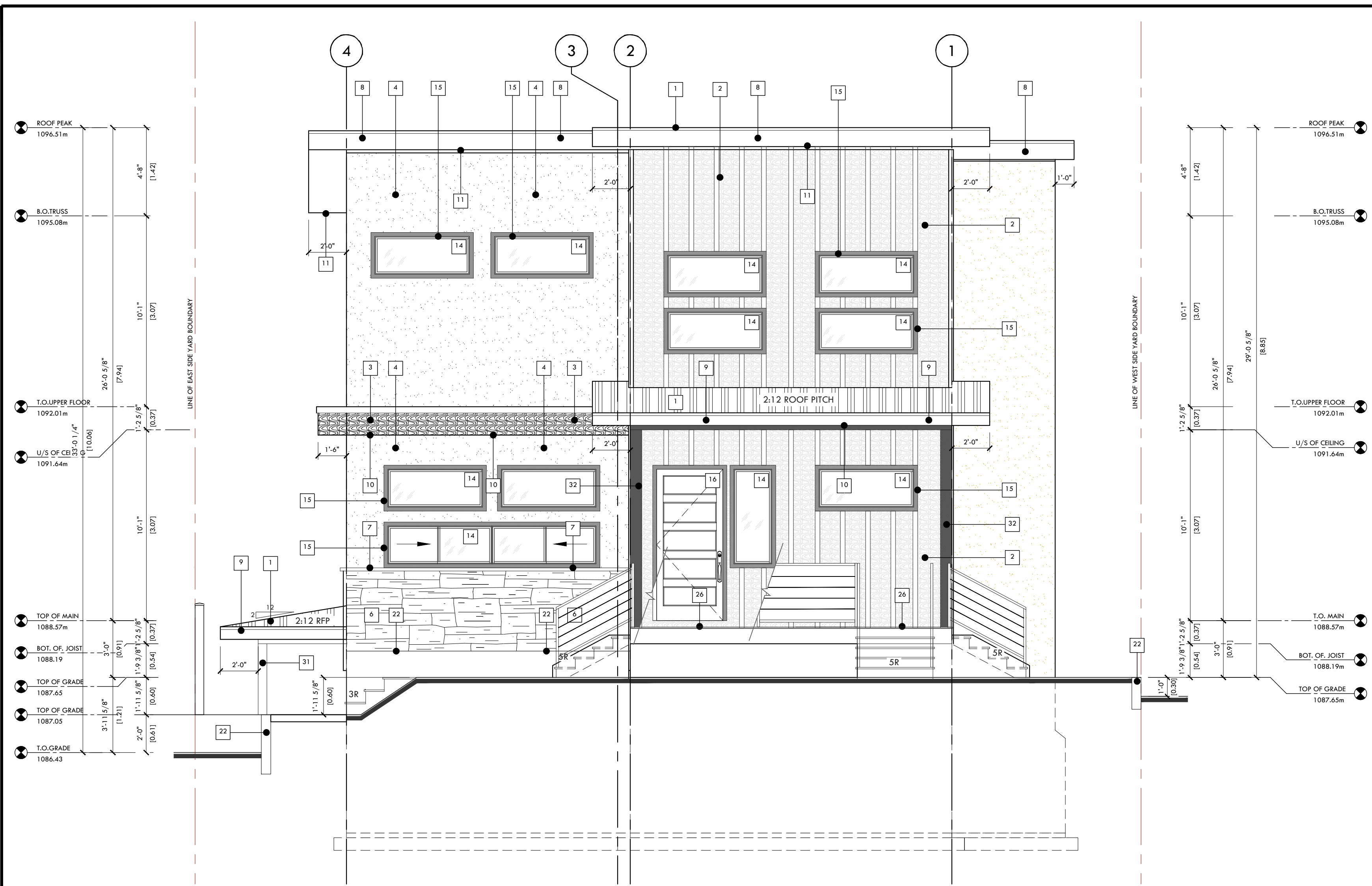
PROPOSED SITE GENERAL NOTES

- DUE TO EXISTING SITE CONDITIONS, NEW GEODECIC ELEVATIONS MAY BE ADJUSTED WHERE APPLICABLE ON SITE. GC IS TO CONFIRM GRADE ADJUSTMENTS WITH ANOMALY DRAFTING AND DESIGN.**
- FOR SLOPING GRADE PERCENTAGE TO THE SIDE ELEVATIONS OF THE NEW BUILDING, GC IS TO REVIEW ARCHITECTURAL ELEVATIONS FOR CLARIFICATION.
- IN THE EVENT OF AN ELECTRICAL MAST RELOCATION, IS TO BE DETERMINED ON SITE DUE TO EXISTING SITE CONDITIONS. IN THE EVENT THE ELECTRICAL MAST TO THE MAIN DWELLING CANNOT BE RE-ATTACHED TO THE MAIN DWELLING, THE GC IS TO TRENCH THE CABLE UNDERGROUND.
- ALL HANDICAPS LEADING TO THE EXTERIOR ARE TO HAVE A THRESHOLD OR DOOR SILL TO BE MINIMUM OF 4" ABOVE GRADE.
- IN THE EVENT, WHEN A SLUMP PUMP AND/OR GRINDER IS REQUIRED FOR ADEQUATE DRAINAGE, THE GC IS TO NOTIFY THE HOMEOWNER AND DESIGNER IMMEDIATELY.
- THE HEIGHT OF THE FOUNDATION CURB WITHIN THE GARAGE IS TO BE VERIFIED ON SITE. GC IS TO CONTACT THE DESIGNER IMMEDIATELY IF THE FOUNDATION HEIGHT IS REQUIRED TO BE MODIFIED.
- GC IS TO VERIFY THE SOIL FOR ADEQUATE COMPRESSION FOR SLAB INSTALLMENT. IN THE EVENT, THE SOIL IS NOT SATISFACTORY, CONCRETE PILES FOR SUPPORT THE SLAB TO BE INSTALLED WHERE REQUIRED.
- WHEN REQUIRED PRIOR TO BACKFILL INSTALLATION, THE GC IS TO VERIFY THAT INSULATION IS ADDED TO THE EXTERIOR OF THE FOUNDATION WALLS AS PER THE FOUNDATION PLAN.
- GC IS TO VERIFY EXISTING SITE CONDITIONS FOR ALL CONCRETE PARKING PADS, WALKWAYS, AND LANDSCAPING.
- ELECTRICAL, GAS, AND WATER METERS TO BE DETERMINED ON SITE.
- GC IS TO CONFIRM WITH ENMAX IF THE METER ON THE GARAGE CAN BE WITHIN THE SIDE YARD BEFORE INSTALLING ON THE LANE VIEW.



A PROPOSED SITE PLAN
SCALE: 1 = 100m

ROTATE PAGE TO YOUR RIGHT



- ### ELEVATION GENERAL NOTES
- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
 - ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
 - LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
 - EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
 - DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
 - WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
 - GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
 - G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.
 - MECHANICAL PENETRATIONS SHOWN ARE APPROXIMATE, THEREFORE, PENETRATIONS TO BE DETERMINED ON SITE.
 - TERRAIN SHOWN IS APPROXIMATE, THEREFORE, IT WILL BE DETERMINED ON SITE. G.C. IS TO CONTACT DESIGNER FOR ANY DISCREPANCIES.
 - SOFFIT LIGHTING TO BE DETERMINED FOR BUILDING PERMIT SUBMISSION.
 - PRESSURE-TREATED RETAINING WALLS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO BUILDING PERMIT SUBMISSION.
 - NUMBER OF WOOD RISERS TO LANDING TO BE CONFIRMED ON SITE.
 - FRONT PORCH COLUMN TO BE REVIEWED BY AN ENGINEER PRIOR TO BUILDING PERMIT SUBMISSION.
 - PRIVACY SCREEN TO BE DETERMINED.

EXTERIOR FINISH MATERIALS LIST				
ITEM#	ITEM NAME	MANUFACTURER / SUPPLIER	DESCRIPTION	COLOUR
1	CORRUGATED STEEL ROOF	JAY'S METAL	STANDING SEAM CORRUGATED METAL ROOF	BLACK OR GREY
2	BOARD AND BATTEN	LUX ARCH.	12" SPACING / 1.25 U SUPPORT	KNOTTY CHESNUT
3	COMPOSITE METAL PANELING	LUX ARCH.	CUSTOM FLAT PANEL	KNOTTY CHESNUT
4	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH QUARRY GRAY BY LP SMARTSIDE	QUARRY GRAY
5	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH ABYSS BLACK BY LP SMARTSIDE	ABYSS BLACK
6	STONE VENEER	IXL	CASA BLANCA ROUGHTCUT	WHITE
7	WALL CAP	IXL	SLIP EDGE WALL CAP	GREY SKY
8	12" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
9	8" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
10	PRE-FINISHED ALUMINUM SOFFIT	LUX	LUXLAP SMOOTH SOFFIT	COPPERWAVE
11	PRE-FINISHED ALUMINUM SOFFIT	TBD	PREFINISHED PERFORATED ALUMINUM SOFFIT	GREY
12	PRE-FINISHED ALUMINUM DOWNSPOUT	TBD	PREFINISHED ALUMINUM DOWNSPOUT	BLACK
13	VINYL WINDOW	TBD	VINYL BASEMENT WINDOW	WHITE
14	ALUMINUM WINDOWS	TBD	ALUMINUM WINDOW	BLACK
15	FEATURED WINDOW TRIM	LUX ARCHITECTURAL PRODUCTS	RANDOM PLANL WINDOW TRIM 3.5"	KNOTTY CHESNUT
16	FRONT DOOR	TBD	FIBREGLASS INSULATED DOOR	WOOD
17	MAN DOOR	TBD	FIBREGLASS INSULATED DOOR	GREY
18	REAR DOOR	TBD	FIBREGLASS INSULATED DOOR	WOOD
19	ENTRANCE DOOR	TBD	FIBREGLASS INSULATED DOOR	GREY
20	PATIO SLIDER			BLACK
21	DOOR TRIM	LUX ARCHITECTURAL PRODUCTS	HARDIE TRIM 3 1/2" WIDE	KNOTTY CHESNUT
22	RETAINING WALL	TBD	PRESSURE TREATED WOOD WINDOW WELL CUSTOM FRAMED	STAINED SIENNA
23	PRESSURE-TREATED WOOD RISERS	TBD	BROOM FINISH - CONCRETE TREADS AND LANDING W/ AGGREGATE RISERS	
24	ALUMINUM RAILING	TBD	ALUMINUM RAILING C/W STEEL CABLING PICKETS	BLACK
25	PRIVACY SCREEN	TBD	BLACK PRIVACY SCREEN COMPLETE WITH FROSTED GLASS	BLACK
26	PT. WOOD DECK			
27	PT. WOOD DECK	TBD	PRESSURE-TREATED WOOD DECK W/ COMPOSITE DECKING TO LANDING AND RISERS	STAINED SIENNA
28	ALUMINUM STEEL FENCE	TBD	STEEL COMPOSITE FENCE	BLACK/ COMPOSITE WOOD
29	STEEL OVERHEAD DOOR	TBD	STEEL INSULATED OVERHEAD DOOR	DARK GREY
30	EXTERIOR LIGHT	TBD	EXTERIOR LIGHT FIXTURE - WALL SCONCE	BLACK
31	PRESSURE TREATED ENG. COLUMN	TBD	CUSTOM 4X6 PRESSURE TREATED WOOD POST	STAINED SIENNA
32	CLADDED COLUMN	LUX ARCH	CUSTOM FLAT PANEL	BLACK
33	CLADDED BEAM	LUX ARCH	CUSTOM FLAT PANEL	BLACK

EXTERIOR FINISHES LEGEND

	MANUFACTURED STONE VENEER: STONE TO BE DETERMINED
	LUX ARCHITECTURAL WOOD PANELING: COMPOSITE WOOD PANELING
	LUX ARCHITECTURAL COMPOSITE: BOARD AND BATTEN PANELING
	STANDING SEAM CORRUGATED ROOFING: TO BE DETERMINED
	STUCCO: ACRYLIC STUCCO
	FEATURE STUCCO: ACRYLIC STUCCO
	LUX ARCHITECTURAL: COMPOSITE WOOD TRIM TO WINDOWS AND DOORS
	LUX ARCHITECTURAL: CLADDING TO BEAMS AND POSTS WHERE APPLICABLE.

WINDOW DESCRIPTION	
U-VALUE:	R-VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

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info: info@anomalydraftinganddesign.com
phone: 403 971 9275

PROJECT TYPE:
SINGLE DETACHED DWELLING

AREA OF FLOOR:
N/A

TOTAL DEV. SQFT:
2142 SQFT

PROJECT ADDRESS:
5111 22 AVENUE NW,
CALGARY, AB

MUNICIPALITY

PROJECT STATUS:
DEVELOPMENT PERMIT RELEASE

PROJECT NO:
NH017

DWG DATE M/D/Y:
06/29/26

SHEET TITLE:
FRONT ELEVATION

DRAFTER:
EKS

REVISION ISSUE #:
X

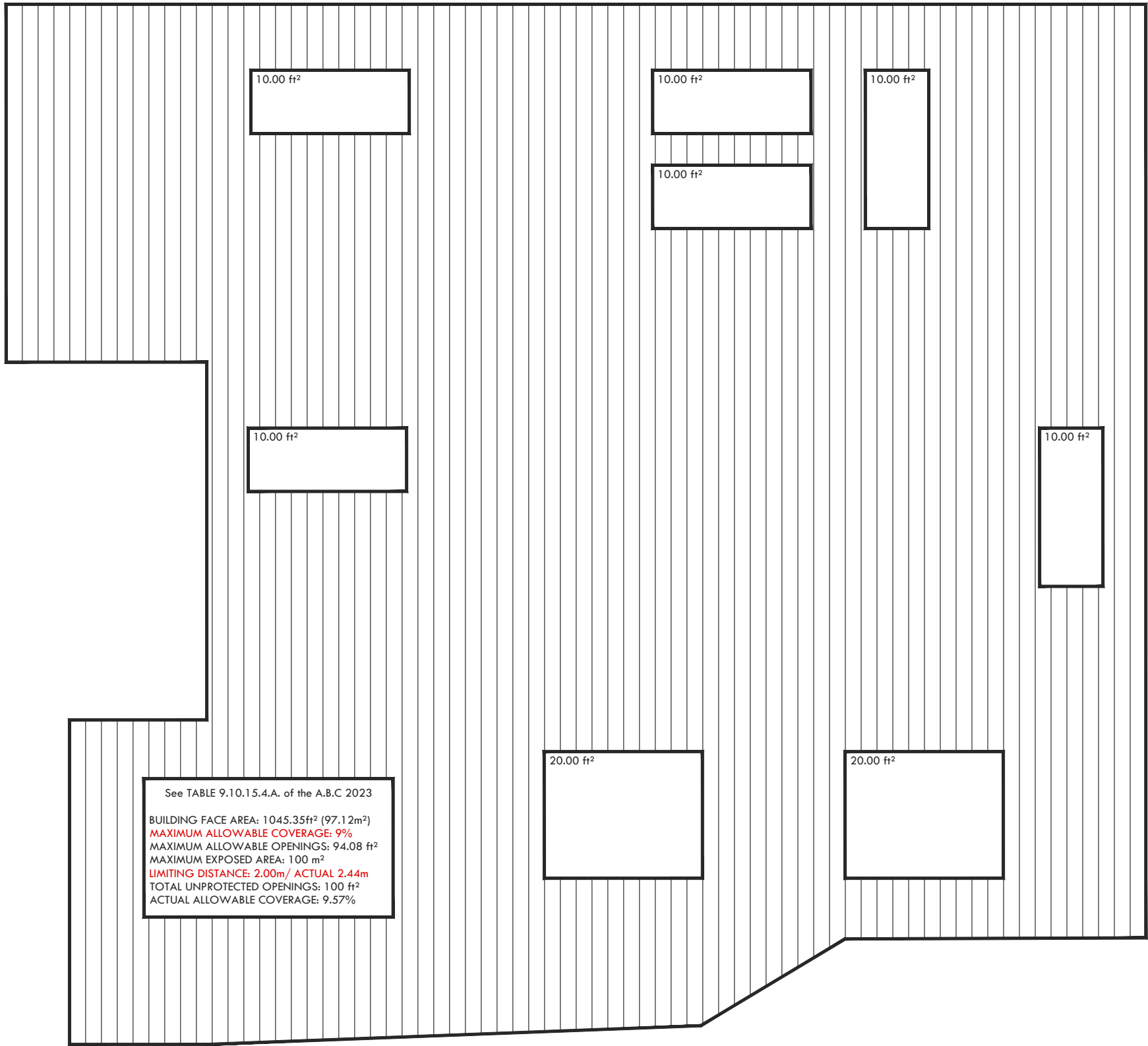
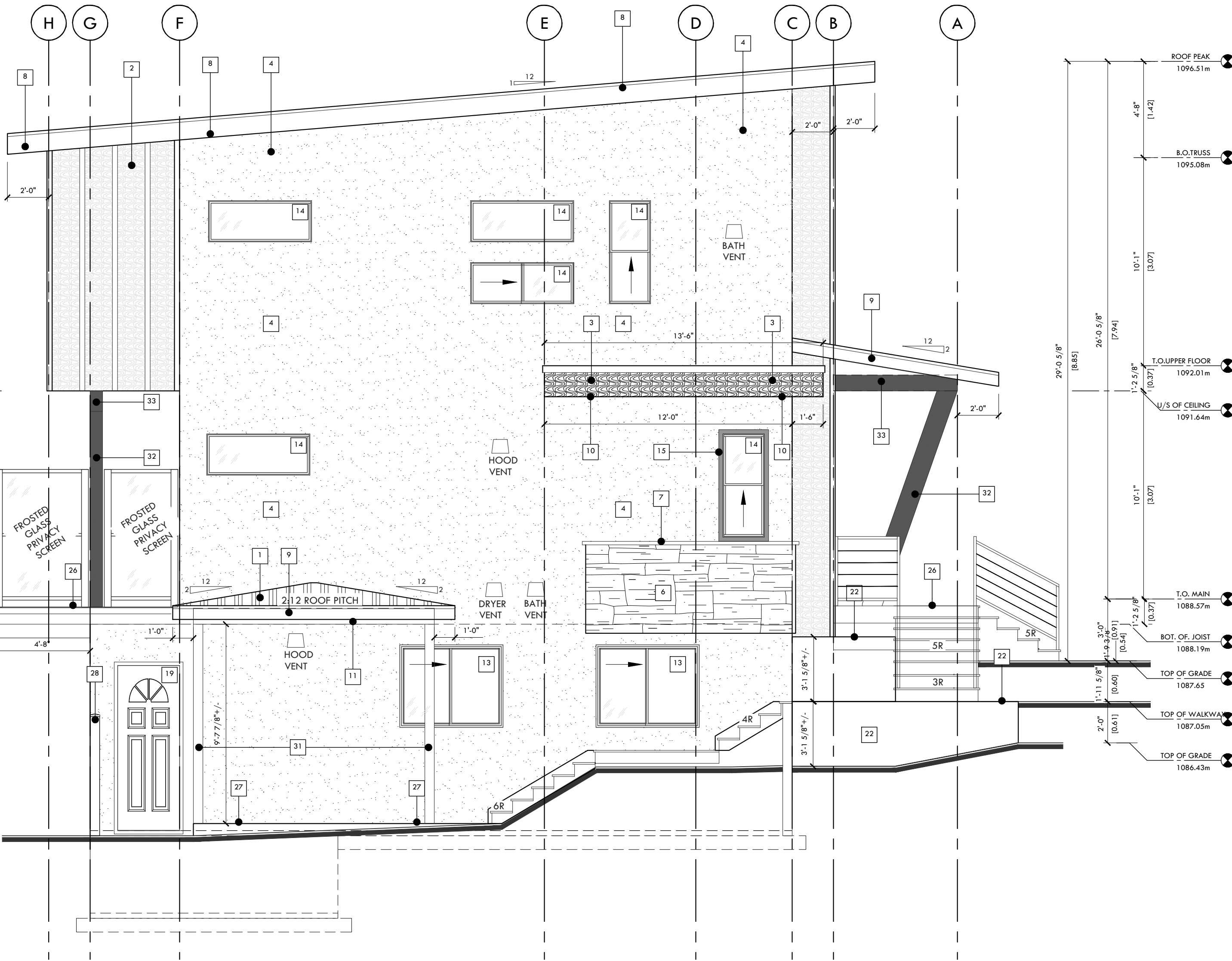
SHEET NO.:
A12

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email: info@anomalydesign.com phone: 403 971 9273		PROJECT STATUS: RELEASE		SHEET TITLE: ELEVATION - LEFT	
PROJECT TYPE: SINGLE DETACHED DWELLING	PROJECT ADDRESS: 5111 22 AVENUE NW, CALGARY AB	PROJECT NO.: NH017	SCALE: 1/4" = 1'-0"	DRAWN BY: EKS	SHEET NO.: A13
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2142 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 06/29/26	ISSUE DATE M/D/Y: 06/29/26	REVISION ISSUE #: X

WINDOW DESCRIPTION	
U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings



See TABLE 9.10.1.5.4.A. of the A.B.C 2023
BUILDING FACE AREA: 1045.35ft² (97.12m²)
MAXIMUM ALLOWABLE COVERAGE: 9%
MAXIMUM ALLOWABLE OPENINGS: 94.08 ft²
MAXIMUM EXPOSED AREA: 100 m²
LIMITING DISTANCE: 2.00m/ ACTUAL 2.44m
TOTAL UNPROTECTED OPENINGS: 100 ft²
ACTUAL ALLOWABLE COVERAGE: 9.57%

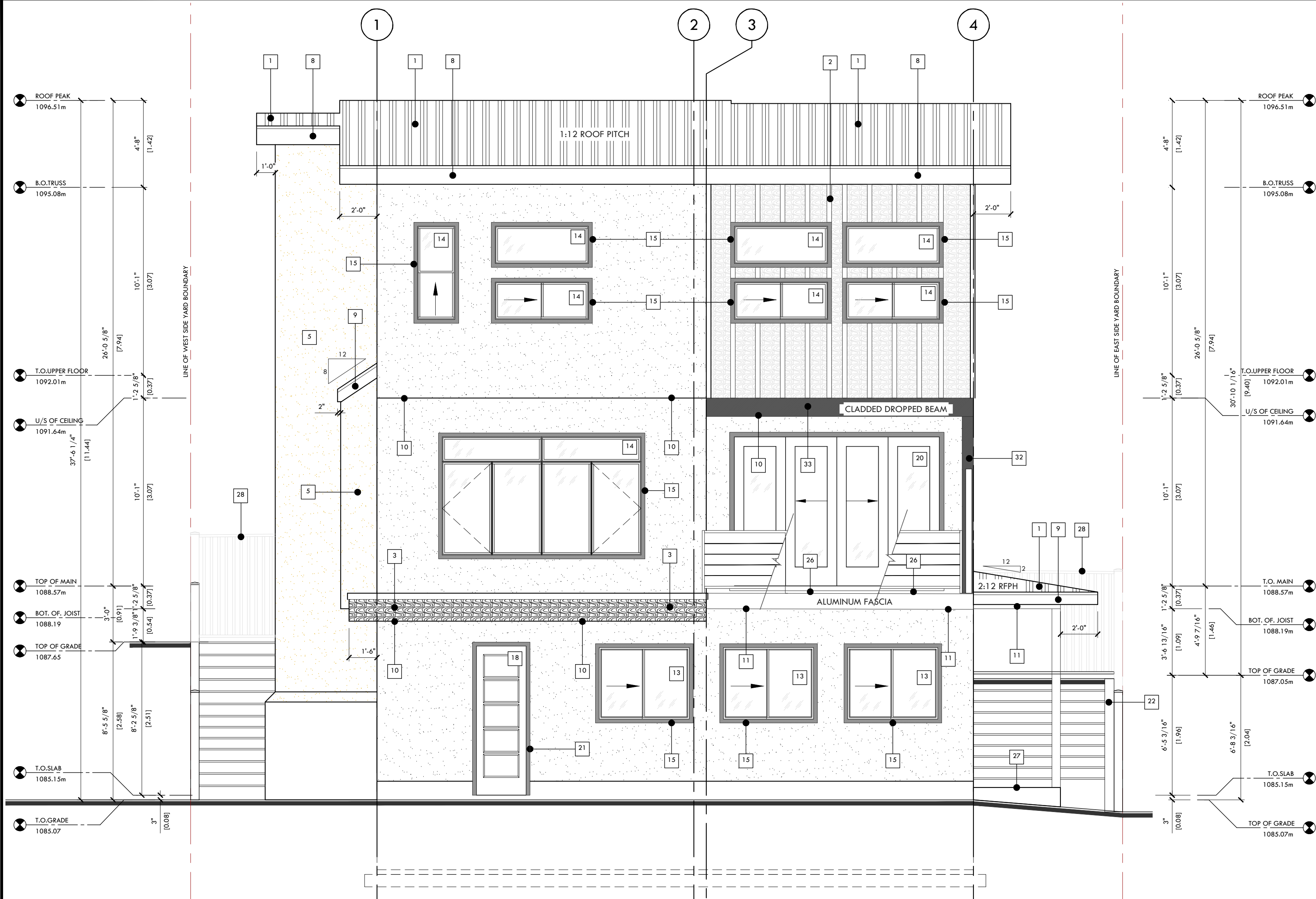
ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.
- MECHANICAL PENETRATIONS SHOWN ARE APPROXIMATE, THEREFORE, PENETRATIONS TO BE DETERMINED ON SITE.
- TERRAIN SHOWN IS APPROXIMATE, THEREFORE, IT WILL BE DETERMINED ON SITE. G.C. IS TO CONTACT DESIGNER FOR ANY DISCREPANCIES.
- SOFFIT LIGHTING TO BE DETERMINED FOR BUILDING PERMIT SUBMISSION.
- PRESSURE-TREATED RETAINING WALLS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO BUILDING PERMIT SUBMISSION.
- NUMBER OF WOOD RISERS TO LANDING TO BE CONFIRMED ON SITE.
- FRONT PORCH COLUMN TO BE REVIEWED BY AN ENGINEER PRIOR TO BUILDING PERMIT SUBMISSION.
- PRIVACY SCREEN TO BE DETERMINED.

EXTERIOR FINISHES LEGEND

- MANUFACTURED STONE VENEER: STONE TO BE DETERMINED
- LUX ARCHITECTURAL WOOD PANELING: COMPOSITE WOOD PANELING
- LUX ARCHITECTURAL COMPOSITE: BOARD AND BATTEN PANELING
- STANDING SEAM CORRUGATED ROOFING: TO BE DETERMINED
- STUCCO: ACRYLIC STUCCO
- FEATURE STUCCO: ACRYLIC STUCCO
- LUX ARCHITECTURAL: COMPOSITE WOOD TRIM TO WINDOWS AND DOORS
- LUX ARCHITECTURAL: CLADDING TO BEAMS AN POSTS WHERE APPLICABLE.

ELEVATION VIEW OF SECONDARY ACCESS AND ENTRANCE



- ELEVATION GENERAL NOTES
- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
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 - PRIVACY SCREEN TO BE DETERMINED.

EXTERIOR FINISH MATERIALS LIST				
ITEM#	ITEM NAME	MANUFACTURER / SUPPLIER	DESCRIPTION	COLOR
1	CORRUGATED STEEL ROOF	JAY'S METAL	STANDING SEAM CORRUGATED METAL ROOF	BLACK OR GREY
2	BOARD AND BATTEN	LUX ARCH.	12" SPACING / 1.25 U SUPPORT	KNOTTY CHESNUT
3	COMPOSITE METAL PANELING	LUX ARCH.	CUSTOM FLAT PANEL	KNOTTY CHESNUT
4	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH QUARRY GRAY BY LP SMARTSIDE	QUARRY GRAY
5	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH ABYSS BLACK BY LP SMARTSIDE	ABYSS BLACK
6	STONE VENEER	IKL	CASA BLANCA ROUGHTCUT	WHITE
7	WALL CAP	IKL	SLIP EDGE WALL CAP	GREY SKY
8	12" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
9	8" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
10	PRE-FINISHED ALUMINUM SOFFIT	LUX	LUXLAP SMOOTH SOFFIT	COPPERWAVE
11	PRE-FINISHED ALUMINUM SOFFIT	TBD	PREFINISHED PERFORATED ALUMINUM SOFFIT	GREY
12	PRE-FINISHED ALUMINUM DOWNSPOUT	TBD	PREFINISHED ALUMINUM DOWNSPOUT	BLACK
13	VINYL WINDOW	TBD	VINYL BASEMENT WINDOW	WHITE
14	ALUMINUM WINDOWS	TBD	ALUMINUM WINDOW	BLACK
15	FEATURED WINDOW TRIM	LUX ARCHITECTURAL PRODUCTS	RANDOM PLANE WINDOW TRIM 3.5"	KNOTTY CHESNUT
16	FRONT DOOR	TBD	FIBREGLASS INSULATED DOOR	WOOD
17	MAN DOOR	TBD	FIBREGLASS INSULATED DOOR	GREY
18	REAR DOOR	TBD	FIBREGLASS INSULATED DOOR	WOOD
19	ENTRANCE DOOR	TBD	FIBREGLASS INSULATED DOOR	GREY
20	PATIO SLIDER	TBD	FIBREGLASS INSULATED DOOR	BLACK
21	DOOR TRIM	LUX ARCHITECTURAL PRODUCTS	HARDIE TRIM 3 1/2" WIDE	KNOTTY CHESNUT
22	RETAINING WALL	TBD	PRESSURE TREATED WOOD WINDOW WELL CUSTOM FRAMED	STAINED SIENNA
23	PRESSURE-TREATED WOOD RISERS	TBD	BROOM FINISH - CONCRETE TREADS AND LANDING W/ AGGREGATE RISERS	
24	ALUMINUM RAILING BLACK	TBD	ALUMINUM RAILING C/W STEEL CABLING PICKETS	BLACK
25	PRIVACY SCREEN	TBD	BLACK PRIVACY SCREEN COMPLETE WITH FROSTED GLASS	BLACK
26	PT. WOOD DECK			
27	PT. WOOD DECK	TBD	PRESSURE-TREATED WOOD DECK W/ COMPOSITE DECKING TO LANDING AND RISERS	STAINED SIENNA
28	ALUMINUM STEEL FENCE	TBD	STEEL COMPOSITE FENCE	BLACK/ COMPOSITE WOOD
29	STEEL OVERHEAD DOOR	TBD	STEEL INSULATED OVERHEAD DOOR	DARK GREY
30	EXTERIOR LIGHT	TBD	EXTERIOR LIGHT FIXTURE - WALL SCONCE	BLACK
31	PRESSURE TREATED BNG. COLUMN	TBD	CUSTOM 4X6 PRESSURE TREATED WOOD POST	STAINED SIENNA
32	CLADDED COLUMN	LUX ARCH	CUSTOM FLAT PANEL	BLACK
33	CLADDED BEAM	LUX ARCH	CUSTOM FLAT PANEL	BLACK

EXTERIOR FINISHES LEGEND

MANUFACTURED STONE VENEER: STONE TO BE DETERMINED

LUX ARCHITECTURAL WOOD PANELING: COMPOSITE WOOD PANELING

LUX ARCHITECTURAL COMPOSITE: BOARD AND BATTEN PANELING

STANDING STEAM CORRUGATED ROOFING: TO BE DETERMINED

STUCCO: ACRYLIC STUCCO

FEATURE STUCCO: ACRYLIC STUCCO

LUX ARCHITECTURAL: COMPOSITE WOOD TRIM TO WINDOWS AND DOORS

LUX ARCHITECTURAL: CLADDING TO BEAMS AND POSTS WHERE APPLICABLE.

WINDOW DESCRIPTION	
U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

info@anomalydraftinganddesign.com
phone: 403 971 9275

ANOMALY
DRAFTING AND DESIGN

PROJECT ADDRESS:
5111 22 AVENUE NW,
CALGARY, AB

PROJECT TYPE:
SINGLE DETACHED DWELLING

AREA OF FLOOR:
N/A

TOTAL DEV. SQFT:
2142 SQFT

ISSUED TO:
MUNICIPALITY

PROJECT STATUS:
**DEVELOPMENT PERMIT
RELEASE**

SHEET TITLE:
ELEVATION - REAR

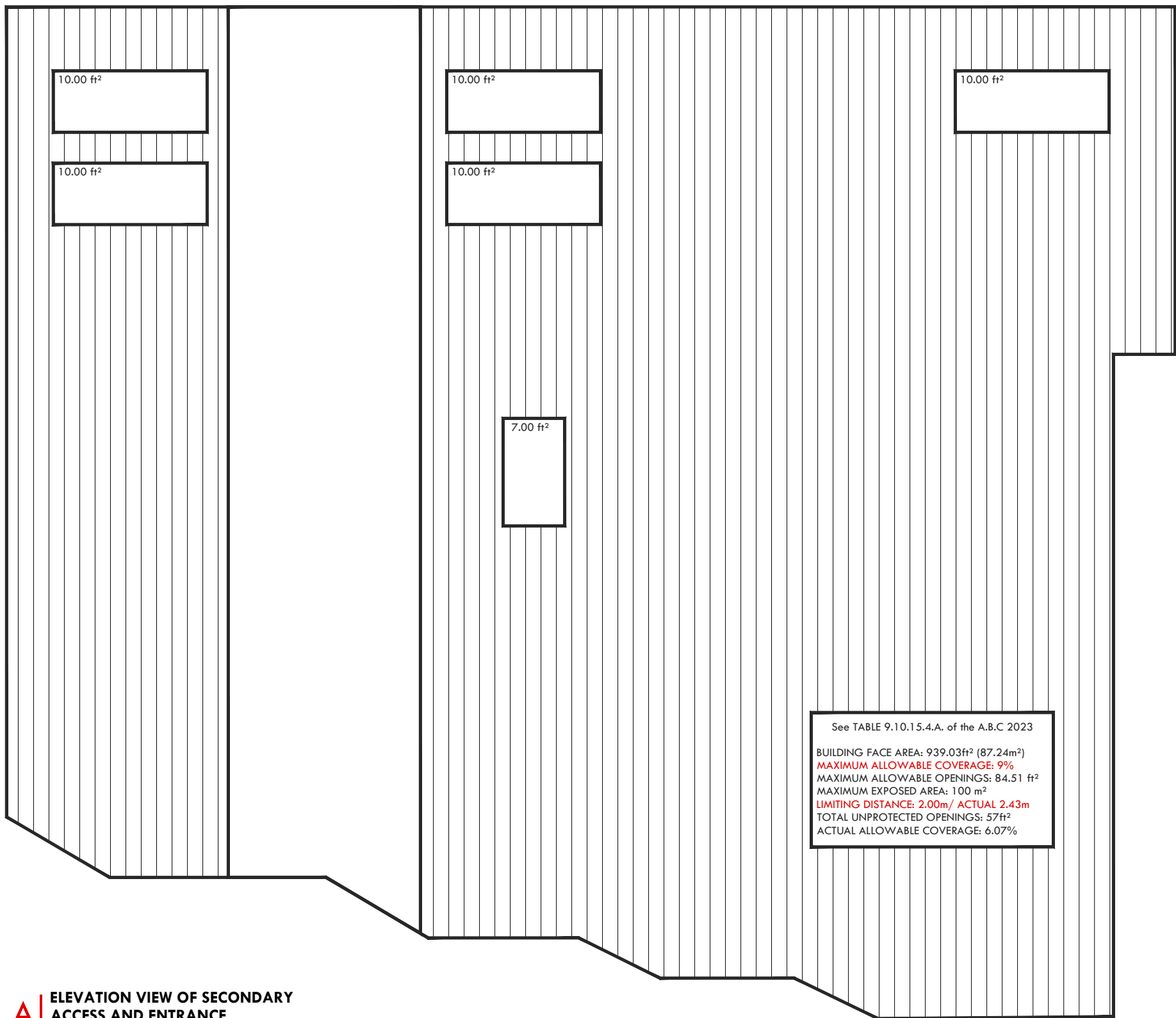
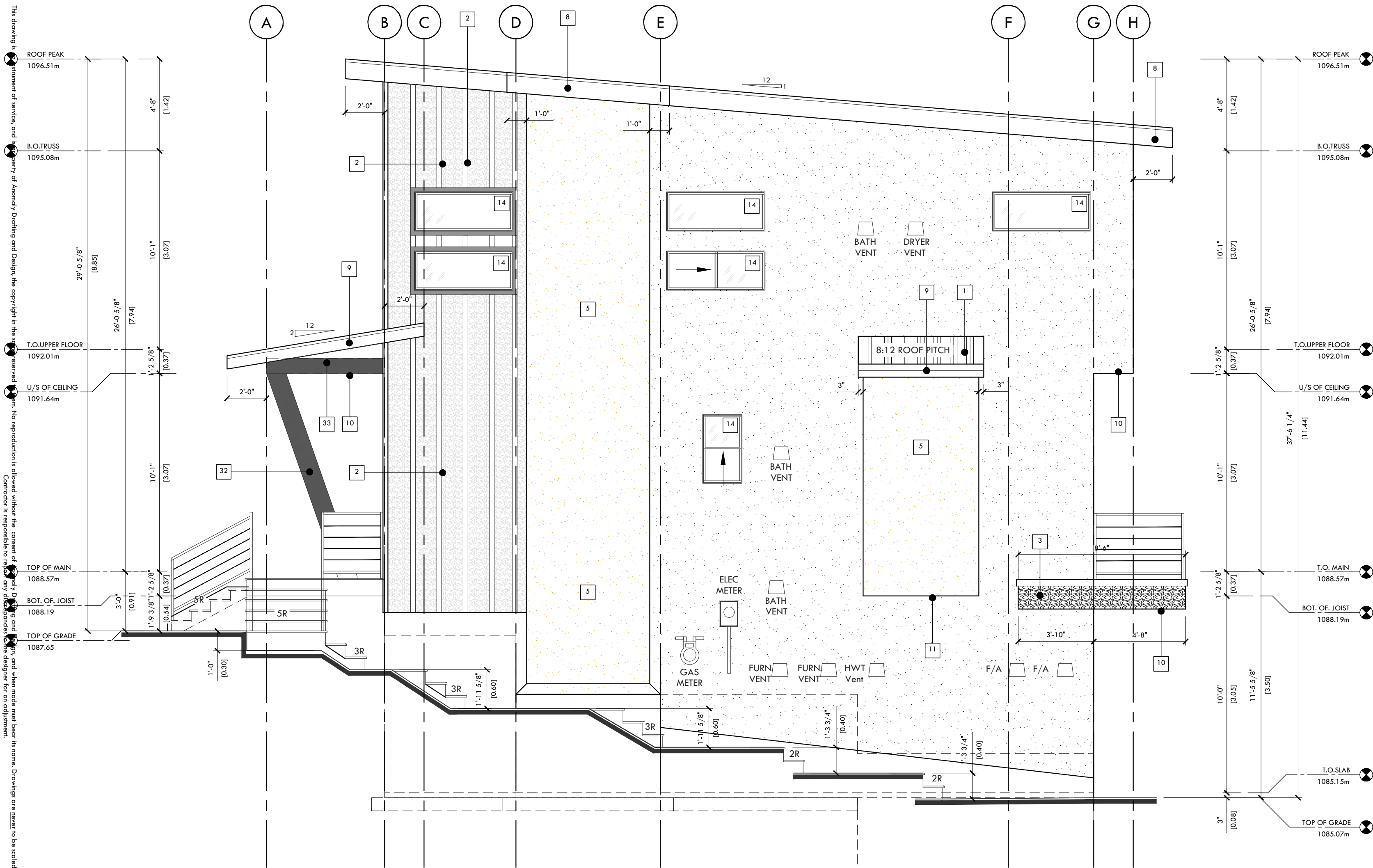
PROJECT NO.:
NH017

SCALE:
1/4" = 1'-0"

DRAWN BY:
EKS

REVISION ISSUE #:
X

SHEET NO.:
A14



A | ELEVATION VIEW OF SECONDARY ACCESS AND ENTRANCE

See TABLE 9.10.15.4.A. of the A.B.C 2023

BUILDING FACE AREA: 939.03ft² (87.24m²)
 MAXIMUM ALLOWABLE COVERAGE: 9%
 MAXIMUM ALLOWABLE OPENINGS: 84.51 ft²
 MAXIMUM EXPOSED AREA: 100 m²
 LIMITING DISTANCE: 2.00m/ ACTUAL 2.43m
 TOTAL UNPROTECTED OPENINGS: 57ft²
 ACTUAL ALLOWABLE COVERAGE: 6.07%

email: info@anomay4ofthegodsdesign.com phone: 403 971 9275		PROJECT STATUS:		SHEET TITLE:	
PROJECT TYPE: SINGLE DETACHED DWELLING		PROJECT ADDRESS: 5111 22 AVENUE NW, CALGARY, AB		ELEVATION - RIGHT	
AREA OF FLOOR: N/A		PROJECT NO.: NH017		SHEET NO.: A15	
TOTAL DEV. SQFT: 2142 SQFT		SCALE: 1/4" = 1.0"		DRAWER:	
ISSUED TO: MUNICIPALITY		DWG DATE M/D/Y: 06/29/26		EKS	
		ISSUE DATE M/D/Y: 06/29/26		REVISION ISSUE #: X	