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2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

LIVINGSTON

14549 1 St NW, Calgary, AB T3P 1T1

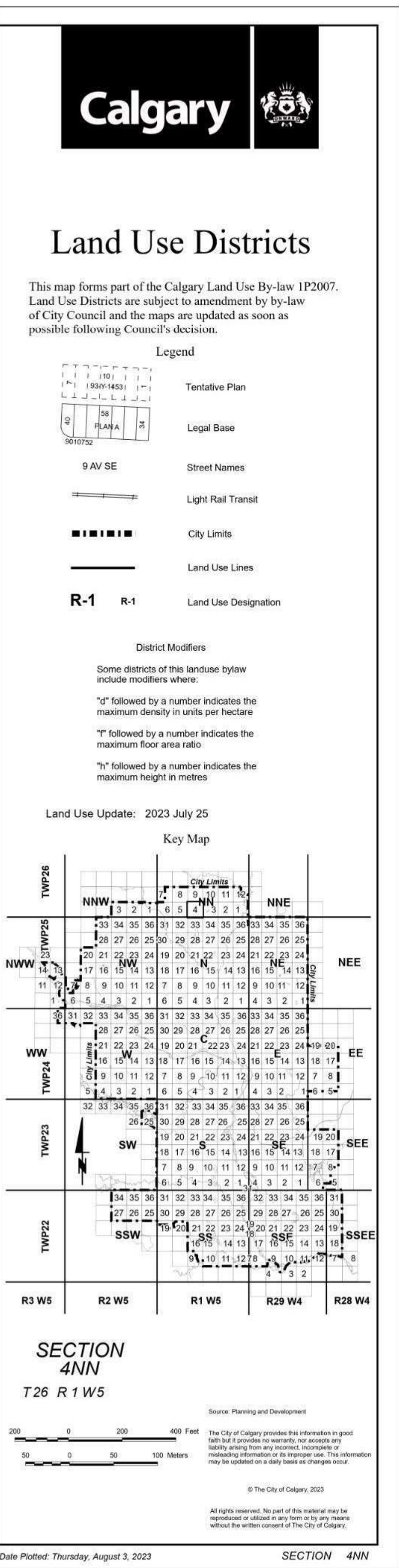
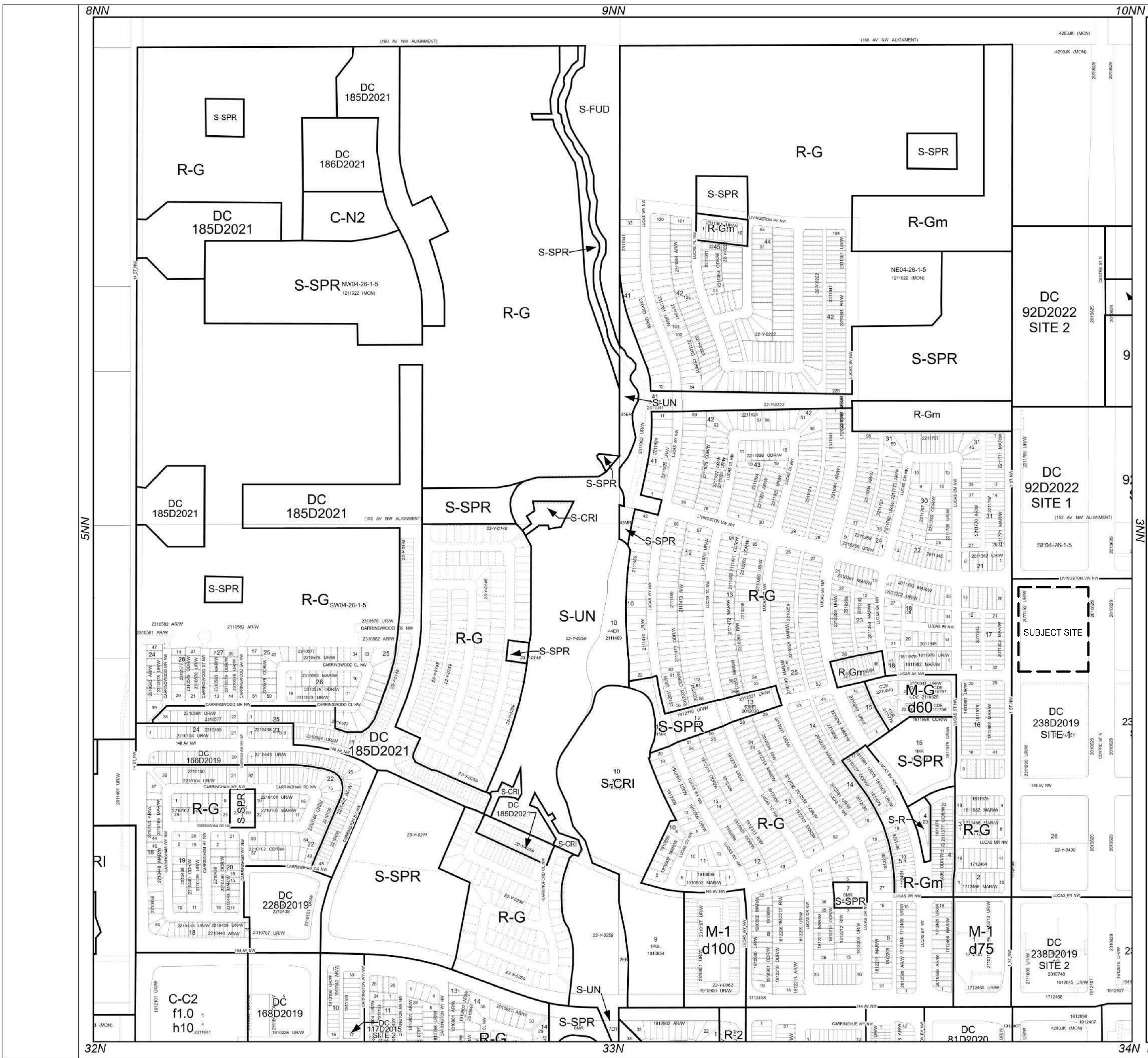
NORR PROJECT NUMBER: RZ1124-0028

ISSUED FOR DP WITH PHASING PLAN 2026-06-25



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
MAIDMENT Land Surveys LTD. ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	INVISTEC CONSULTING LTD. ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	NORR ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	PROTOSTATIX ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
PMW ENGINEERING LTD. ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	NEMETZ ENGINEERING ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	INVISTEC CONSULTING LTD. ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER



ZONING PLAN



SITE CONTEXT

SITE STATISTICS

ALPHABUILT LIVINGSTON MULTIFAMILY
RZ1124-0028
MU-1

Site Information

LAND USE DISTRICT	Mixed Use - General (MU-1)
LEGAL DESCRIPTION	Plan 2410024, Block 28, Lot 1
MUNICIPAL ADDRESS	14549 1 St NW, Calgary, AB T3P 1T1
COMMUNITY	LIVINGSTON
SITE AREA	15,623 SM 3.86 AC
	168,168 SF 1.56 HA

Development Statistics

PROPOSED USE	Two 4 storey wood frame buildings containing one floor of underground parking and 230 units in total with a two storey amenity building
FAR	Proposed 1.19
DENSITY	Proposed 147 units/hectare

ALPHABUILT LIVINGSTON MULTIFAMILY
RZ1124-0028
MU-1

Vehicle Parking

	TYPE	REQUIREMENT	REQUIRED STALLS	PROVIDED STALLS
Building A	Resident	1 Bed	0.75 stalls/unit	29
		2 Bed	0.75 stalls/unit	2
	Visitor		0.10 stalls/unit	12
Building B	Resident	1 Bed	0.75 stalls/unit	44
		2 Bed	0.75 stalls/unit	2
	Visitor		0.10 stalls/unit	12
Total Stalls				86
Deficiency				169
Barrier Free Stalls				5

Bicycle Parking

	TYPE	REQUIREMENT	REQUIRED STALLS	PROVIDED STALLS
Building A	Class 1	0.50 stalls/unit	58	77
	Class 2	0.10 stalls/unit	12	17
Building B	Class 1	0.50 stalls/unit	70	77
	Class 2	0.10 stalls/unit	12	17
Total Stalls				140

Building Areas

	LEVEL	GROSS FLOOR AREA SM	GROSS FLOOR AREA SF	RENTABLE AREA SM	RENTABLE AREA SF	EFFICIENCY	LIVE/WORK	1 BED	2 BED	3 BED	TOTAL
Building A	Level 1	2,269.2	24,426	1,992.0	21,442	87.8%	4	10	14	0	28
	Level 2	2,269.2	24,426	2,054.5	22,114	90.5%	0	10	18	1	29
	Level 3	2,269.2	24,426	2,054.5	22,114	90.5%	0	10	18	1	29
	Level 4	2,269.2	24,426	2,054.5	22,114	90.5%	0	10	18	1	29
	Total	9,076.8 SM	97,702 SF	8,155.5 SM	87,785 SF	89.8%	4	40	68	3	115
Building B	Level 1	2,269.2	24,426	1,992.0	21,442	87.8%	0	10	18	0	28
	Level 2	2,269.2	24,426	2,054.5	22,114	90.5%	0	10	18	1	29
	Level 3	2,269.2	24,426	2,054.5	22,114	90.5%	0	10	18	1	29
	Level 4	2,269.2	24,426	2,054.5	22,114	90.5%	0	10	18	1	29
	Total	9,076.8 SM	97,702 SF	8,155.5 SM	87,785 SF	89.8%	0	40	72	3	115
Building C	Level 1	391.0 SM	4,208 SF	0.0 SM	0 SF	0.0%	0	0	0	0	0
	Level 2	206.0	2,217	0.0	0	0.0%	N/A	N/A	N/A	N/A	N/A
	Level 3	185.0	1,991	0.0	0	0.0%	N/A	N/A	N/A	N/A	N/A
Total		18,544.6 SM	199,613 SF	16,311.0 SM	175,570 SF	88.0%	4	80	140	6	230



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DP DRAWINGS SHEET LIST	
Sheet Number	Sheet Name
DP-00-00	COVER SHEET
DP-10-01	RENDERS
DP-10-02	SITE CONTEXT & STATS
DP-10-03	SITE PLAN
DP-10-04	SITE WASTE AND RECYCLING
DP-10-05	EMERGENCY ACCESS PLAN
DP-10-07	PHASING PLAN
DP-20-00	LEVEL P1 OVERALL FLOOR PLAN
DP-20-01	LEVEL 1 OVERALL FLOOR PLAN
DP-20-02	LEVEL 2 OVERALL FLOOR PLAN
DP-20-03	LEVEL 3 OVERALL FLOOR PLAN
DP-20-04	LEVEL 4 OVERALL FLOOR PLAN
DP-20-05	OVERALL ROOF PLAN
DP-20-06	AMENITY BUILDING
DP-30-01	BUILDING A ELEVATIONS
DP-30-02	BUILDING A ELEVATIONS
DP-30-03	BUILDING B ELEVATIONS
DP-30-04	BUILDING B ELEVATIONS
DP-32-01	BUILDING A SITE SECTIONS
DP-32-02	BUILDING B SITE SECTIONS
DP-32-03	PARKADE RAMP SECTIONS
DP-63-01	SUITE PLANS
DP-63-02	SUITE PLANS
DP-63-03	SUITE PLANS

DATE	ISSUED FOR	REV
2024-10-28	OTR1 SUBMISSION	1
2024-12-10	OTR2 REVIEW	2
2025-01-22	OTR2 SUBMISSION	3
2025-06-25	DP WITH PHASING PLAN	8

Consultants
Survey: MAIDMENT Land Surveys LTD.
Civil: INVISTEC CONSULTING LTD.
Architecture: NORR
Structural: PROTOSTATIX
Mechanical: PMW ENGINEERING LTD.
Electrical: NEMETZ ENGINEERING
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Jonathan Hughes, Northwest, SAA, OAA, ABC, BSA, AARP, AAFPE
Allison Tisdale, P.Eng., AECQA
Chris Phipps, P.Eng., AECQA

Project Manager: Drawn: A.BALHARA
Project Leader: Checked: CLYZENGA
Client: G.PHILIPS-SORICH
ALPHABUILT

Project: **LIVINGSTON**

14549 1 St NW, Calgary, AB T3P 1T1
Drawing Title: **SITE CONTEXT & STATS**

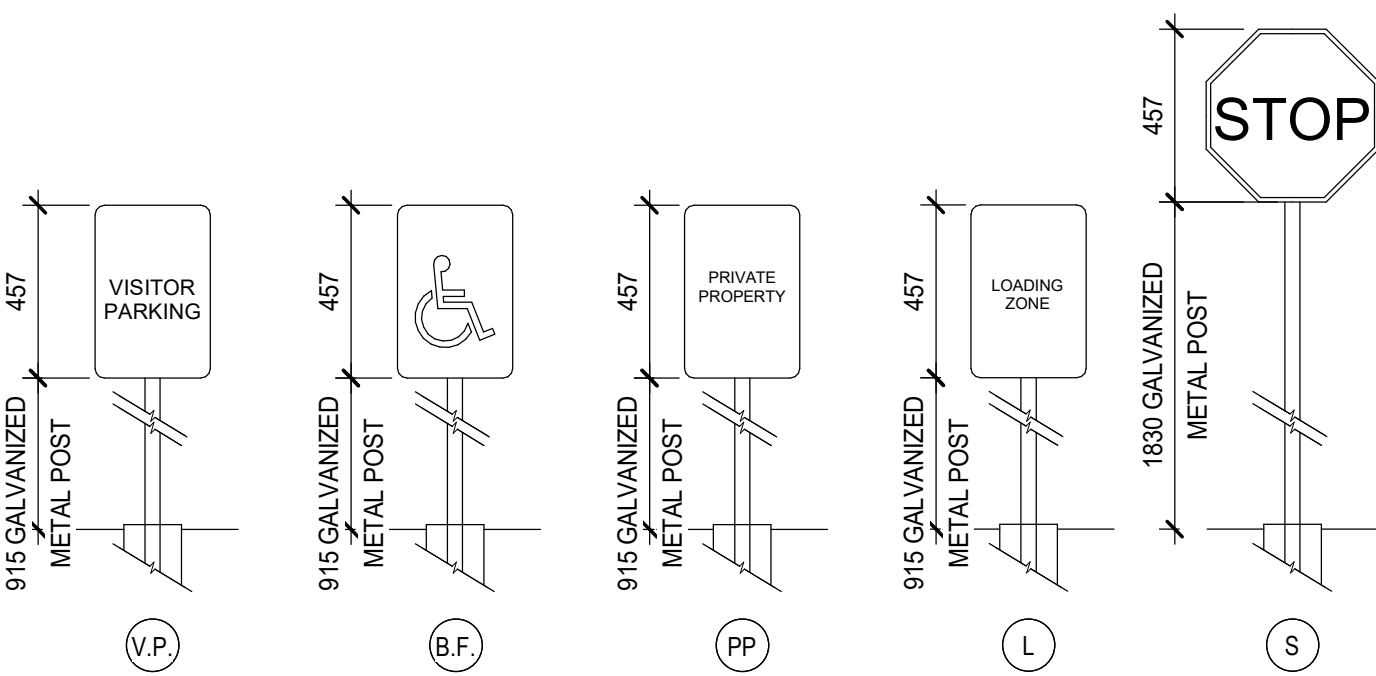
Scale:
Project No.: RZ1124-0028
Drawing No.: **DP-10-02**

SITE LEGEND

- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lb) LOAD & RFL 100 TON LOAD OF STORM OVER 24x24" AREA
- UTILITY RIGHT-OF-WAY - REFER TO CIVIL
- LANDSCAPING - REFER TO LANDSCAPE DRAWINGS
- CONCRETE (SIDEWALK / CURB / WALKWAY / PAVERS) - REFER TO LANDSCAPE DRAWINGS
- HEATED CONCRETE RAMP DOWN TO PARKADE C/W TROWELED HERRINGBONE FINISH
- ASPHALT
- RAISED PLANTER WALLS - REFER TO LANDSCAPE DRAWINGS
- LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 lb / 25,000 kg (SYMBOL PAINTED ON CONCRETE)
- PRINCIPLE ENTRY - WITHIN 15m OF FIRE ACCESS ROUTE (<45m RADIUS FROM FIRE HYDRANT)
- BARRIER-FREE RAMP
- BARRIER-FREE PARKING - SYMBOL PAINTED ON ASPHALT
- BIKE RACK - REFER TO DETAILS
- RAISED AND PAINTED CROSSWALK
- "BARRIER FREE PARKING" SIGN (INSTALLED AT ALL RELEVANT LOCATIONS)
- VISITOR PARKING (INSTALL SIGNAGE AT ALL RELEVANT LOCATIONS)
- "STOP" SIGN, "LOADING ZONE, NO PARKING" SIGN, "LOADING" SIGN
- PROPOSED TRANSFORMER AND CONCRETE PAD - REFER TO ELECTRICAL
- FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL
- DIRECTION OF TRAVEL
- VARIOUS TREES - REFER TO LANDSCAPE
- GRADED TOP MANHOLE
- CATCH BASIN
- WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
- MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
- SITE ELECTRICAL, MAY REQUIRE CONCRETE BASE - REFER TO ELECTRICAL
- ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
- FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
- PROPERTY LINE
- EXTENTS OF PARKADE WALLS BELOW GRADE
- PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
- PROPOSED / EXISTING STORM LINE - REFER TO CIVIL
- PROPOSED / EXISTING SANITARY LINE - REFER TO CIVIL
- PROPOSED / EXISTING ELECTRICAL (OH OR UG) - REFER TO CIVIL
- UTILITY RIGHT OF WAY (UR/W) - REFER TO CIVIL
- EXISTING / OFFSITE - REFER TO CIVIL / SURVEY
- LINE OF EAVES AT ROOF OVERHANGS

SITE GENERAL NOTES

- ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.)
- NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE
- LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS
- SITE SIGNAGE SHOWN FOR REFERENCE ONLY - REFER TO SIGNAGE DRAWINGS FOR ADDITIONAL DETAILS
- SITE LIGHTING SHOWN FOR REFERENCE ONLY - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS
- SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT
- REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION
- PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (F.D.C.) IS 9m 3m and 15m FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL
- IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED
- COST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL
- PROPOSED LOCATIONS FOR FIRE ALARM CONTROL PANEL AND LOCKBOX INDICATED
- REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED
- AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED IDENTIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE(S)
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND SIZING OF TRANSIT ZONES AND TRANSIT PADS.

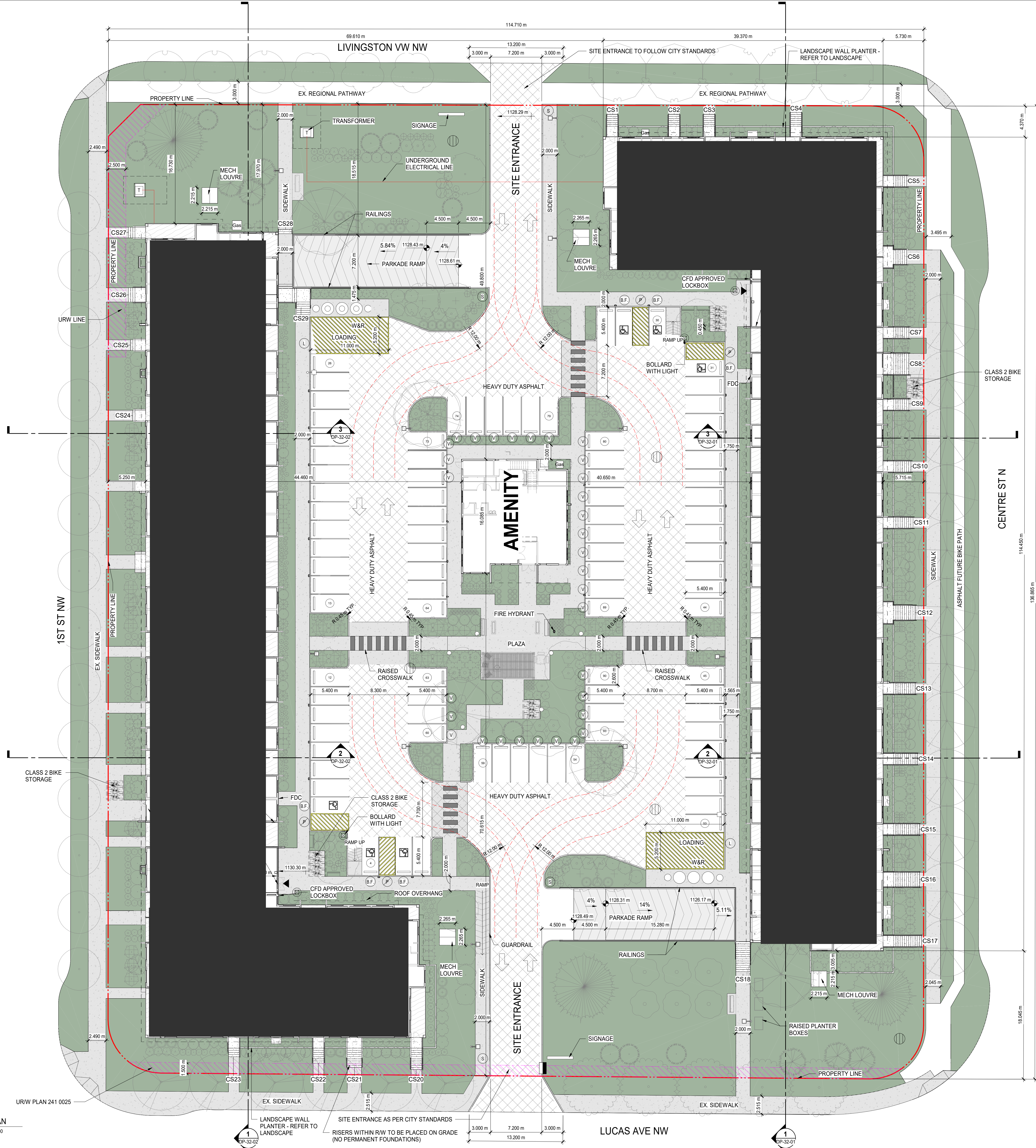


2 DP SITE SIGNAGE

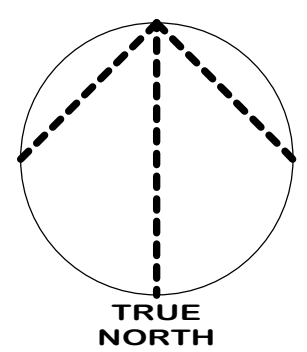
DP-10-03 SCALE: 1:20

1 SITE PLAN

DP-10-03 SCALE: 1:200



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DATE	ISSUED FOR	REV
2024-10-28	OTR1 SUBMISSION	1
2024-12-10	OTR2 REVIEW	2
2025-01-22	OTR2 SUBMISSION	3
2025-06-25	DP WITH PHASING PLAN	8

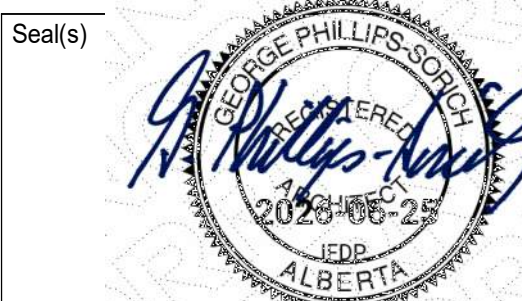
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Project Component

Key Plan

Consultants
Survey: MAIDMENT Land Surveys LTD.
Civil: INVISTEC CONSULTING LTD.
Architecture: NORR
Structural: PROTOSTATIX
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NORR Architects Ltd.

Project Manager: A. BALHARA
Project Leader: C. LYZENGA
Client: ALPHABUILT

Drawn: A. LILIC / A. AL-QUDSI
Checked: G. PHILIPS-SORICH

Project: LIVINGSTON

14549 1 St NW, Calgary, AB T3P 1T1
Drawing Title: SITE PLAN

Scale: As indicated

Project No.: RZ1124-0028

Drawing No.: DP-10-03

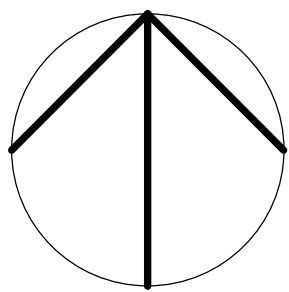
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Project Leader C.LYZENGA	Checked G.PHILIPS-SORICH

14549 1 St NW, Calgary, AB T3P 1T1
Drawing Title AMENITY BUILDING



01	HARDIEPLANK LAP SIDING, COLOUR - SUMMER WHEAT BY WOODTONE
02	HARDIEPANEL VERTICAL SIDING, SELECT CEDARMILL SERIES, COLOUR - ARCTIC WHITE
03	HARDIEPANEL VERTICAL SIDING, SELECT CEDARMILL SERIES, COLOUR - GRAY SLATE
04	HARDIEPLANK LAP SIDING, COLOUR - IRON GRAY
09	ROOF SHINGLES, IKO CAMBRIDGE - DUAL GREY
12	VINYL WINDOWS
14	PATIO/BALCONY DOOR
15	ALUMINUM ENTRANCE DOOR
17	COMMERCIAL GRADE ENTRY DOOR
20	PREFINISHED METAL GUARDRAILS



SYMBOL LEGEND

(LS) RECESSED LIGHT

KEYNOTE LEGEND

Key Value	Keynote Text
1	HARDIEPLANK LAP SIDING, COLOUR - SUMMER WHEAT BY WOODTONE
2	HARDIEPANEL VERTICAL SIDING, SELECT CEDARMILL SERIES, COLOUR - ARCTIC WHITE
3	HARDIEPANEL VERTICAL SIDING, SELECT CEDARMILL SERIES, COLOUR - GRAY SLATE
4	HARDIEPLANK LAP SIDING, COLOUR - IRON GRAY
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2	VINYL WINDOWS
5	ALUMINUM ENTRANCE DOOR
7	COMMERCIAL GRADE ENTRY DOOR

DATE	ISSUED FOR	REV
2025-01-22	OTR2 SUBMISSION	1
2025-06-25	DP WITH PHASING PLAN	4
2025-06-25	DP WITH PHASING PLAN	8

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Client
ALPHABUILT

Project
LIVINGSTON

14549 1 St NW, Calgary, AB T3P 1T1
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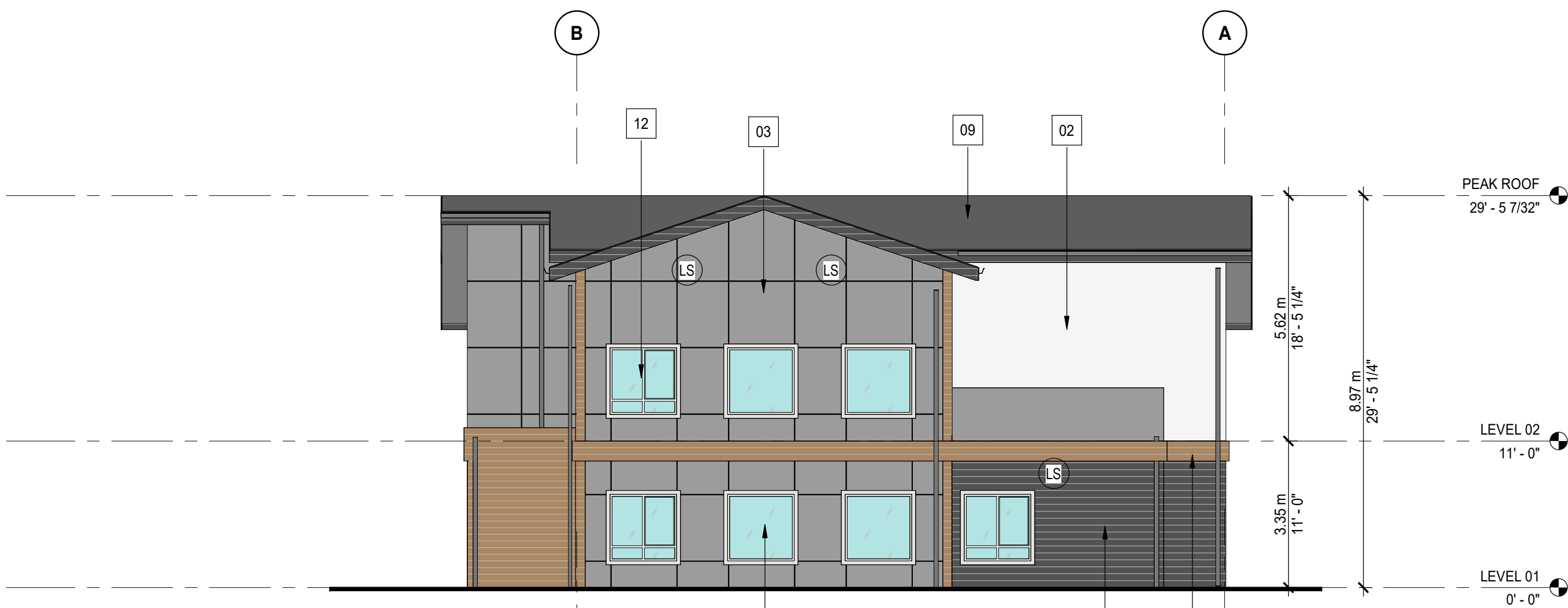
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Project No.
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Drawing No.
DP-20-06

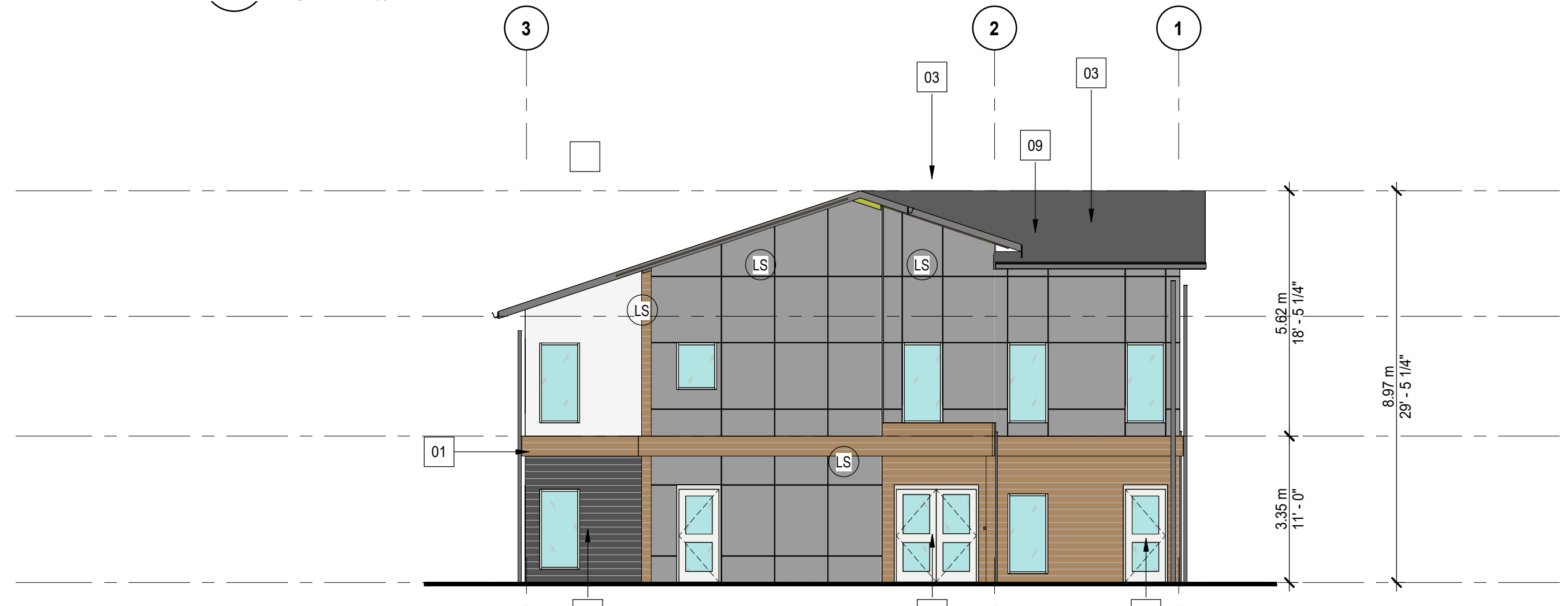
7 OVERALL AMENITY SECTION - EAST-WEST

DP-20-06 SCALE: 1:100



3 AMENITY ELEVATION - EAST

DP-20-06 SCALE: 1:100

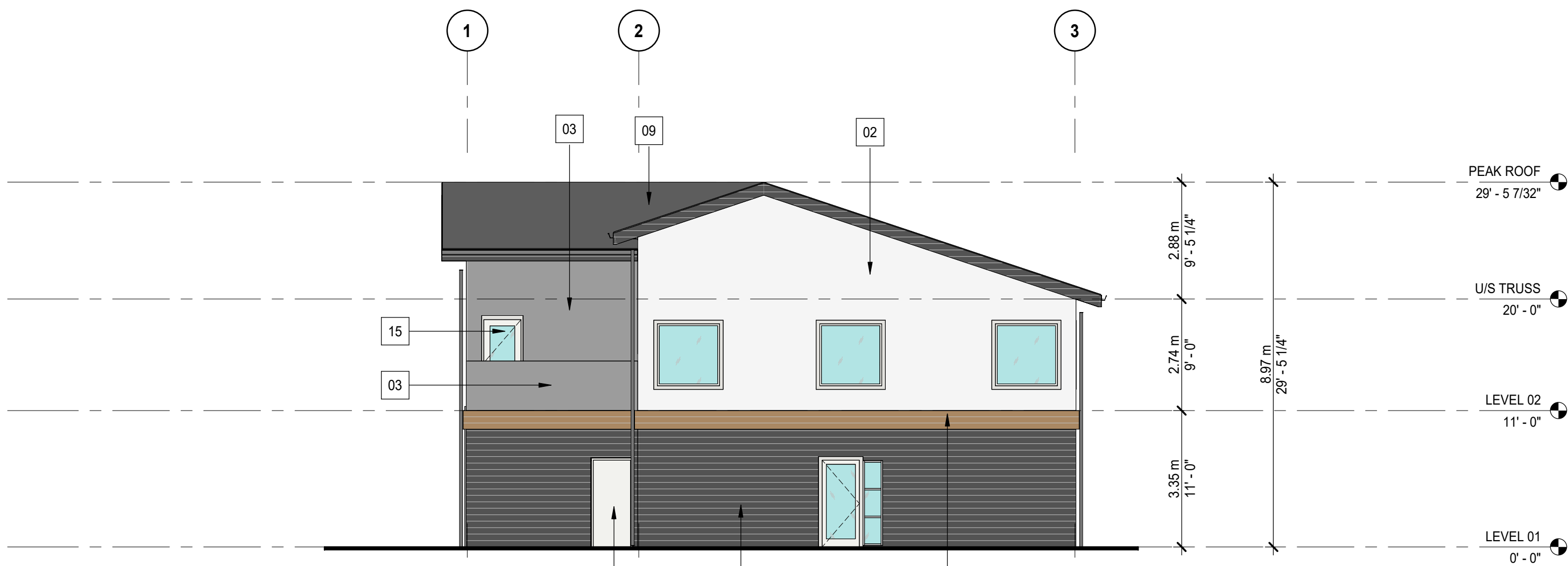


5 AMENITY ELEVATION - SOUTH

DP-20-06 SCALE: 1:100

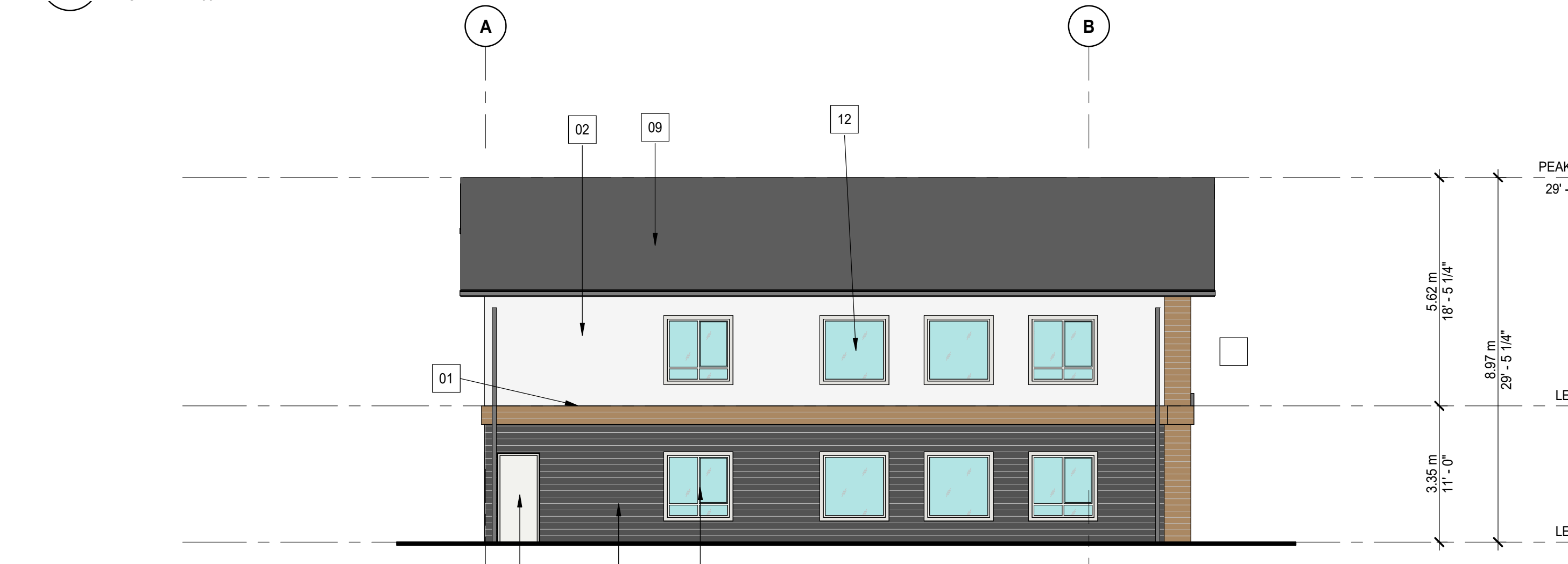
8 OVERALL AMENITY SECTION - NORTH - SOUTH

DP-20-06 SCALE: 1:100



4 AMENITY ELEVATION - NORTH

DP-20-06 SCALE: 1:100



6 AMENITY ELEVATION - WEST

DP-20-06 SCALE: 1:100

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