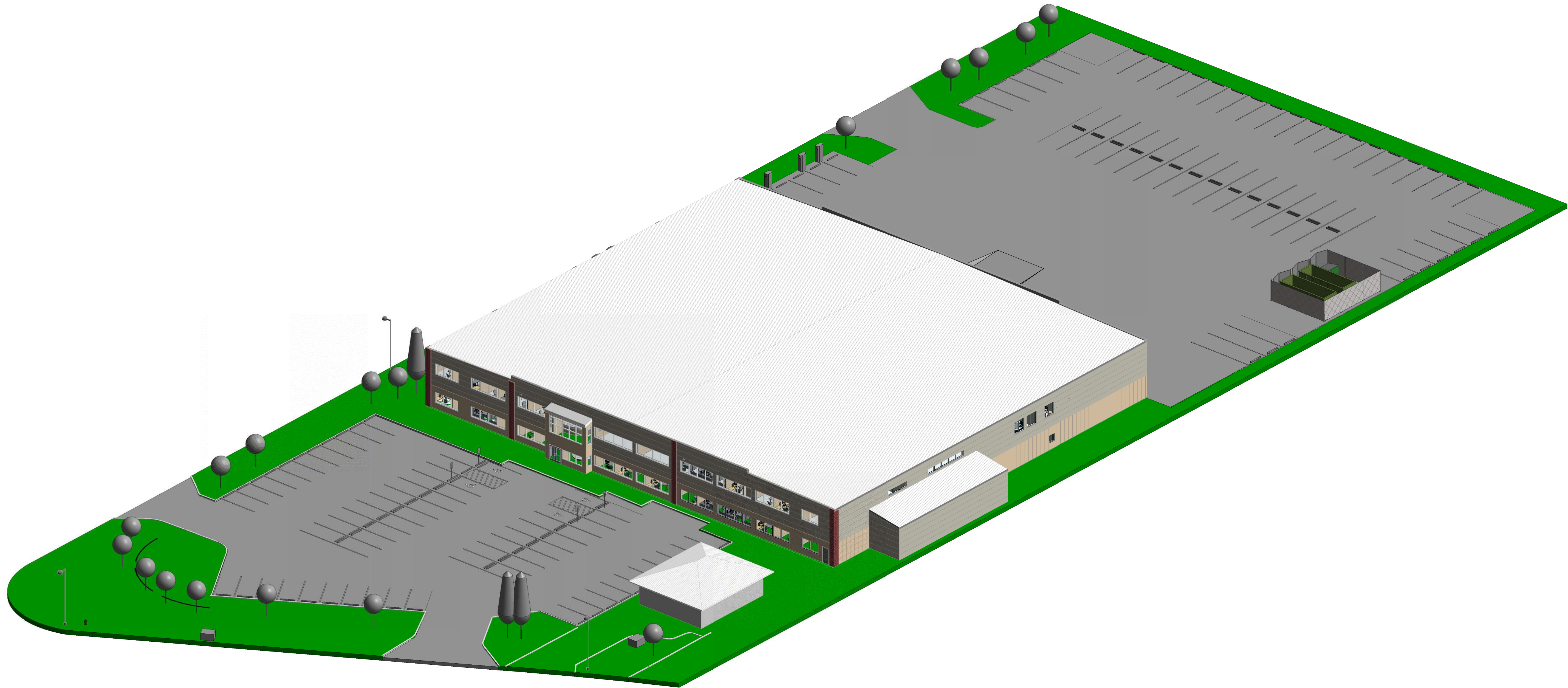




CONSULTANT COORDINATION DRAWINGS FOR RED DOT
278 19th STREET N.E, CALGARY, AB, T2E 8P7
PREPARED BY PEAKE DESIGN GROUP - 26-6-19

MUNICIPAL



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CLIENT

BUILDER

PROFESSIONAL SEAL

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No.	DESCRIPTION	DATE
1	ISSUE FOR DP	26-5-22

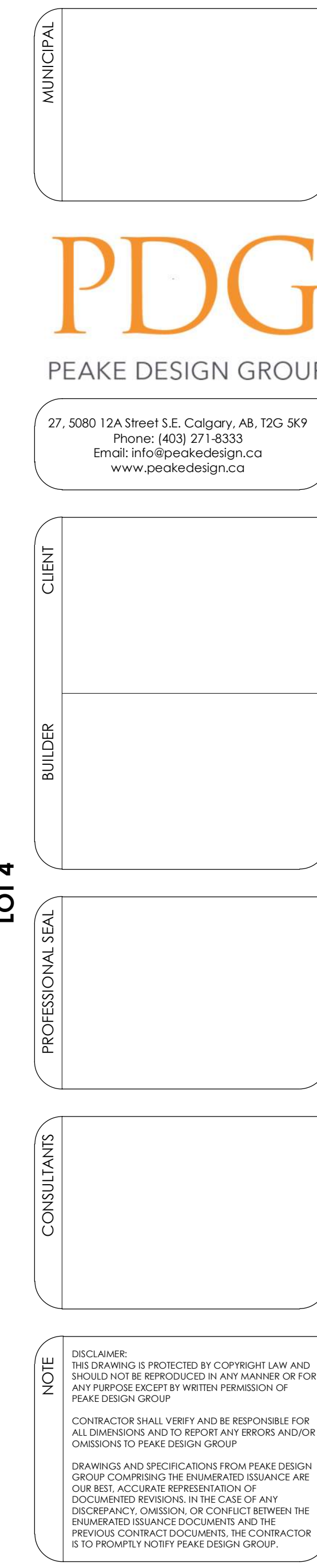
PROJECT	DATE	PROJECT No.
	26-6-19	26-23
	CLIENT NAME	
	RED DOT	
PROJECT NAME		
RED DOT RESTORATIONS		
ADDRESS		
278 19th STREET NE		
CALGARY, AB, T2E 8P7		

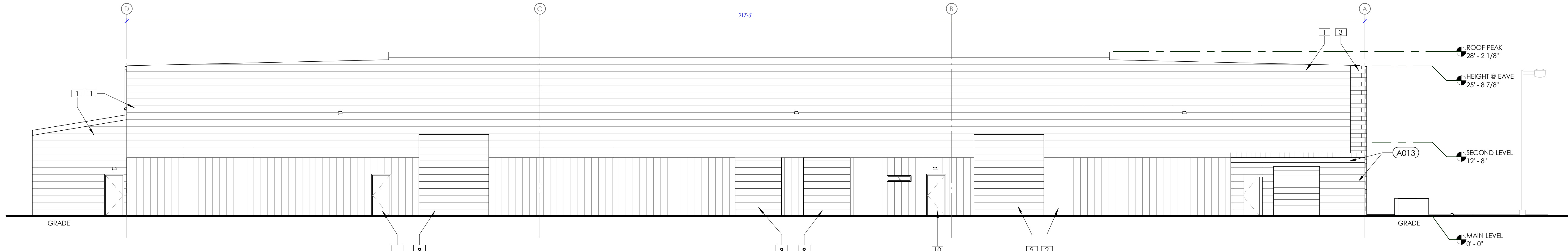
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	ATR	JMM
DRAWING TITLE		
COVER PAGE		

SHEET

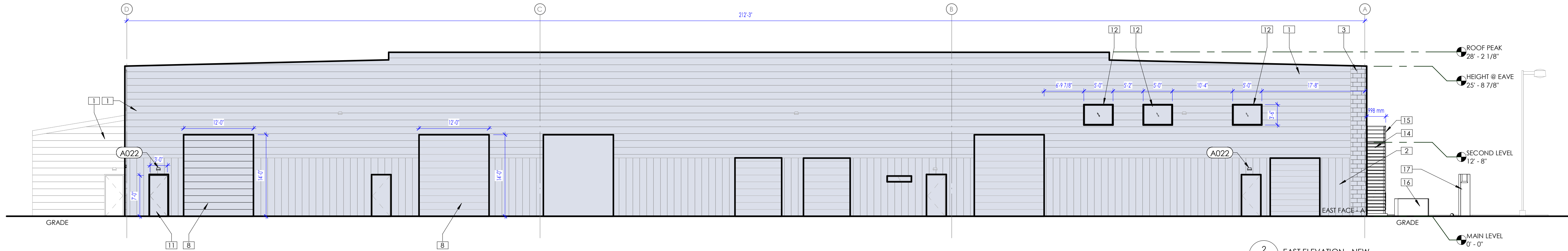
A0.00

SHEET LIST	
No.	SHEET NAME
A0.00	COVER PAGE
A0.01	PROJECT INFORMATION
A1.01	SITE PLAN
A1.02	LANDSCAPE PLAN
A1.03	SITE PHOTOGRAPHS
A1.04	VEHICLE PATH PLAN
A1.10	EGRESS PLAN - MAIN FLOOR
A1.11	EGRESS PLAN - SECOND FLOOR
A2.00	FLOOR PLAN - MAIN FLOOR
A2.01	MAIN FLOOR PLAN - FRONT OFFICE
A2.02	MAIN FLOOR PLAN - REAR OFFICE
A2.03	FLOOR PLAN - SECOND FLOOR
A2.04	FLOOR PLAN - SECOND FLOOR - ENLARGED
A2.05	FLOOR PLAN - SECOND FLOOR - ENLARGED
A3.00	EXTERIOR ELEVATIONS
A3.01	EXTERIOR ELEVATIONS
A4.00	BUILDING SECTIONS

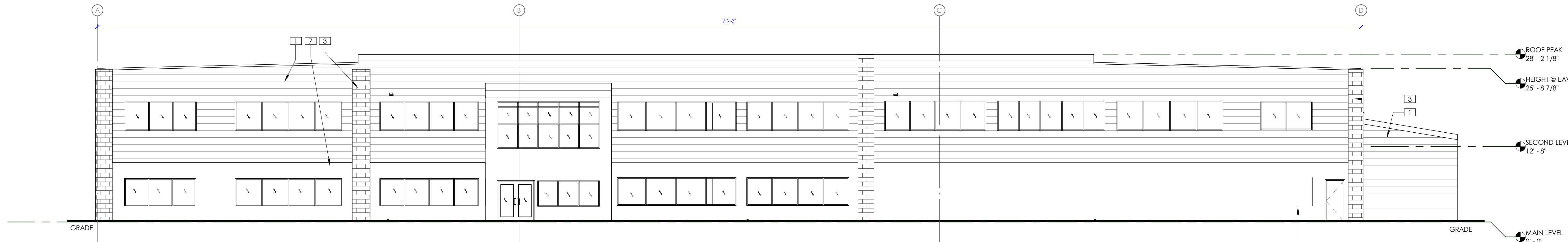




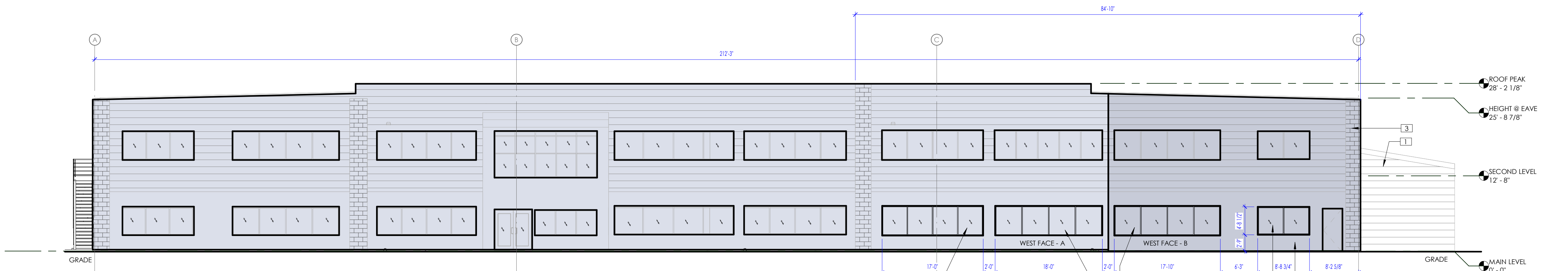
1 EAST ELEVATION - EXISTING
1" = 10'-0"



2 EAST ELEVATION - NEW
1" = 10'-0"



3 WEST ELEVATION - EXISTING
1" = 10'-0"



4 WEST ELEVATION - NEW
1" = 10'-0"

LIMITING DISTANCE - TABLE 3.2.3.1.-E

	LIMITING DISTANCE	EXPOSED BLDG FACE	MAX % OF UNPROTECTED OPENINGS	MAX AREA OF UNPROTECTED OPENINGS	ACTUAL % OF UNPROTECTED OPENINGS	ACTUAL AREA OF UNPROTECTED OPENINGS
EAST FACE - A	~225' 6" - 68.7m	5,823HP - 541.3m ²	100%	5,823HP - 541.3m ²	18.4%	504.8HP - 99.3m ²
WEST FACE - A	+ 150' - +45m	4,655HP - 432.5m ²	100%	4,655HP - 432.5m ²	29.7%	1,382HP - 128.4m ²
WEST FACE - B	~19' 8" - 6.0m	1,100HP - 102.2m ²	26%	0HP - 0m ²	25.8%	284HP - 26.4m ²

PROJECT NOTES	
No.	DESCRIPTION
A013	EXISTING SHED TO BE DEMO'D
A022	NEW WALL LIGHTS

FINISH MATERIALS	
FINISH	SPECIFICATION
1	HORIZONTAL STANDING SEAM CLADDING - GREYISH BEIGE
2	VERTICAL STANDING SEAM CLADDING - OFF WHITE
3	BRICK CLADDING
6	NEW STOREFRONT GLAZING
7	STUCCO FINISH - BEIGE
8	NEW OVERHEAD DOOR - WHITE
9	EXISTING OVER HEAD DOOR - WHITE
10	EXISTING MAIN DOOR - OFF WHITE
11	NEW MAIN DOOR - OFF WHITE
12	NEW WINDOW GLASS & ALUMINIUM
14	STEEL STAIRCASE + LANDINGS
15	STEEL STAIR GUARDRAIL
16	EXISTING TRANSFORMER - GREEN
17	EV CHARGER

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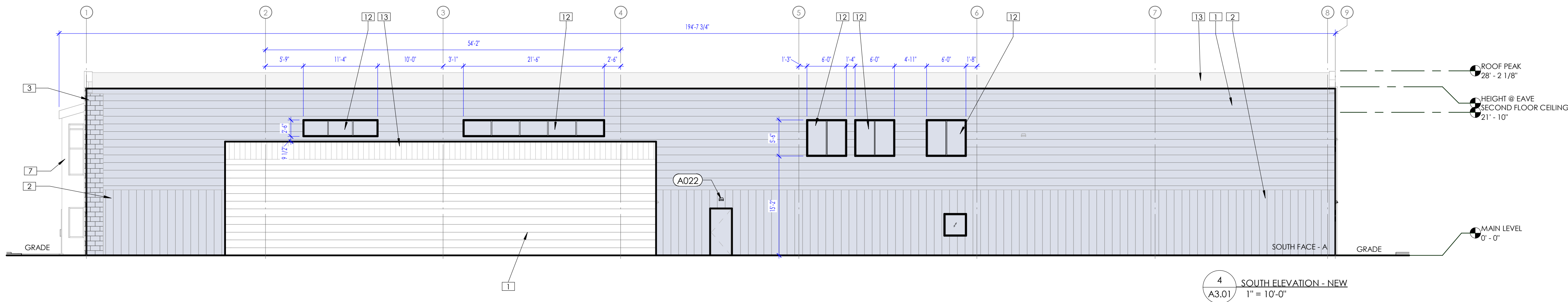
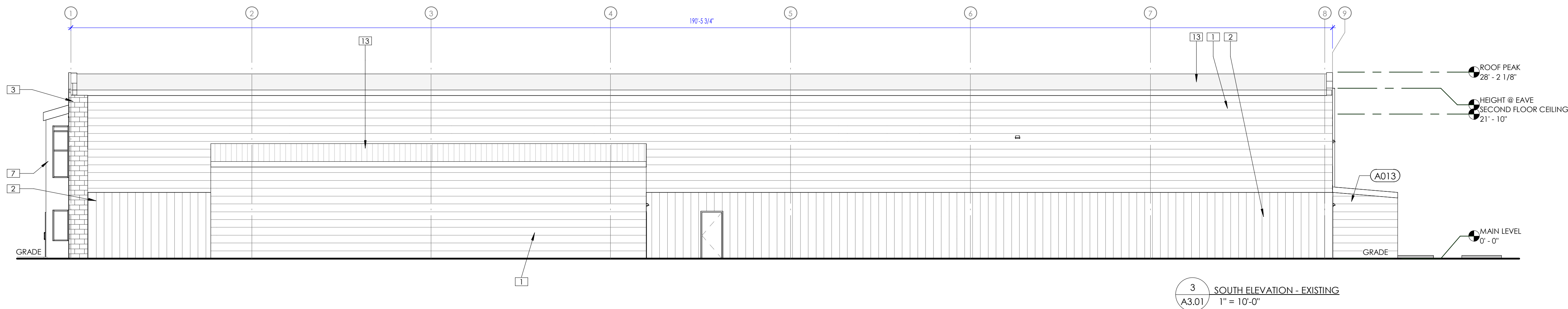
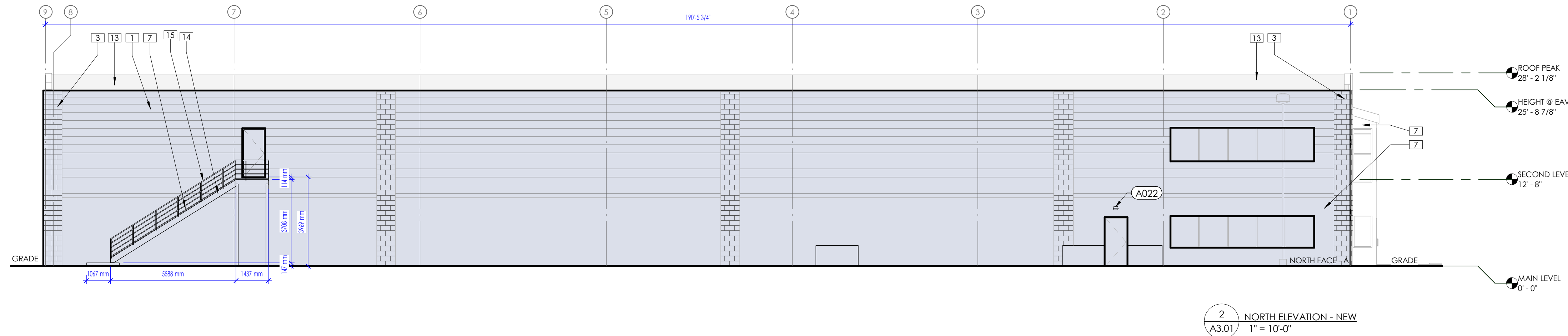
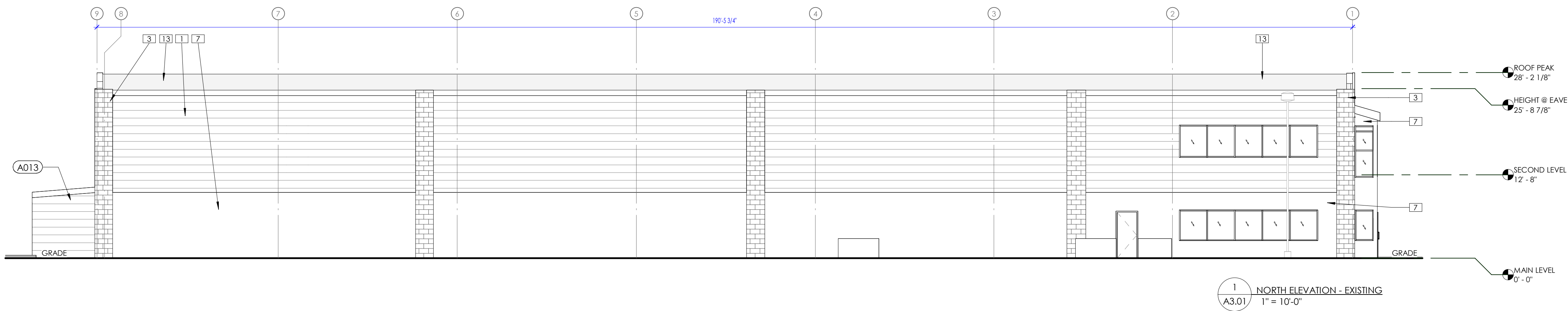
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No.	DESCRIPTION	DATE
1	ISSUE FOR DP	26-5-22

DATE	26-6-19	PROJECT No.	26-23
CLIENT NAME	RED DOT		
PROJECT NAME	RED DOT RESTORATIONS		
ADDRESS	278 19th STREET NE CALGARY, AB, T2E 8P7		

DRAWN	ATR	CHECKED	JMM
DRAWING TITLE	EXTERIOR ELEVATIONS		

SHEET
A3.00



LIMITING DISTANCE - TABLE 3.2.3.1.-E

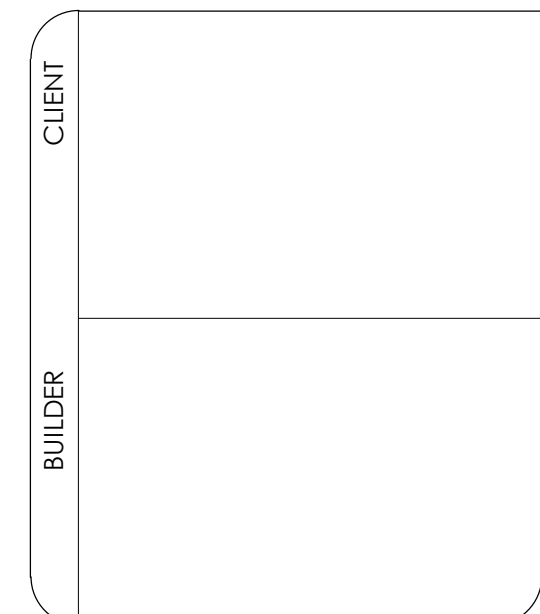
	LIMITING DISTANCE	EXPOSED BLDG FACE	MAX % OF UNPROTECTED OPENINGS	MAX AREA OF UNPROTECTED OPENINGS	ACTUAL % OF UNPROTECTED OPENINGS	ACTUAL AREA OF UNPROTECTED OPENINGS
NORTH FACE - A	~31' 1" - +9.4m	4.8891F² - 454.2m²	34%	1.6621F² - 154.4m²	5%	248.61F² - 23.1m²
SOUTH FACE - A	~17' - 5m	3.7111F² - 344.8m²	18%	6681F² - 62.1m²	5.8%	2151F² - 20m²

PROJECT NOTES	
No.	DESCRIPTION
A013	EXISTING SHED TO BE DEMO'D
A022	NEW WALL LIGHTS

FINISH MATERIALS	
FINISH	SPECIFICATION
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2	VERTICAL STANDING SEAM CLADDING - OFF WHITE
3	BRICK CLADDING
7	STUCCO FINISH - BEIGE
12	NEW WINDOW GLASS & ALUMINIUM
13	STANDING SEAM METAL ROOF
14	STEEL STAIRCASE + LANDING
15	STEEL STAIR GUARDRAIL



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DRAWN	ATR	CHECKED	JMM
DRAWING TITLE	EXTERIOR ELEVATIONS		

SHEET
A3.01