

SNAP-ON TOOLS OUTDOOR DECK - OUTDOOR PATIO

PROPOSED EXTERIOR ALTERATIONS FOR NEW OUTDOOR PATIO

ISSUED FOR DEVELOPMENT PERMIT

MUNICIPAL ADDRESS: 7403 48 STREET S.E CALGARY ALBERTA - T2C 4C7

LEGAL DESCRIPTION: BLOCK: 6 ; PLAN: 9311889 ; LOT: 19

PROJECT DESCRIPTION: PROPOSED EXTERIOR ALTERATIONS TO BUILDING FACADE INCLUDE NEW ENTRY DOOR TO NEW TREATED WOOD DECK & OUTDOOR STAFF AREA.

EXISTING BY-LAW INFORMATION:

COMMUNITY:FOOTHILLS

LAND USE:I-G INDUSTRIAL GENERAL

LOT DIMS:FRONTAGE X DEPTH

(N/A X N/A - P.L SHARED)

AREA OF LOT:-

LAND USE BYLAW:CITY OF CALGARY LAND USE BYLAW 1P2007

EXISTING PERMITTED USE:

EXISTING OFFICE / WAREHOUSE OCCUPANCY

BUILDING INFORMATION:

MAJOR OCCUPANCY:GROUP F DIV. 03 - LOW HAZARD OCCUPANCY WAREHOUSE

STYLE OF STRUCTURE:SINGLE STOREY - SPRINKLERED

YEAR BUILT:1992

CONSTRUCTION TYPE:N/A

CLASSIFICATION:N/A

FIRE ALARM:N/A

EXTERIOR FINISHES:PRE CAST CONCRETE / STUCCO

ROOF ASSEMBLY:N/A

TRAVEL DISTANCE:N/A

O/A AREA OF BUILDING:N/A

O/A AREA OF DECK:300.00 SQ FT (27.87 m²)

TOTAL OCCUPANCY LOAD:

EXISTING - NO CHANGES TO OCCUPANCY

CONSULTANTS:



PERSPECTIVE INTERIORS CONSULTING INC.
MANUELA ODDONE &
ROBERTO LOMBARDO
C. 403.276.8153
E. perspective90@outlook.com



STRUCTURAL ENGINEERING
CONCISE ENGINEERING LTD.

TOMAS ZAORALEK
C. 403.479.1350
E. tomas@conciseltd.ca



1KEY PLAN

ID0SCALE: N.T.S

DRAWINGS ARE NOT TO BE SCALED

ALL CONSTRUCTION MUST CONFORM TO CURRENT NATIONAL BUILDING CODE (ALBERTA EDITION - 2023)

DRAWING SYMBOLS LEGEND:

THE FOLLOWING SYMBOLS ARE COMMON DRAFTING SYMBOLS USED THROUGHOUT THIS ARCHITECTURAL DRAWING SET ONLY. REFER TO INDIVIDUAL DRAWING SHEETS, LEGENDS & SCHEDULES FOR SPECIFIC SYMBOLS, INFORMATION AND USES.

- 1

KEYNOTE (REFER TO SHEET KEY SCHEDULE)
- 1
ID01

ELEVATION REFERENCE TAG
- DRAWING NUMBER
SHEET NUMBER

NOTES:

- CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL SUB-TRADES, INSTALLERS & CONTRACTORS TO SITE VERIFY MATERIAL QUANTITIES REQUIRED PRIOR TO ORDERING.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER DRAWINGS, MECHANICAL ENGINEER DRAWINGS, ELEVATOR CONTRACTOR DRAWINGS & MILLWORK DRAWINGS.

NOTE TO CONTRACTORS - ITEMS IN THIS DRAWING PACKAGE APPEAR IN COLOR, PRINT THIS PACKAGE IN COLOR TO ENSURE ACCURACY.

DRAWING INDEX:

INTERIOR DESIGN:

- ID0COVER PAGE / SITE CONTENT
- ID0.1GENERAL NOTES
- ID01SITE PLAN & EAST ELEVATION
- ID02EXISTING PARTITION PLAN
- ID03PROPOSED PARTITION PLAN - O/A
- ID3.1PROPOSED PARTITION PLAN - DETAILED
- ID04PROPOSED DECK PLANS & DETAILS
- ID05PROPOSED DECK ELEVATIONS

ELECTRICAL ENGINEERING:

NOT REQUIRED IN SCOPE OF ALTERATIONS

MECHANICAL ENGINEERING:

NOT REQUIRED WITHIN SCOPE OF ALTERATIONS

STRUCTURAL ENGINEERING:

S 01



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INTERIORS
CONSULTING INC.

PERSPECTIVE90@OUTLOOK.COM

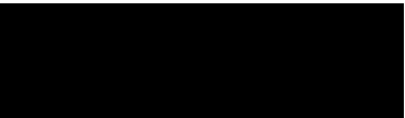
PERSPECTIVE INTERIORS CONSULTING INC. IS RESPONSIBLE SOLELY FOR DESIGN CONCEPT(S) AND / OR INTERPRETATION OF CONCEPTS PREVIOUSLY PRESENTED AS ILLUSTRATED ON THIS SHEET ONLY. THEREFORE PERSPECTIVE INTERIORS CONSULTING INC. IS NOT LIABLE FOR ANY CONSTRUCTION COSTS, INSURABLE OR NON- INSURABLE COSTS, WORKMANSHIP, SUPERVISION, ACCIDENTS & INJURIES, ENCROACHMENTS, RELATED TO THIS PROJECT OR ADJACENT PROPERTIES OR OTHER PROJECTS

SEAL

DRAWING

COVER PAGE / SITE CONTENT

CLIENT NAME

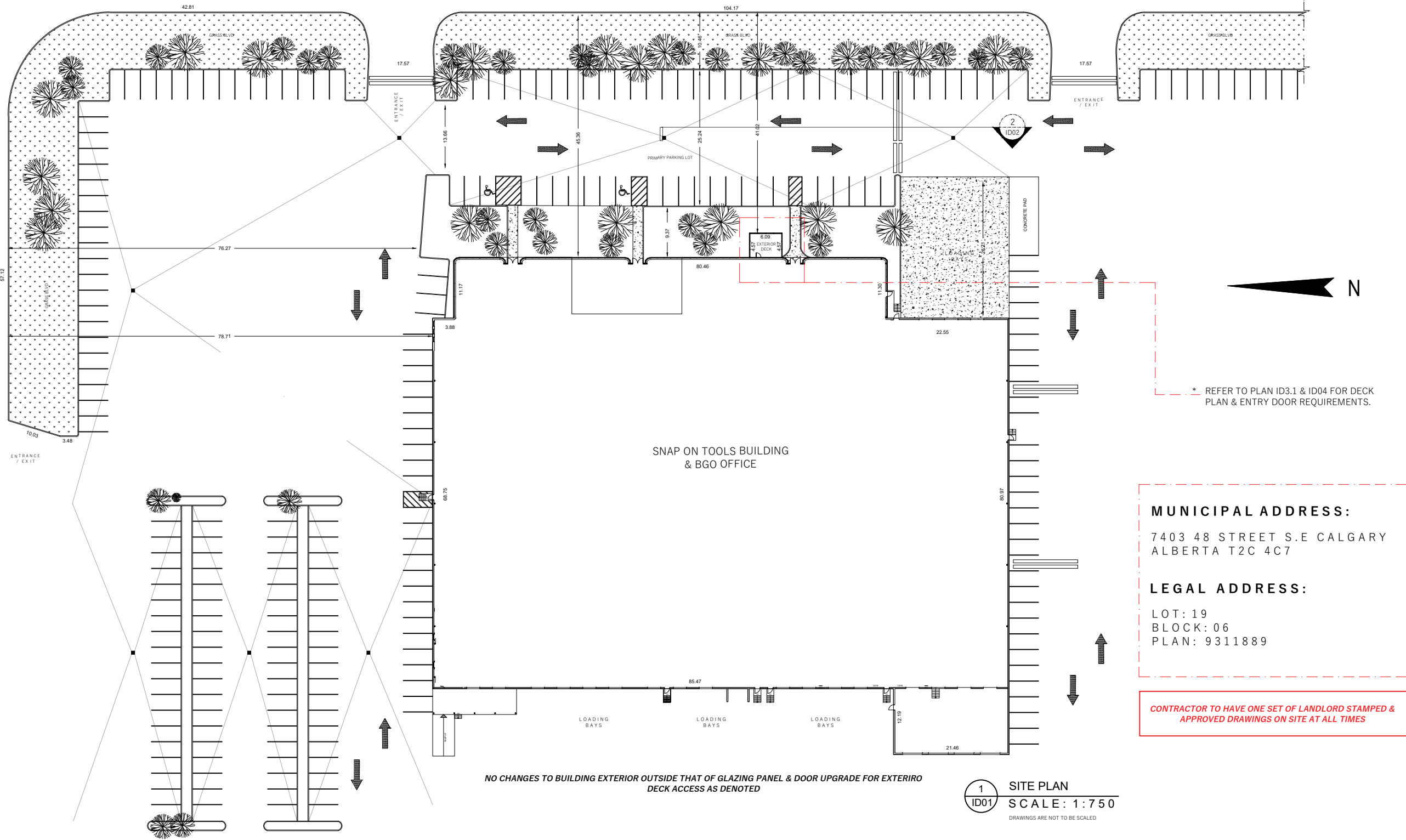


DRAWN BY R.L	SCALE AS NOTED	SHEET NO. ID0
DATE JUNE 08 2026	CHK'D BY M.O	

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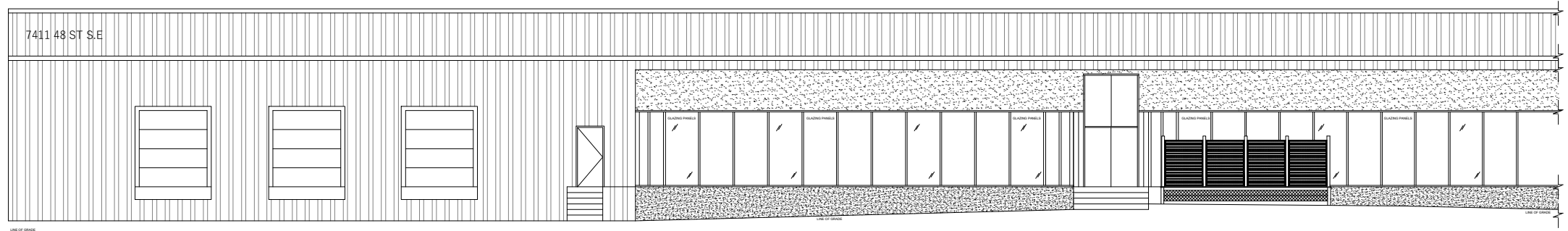
72 AVENUE S.E

48 STREET S.E



NO CHANGES TO BUILDING EXTERIOR OUTSIDE THAT OF GLAZING PANEL & DOOR UPGRADE FOR EXTERIOR DECK ACCESS AS DENOTED

1 ID01 SITE PLAN
SCALE: 1:750
DRAWINGS ARE NOT TO BE SCALED



2 ID02 PROPOSED EAST BUILDING ELEVATION
SCALE: 1/16" = 1'-0"
DRAWINGS ARE NOT TO BE SCALED

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DATE	NAME	REV
JUN 22 2026	ISSUED FOR BUILDING PERMIT	REV. 3.0
JUN 22 2026	ISSUED FOR DEVELOPMENT PERMIT	REV. 2.0
JUN 17 2026	ISSUED FOR D.P CLIENT REVIEW	REV. 1.0



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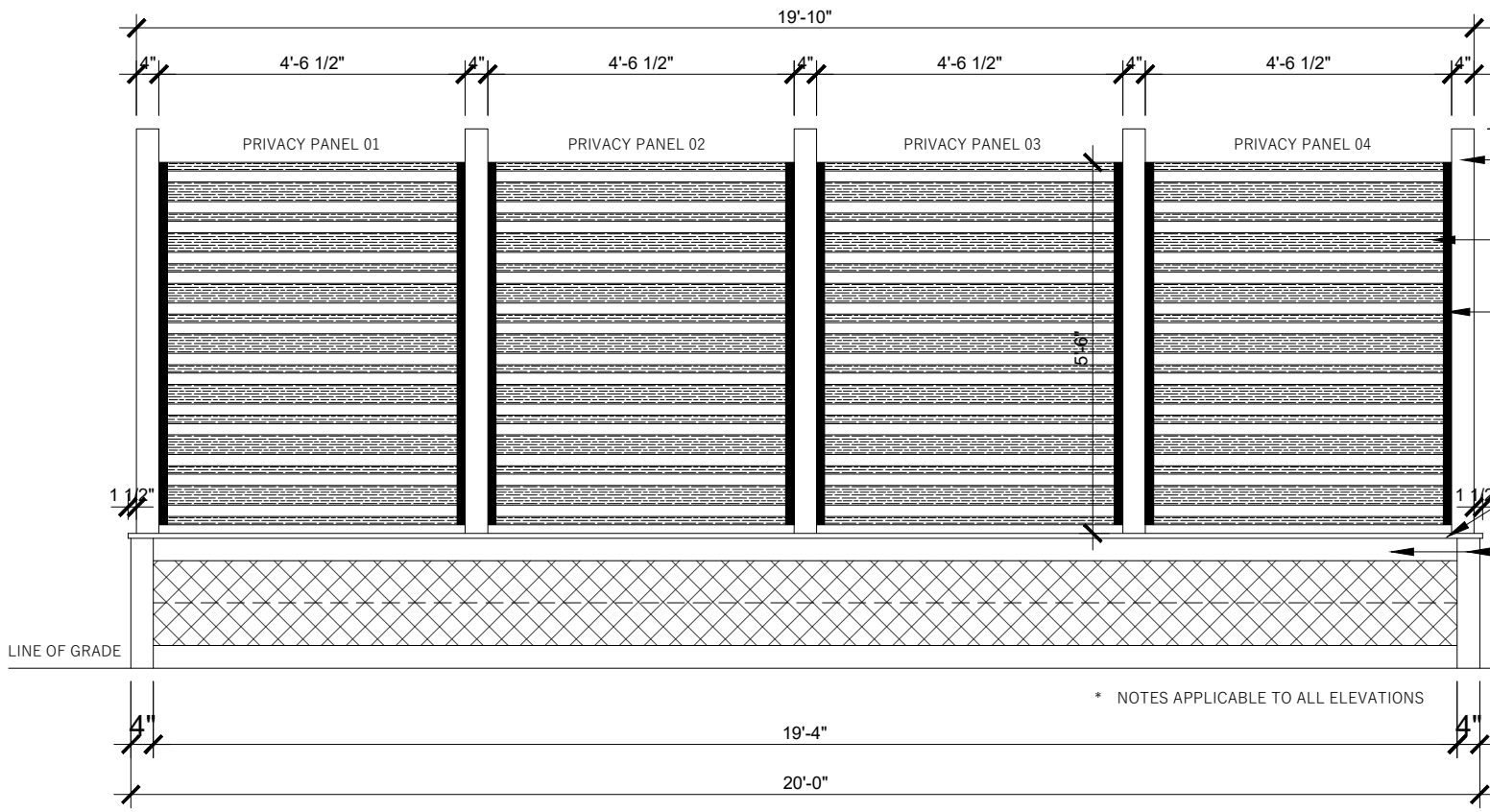
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SEAL

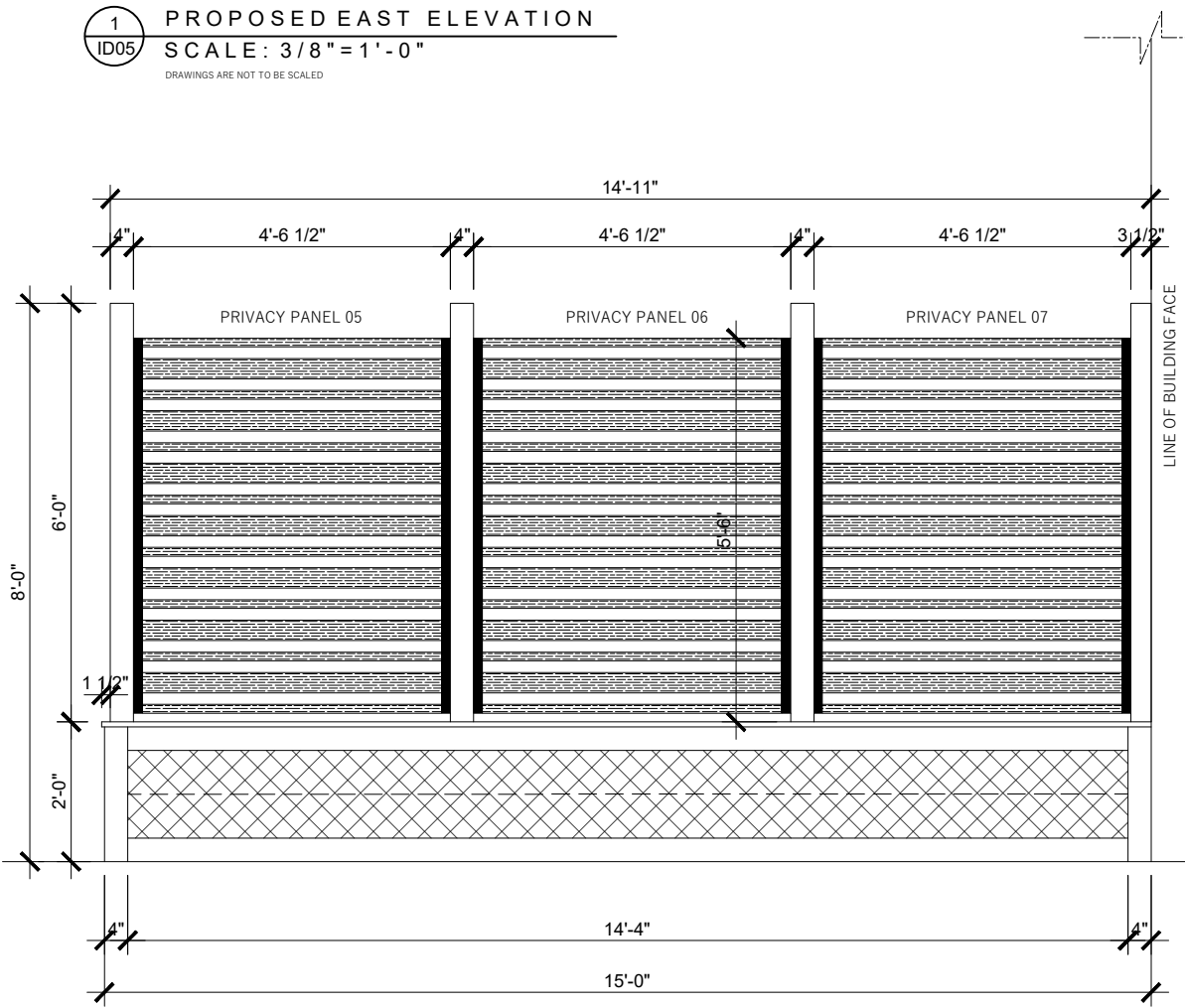
DRAWING
SITE PLAN

CLIENT NAME

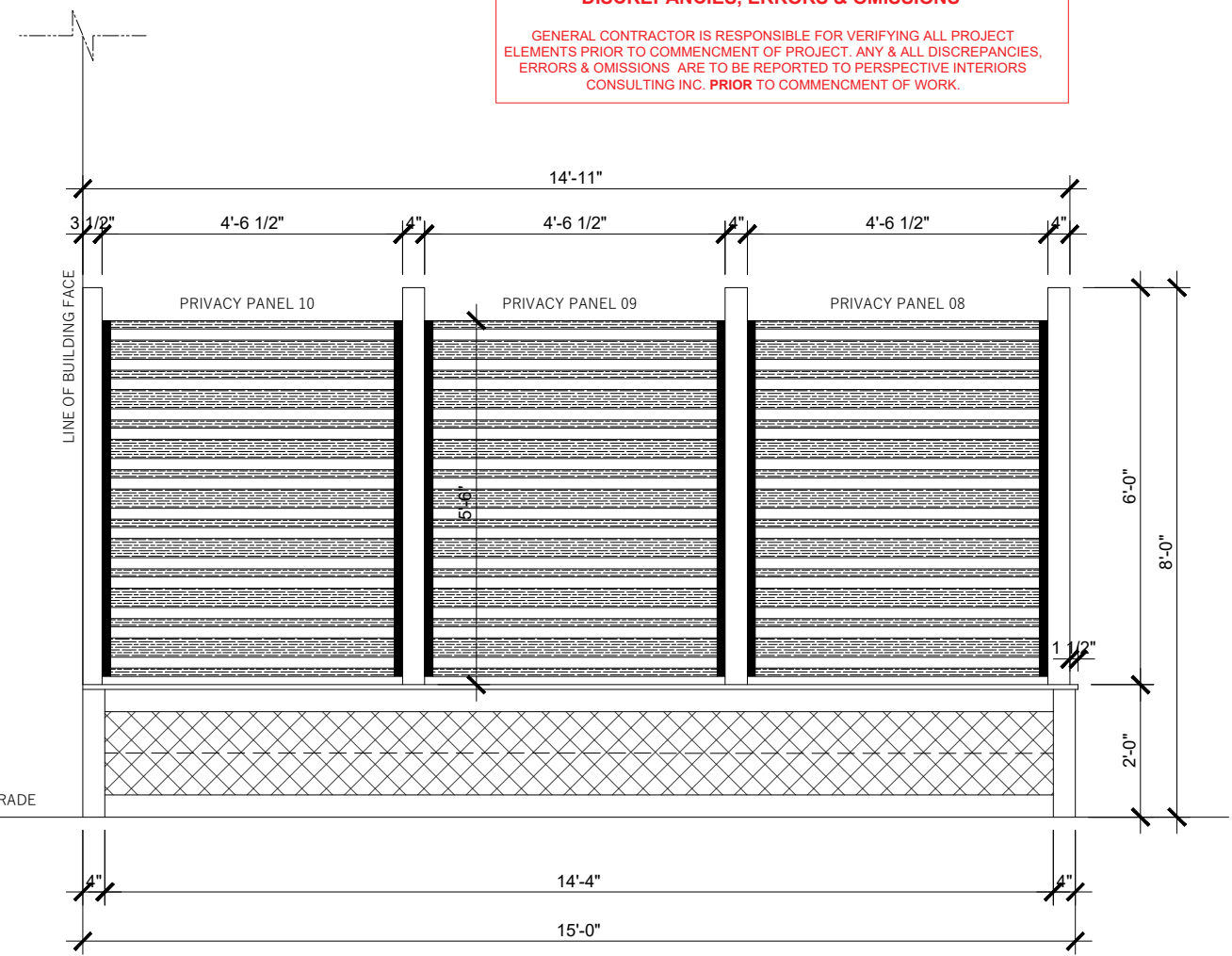
DRAWN BY R.L	SCALE AS NOTED	SHEET NO. ID01
DATE JUNE 08 2026	CHK'D BY M.O	



1 PROPOSED EAST ELEVATION
ID05 SCALE: 3/8" = 1'-0"
DRAWINGS ARE NOT TO BE SCALED



2 PROPOSED NORTH ELEVATION
ID05 SCALE: 3/8" = 1'-0"
DRAWINGS ARE NOT TO BE SCALED



3 PROPOSED SOUTH ELEVATION
ID05 SCALE: 3/8" = 1'-0"
DRAWINGS ARE NOT TO BE SCALED

FIELD VERIFICATION REQUIRED

GENERAL CONTRACTOR TO CONFIRM ALL EXISTING SPACE DIMENSIONS ONCE MOBILIZED ON SITE & PRIOR TO START OF CONSTRUCTION, BUT AFTER DEMOLITION IS COMPLETED (IF ANY). NOTE ACTUAL SITE DIMENSIONS ON SITE CONSTRUCTION PLANS AND PROVIDE TO PERSPECTIVE INTERIORS CONSULTING INC. WITH ANY DISCREPANCIES. G.C. TO CONFIRM LEASE LINES AS REQUIRED AFTER COMPLETION OF DEMOLITION.

DISCREPANCIES, ERRORS & OMISSIONS

GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PROJECT ELEMENTS PRIOR TO COMMENCEMENT OF PROJECT. ANY & ALL DISCREPANCIES, ERRORS & OMISSIONS ARE TO BE REPORTED TO PERSPECTIVE INTERIORS CONSULTING INC. PRIOR TO COMMENCEMENT OF WORK.

THE DESIGN & DRAWING IS AND SHALL AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PERSPECTIVE INTERIORS CONSULTING INC. & SHALL NOT BE REPRODUCED OR USED WITHOUT PRIOR WRITTEN PERMISSION

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SEAL

DRAWING
PROPOSED DECK ELEVATIONS

CLIENT NAME

DRAWN BY R.L	SCALE AS NOTED	SHEET NO. ID05
DATE JUNE 08 2026	CHK'D BY M.O	