



MARLBOROUGH GROUP

BEDDINGTON VILLAGE COMMERCIAL REDEVELOPMENT PROJECT

Municipal: 8282 Centre Street, Calgary, AB T3K 2X4
Legal: Lot 2, Block 1, Plan 791 0545

DRAWING LIST

SURVEY

SURVEY

CIVIL

- 01 SITE SERVICING PLAN
- 02 SITE GRADING PLAN

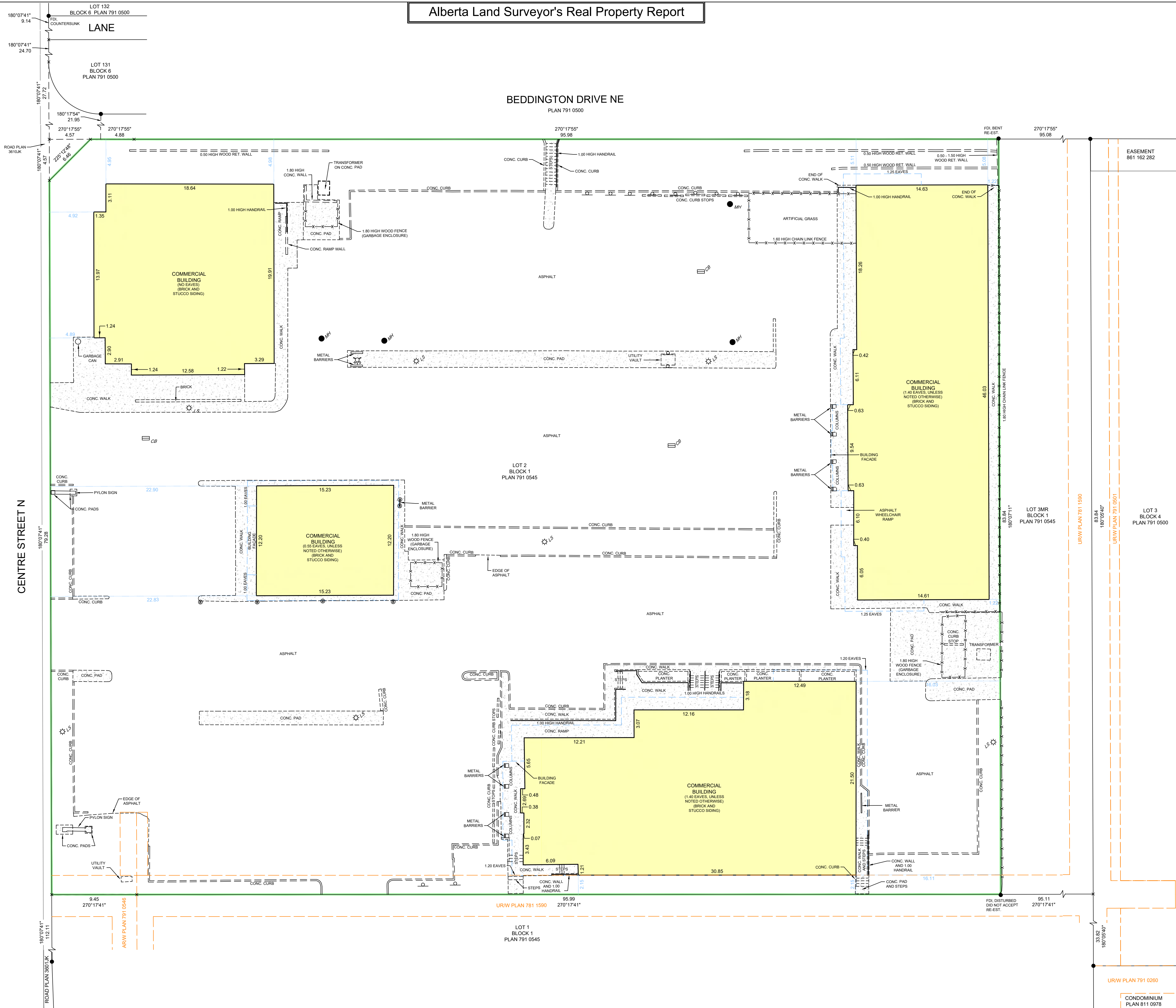
ARCHITECTURAL

- A001 BYLAW ANALYSIS, CONTEXT PLAN & SITE PHOTOGRAPHS
- A101 SITE PLANS
- A102 LANDSCAPE PLAN
- A201 MAIN FLOOR PLAN
- A301 EXTERIOR ELEVATIONS - DEMOLITION
- A302 EXTERIOR ELEVATIONS - PROPOSED
- A401 BUILDING SECTIONS

ELECTRICAL

- E0-1 LEGEND NOTES AND DRAWING LIST

Alberta Land Surveyor's Real Property Report



TO: (CLIENT) ROYOP (BEDDINGTON) DEVELOPMENT LTD.
(OWNERS) ROYOP (BEDDINGTON) DEVELOPMENT LTD.
510, 211 11th AVENUE SW
CALGARY, ALBERTA
RE: LOT 2, BLOCK 1, PLAN 791 0545
8282 CENTRE STREET N
CALGARY, ALBERTA
DATE OF SURVEY: MAY 19, 2025
DATE OF TITLE SEARCH: MAY 5, 2025
C. of T. No.: 131 294 976

- NOTES:
- Unless otherwise specified, the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.
 - Property is subject to zoning regulations registered as No. 771 147 064.
 - Property is subject to utility right of way registered as No. 781 203 074, 791 059 391.
 - Property is subject to restrictive covenant registered as No. 881 126 957.
 - Property is subject to caveats registered as No. 991 338 074, 021 242 875, 021 402 375, 131 082 908, 151 106 367, 191 025 838, 191 025 839, 191 025 840, 201 095 813.

LEGEND:
Distances shown are in metres and decimals thereof.
Found Statutory Iron Posts are shown thus:
Found No Mark, re-established location shown thus:
Catch basins are shown thus:
Hydrants are shown thus:
Light standards are shown thus:
Manholes are shown thus:
Power poles are shown thus:
Signs are shown thus:
Bollards are shown thus:
Eaves are dimensioned to the line of fascia.
Fences are within 0.20 of the property line unless otherwise noted and are shown thus:

CERTIFICATION:
I hereby certify that this Report, which includes the attached Plan and related Survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association Manual of Standard Practice and supplements thereto. Accordingly within those standards as of the date of this Report, I am of the opinion that:
1. the plan illustrates the boundaries of the property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the property;
2. the improvements are entirely within the boundaries of the property, (except as noted herein);
3. no visible encroachments exist on the property from any improvements situated on an adjoining property, (except as noted herein);
4. no visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, (except as noted herein).

PURPOSE:
This Report and the related plan have been prepared for the benefit of the property owner, subsequent owners and any of their agents for the purpose of (a) land conveyance, support of a subdivision application, a mortgage application, a submission to the municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the property have been shown on the attached plan. Unless shown otherwise, property corners have not been placed during the survey for this report.
The attached plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user.
The information shown on this Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

Dated at Calgary, Alberta
This 22nd day of May, 2025.
BRETT ELDER, A.L.S. 2025
This document is not valid unless it bears an original signature.

DRAWN: S.C.
DATE: MAY 22 2025
SCALE: 1:200
FILE NO: 25-1132-RPR1-0
COPYRIGHT © 2025
TRONNES GEOMATICS INC.



K:\2441-8282 Centre St NE\Drawings\2441-DSSP(2026-06-17).dwg, Service, 06/19/2026, 11:01 am, AMDB600G

SUMP PUMP IS REQUIRED FOR THE SANITARY SYSTEM DUE TO THE RELATIVELY SHALLOW SAN INVERTS

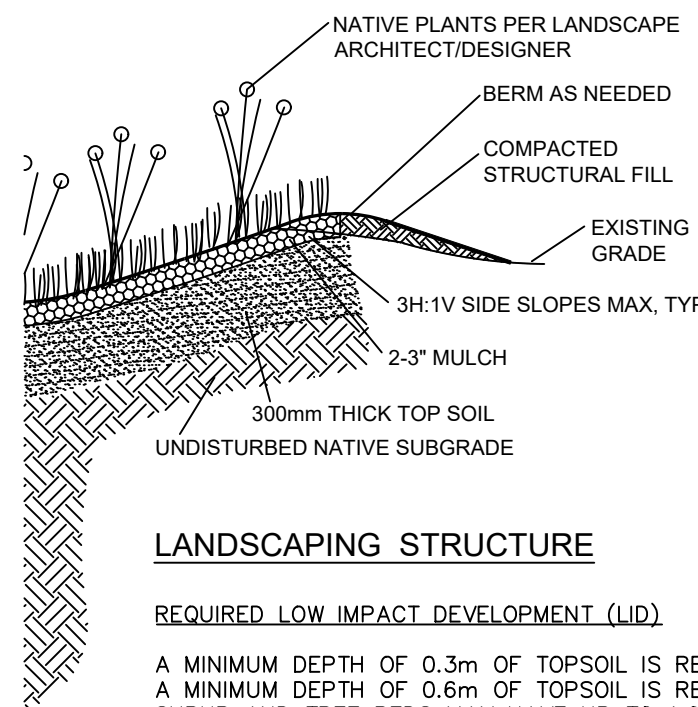
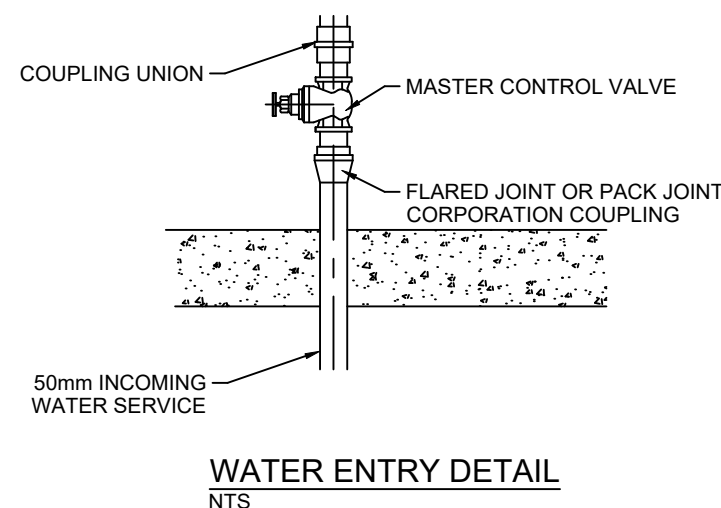
WATER LINE MUST BE JOINTLESS WHEN LOCATE BELOW THE SLAB

RISER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

NOTIFY WATERWORKS INSPECTION DIVISION PRIOR TO ANY ON-SITE UTILITY INSTALLATION

EXISTING WATER SERVICES TO BE KILLED AT MAIN PRIOR TO PROPOSED SERVICES BEING ACCEPTED BY INSPECTION SERVICES

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY



LANDSCAPING STRUCTURE

REQUIRED LOW IMPACT DEVELOPMENT (LID)

A MINIMUM DEPTH OF 0.3m OF TOPSOIL IS REQUIRED FOR SOD AREAS
A MINIMUM DEPTH OF 0.6m OF TOPSOIL IS REQUIRED SHRUB AND TREE BEDS
SHRUB AND TREE BEDS MAY HAVE UP TO 1.0m DEPTH OF TOPSOIL
SITE GRADING SHOULD DIRECT RAIN WATER RUNOFF TO PLANTS WITH HIGH WATER NEEDS TO REDUCE RELIANCE ON POTABLE WATER

- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD OF CITY OF CALGARY OR THE SURVEY PLAN PROVIDED BY THE SURVEY COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START.
- FAILURE TO DO SO MAY RESULT IN A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

CITY OF CALGARY DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED		INITIAL	DATE
CIRCULATION TO			
WATER RESOURCES			
REVIEW AND INSPECTION BY THE CITY IS NOT SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.			
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.			

RICHVIEW ENGINEERING INC.
CONSULTING ENGINEERS
UNIT 130, 201 - 38th AVE NE CALGARY, ALBERTA T2E 2M3
PHONE: (403) 230-3218 FAX: (403) 230-3208

THIS DRAWING MAY NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHVIEW ENGINEERING INC.

NOTES:

- ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
- ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
- ALL ELEVATIONS REFERENCED TO 1000 m GEODETIC DATUM.
- ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
- WATER SERVICES SHALL HAVE A MIN. OF 3.0m COVER IN CLAY SOIL CONDITIONS AND 3.5m IN GRAVEL CONDITIONS.
- WATER MAINS 150mm OR LARGER SHALL BE PVC DR18.
- ALL HYDRANT LEADS OR TO BE PVC DR18.
- ALL SANITARY & STORM MAINS 150mm OR LARGER SHALL BE SDR-35.
- ALL SANITARY SERVICES 100mm OR SMALLER SHALL BE SDR-28.
- ALL PE WATER SERVICES SHALL BE DR 11.
- SAN & STM SERVICES ARE TO BE BROUGHT TO 1.5m INSIDE THE FOUNDATION WALL, WATER SERVICES ARE TO BE BROUGHT INTO THE METER ROOM.
- MANHOLES TO BE TYPE 5A SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
- ALL CONCRETE SEWER PIPES, MANHOLES, CATCH BASIN BARRELS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
- ALL STORM AND SANITARY SEWER PIPE BEDDINGS FOR PIPE SIZES 100mm TO 375mm TO BE CLASS II IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATIONS IN ASTM D2321.
- WEEDING IS REQUIRED CONNECT TO SUMP PUMP, WEEDING TILE SHALL BE PUMP TO GRADE TO A POINT PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP AND EVENTUALLY FLOW TO ONSITE STORM SYSTEM AS PER ALBERTA BUILDING CODE.
- ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
- EXACT ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO FINAL ASPHALT LIFT.
- PLASTIC PLUGS BY NORWOOD FOUNDRY OR EQUIVALENT TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LOMS.
- ALL CATCH BASINS SHALL BE TYPE 'C' OTHERWISE NOTED.
- WATER RISER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

LEGEND:

	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	ST 250 PVC	EX ST 250 PVC
SANITARY SEWER	S 250 PVC	EX S 250 PVC
WATER MAIN	W 250 PVC	EX W 250 PVC
CATCH BASIN	○	○
MANHOLE	○	○
WATER VALVE	○	○
FIRE HYDRANT	○	○
CAPPED PIPE END	○	○
GRADE	○	○
WATER METER	○	○
REDUCER	○	○
CHECK VALVE	○	○
LIGHT STANDARD	○	○
ICD	○	○

MUNICIPAL ADDRESS
8282 CENTRE ST NE CALGARY, AB
LEGAL ADDRESS
LOT 2 BLOCK 1
PLAN 791 0545
SW 1/4 SEC 15 TWP 25 RGE 01 W5th M

REVISIONS

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK
D4	26	06	18	FOR COORDINATION WITH UPDATED SITE PLAN	DC	RL
D3	26	05	22	FOR COORDINATION WITH UPDATED SITE PLAN	DC	RL
D2	26	05	15	FOR ARCHITECT'S REVIEW AND COMMENT	DC	RL
D1	26	05	06	FOR ARCHITECT'S REVIEW AND COMMENT	DC	RL

PERMIT	Y	M	D	ISSUE/REVISION DESCRIPTION	SEAL
PERMIT TO PRACTICE RICHVIEW ENGINEERING INC. Signature _____ Date 19 Jun 26 PERMIT NUMBER: P09809 The Association of Professional Engineers, Geologists and Geophysicists of Alberta					

19 Jun 26

CLIENT

PROJECT

8282 CENTRE ST NE
CALGARY, AB

DESIGN: RL
DRAWN: DC
CHECKED: RL

SITE SERVICING PLAN

DATE: JUN 18 2026	DEVELOPMENT PERMIT No. DP	PROJECT No. 2441	DWG. No. 01	ISS/REV D4
SCALE: 1:150	DSSP ORC. No. DSSP			

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OF RICHVIEW ENGINEERING INC.

NOTES:

1. ALL DIMENSIONS ARE IN METERS AND DECIMALS THEREOF.
2. ALL ELEVATIONS REFERENCED TO 1100 GEODETIC DATUM.
3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
5. ALL CURB REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
6. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
7. MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.4m.
8. MINIMUM VERTICAL CLEARANCE REQUIRED FOR SANITATION VEHICLES IS 4.3m.
9. HEAVY DUTY ASPHALT TO BE A DEPTH AND CLASS TO CARRY A LOADED COLLECTION VEHICLE (25,000 kg).
10. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOCATED TO ENSURE EASY COLLECTION VEHICLE ACCESS.
11. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.

LEGEND

- PROPOSED GRADE $\rightarrow$ $\times$ 17.10
- PROPOSED SLOPE $\rightarrow$ 1.00%
- EXISTING GRADE $\rightarrow$ $\times$ 17.10
- SLAB ELEVATION MF=48.75
- TOP/BOTTOM OF RETAINING STRUCTURES $\times$ 47.70 / 47.64

MUNICIPAL ADDRESS
8282 CENTRE ST NE CALGARY, AB
LEGAL ADDRESS
LOT 2 BLOCK 1
PLAN 791 0545
SW 1/4 SEC 15 TWP 25 RGE 01 W5th M

REVISIONS

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PERMIT SEAL

PERMIT TO PRACTICE
RICHVIEW ENGINEERING INC.
Signature 
Date 19 Jun 26
PERMIT NUMBER: P09809
The Association of Professional Engineers,
Geologists and Geophysicists of Alberta

19 Jun 26

CLIENT

PROJECT

8282 CENTRE ST NE
CALGARY, AB

DESIGN:
RL
DRAWN:
DC
CHECKED:
RL

SITE GRADING
PLAN

DATE: JUN 18 2026	DEVELOPMENT PERMIT No. DP	PROJECT No. 2441	DWG. No. 02	ISS/REV. D4
SCALE: 1:150	DSSP CIRC. No. DSSP			

BEDDINGTON DRIVE NE

LOG

EX ELEC VAULT / BOX

EX BOLLARDS

EX ELEC PAD / BOX

EX CITY SIDEWALK

CENTRE ST N

LOG

GRASS

EX SIGN

EX SIGN EX PYLON SIGN

EX BUILDING

EX BUILDING

LOT 2
BLOCK 1
PLAN 791 0545

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY

ALL TOP OF WINDOW WELLS MUST BE AT LEAST
300MM HIGHER THAN SPILL ELEVATION (42.00)

NOTE: THE HEIGHT OF THE RETAINING WALL/CURB
IS MEASURED FROM FINISHED GRADES TO FINISHED
GRADES. THE FREE-STANDING/BURIED PORTIONS
ARE NOT INCLUDED IN THE HEIGHT MEASUREMENT.

- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC. SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.

PROJECT INFORMATION

The proposed development at Beddington Plaza consists of a comprehensive renovation of the existing commercial building located at 8282 Centre Street NE, Calgary, along with a one-storey addition at the northwest corner of the site. The addition is constrained to terminate at the existing pedestrian pathway within the parking area and is intended to integrate seamlessly with the existing plaza fabric. Area of intervention shall herein be referred to as **Development Area**

MUNICIPAL ADDRESS:
8282 CENTRE STREET N, CALGARY AB.
LEGAL ADDRESS:
LOT 2, BLOCK 1, PLAN 791 0545
LAND USE: C-N2

SETBACKS:

FRONT SETBACK (STREETS): 3 m
SIDE SETBACK (S-SPR): 3 m
REAR SETBACK (COMMERCIAL): 0 m

BUILDING HEIGHT: 6.6 m
ALLOWABLE: 10 m

AREA STATEMENT (m²)

PARCEL	8,803
DEVELOPMENT AREA	2,191
EXISTING BUILDING (RENOVATION)	360.05
PROPOSED BUILDING ADDITION	547.56
GROSS FLOOR AREA	907.6

FAR

ALLOWED: 1
PROPOSED: 0.278

VEHICLE PARKING

Bylaw 48P2020 amends the Land Use Bylaw to eliminate minimum parking requirements from the bylaw for businesses uses. Barrier free parking satisfied by existing parcel conditions.
1 Additional barrier free parking provided as part of this development.

LOADING STALLS

Parcel contains existing loading stall as required. No additional loading stall is provided.

WASTE COLLECTION SUMMARY

PROPOSED DEVELOPMENT	907m ²
EXISTING BUILDING 2	681m ²
EXISTING BUILDING 3	668m ²
EXISTING BUILDING 4	185m ²
	2441m ²

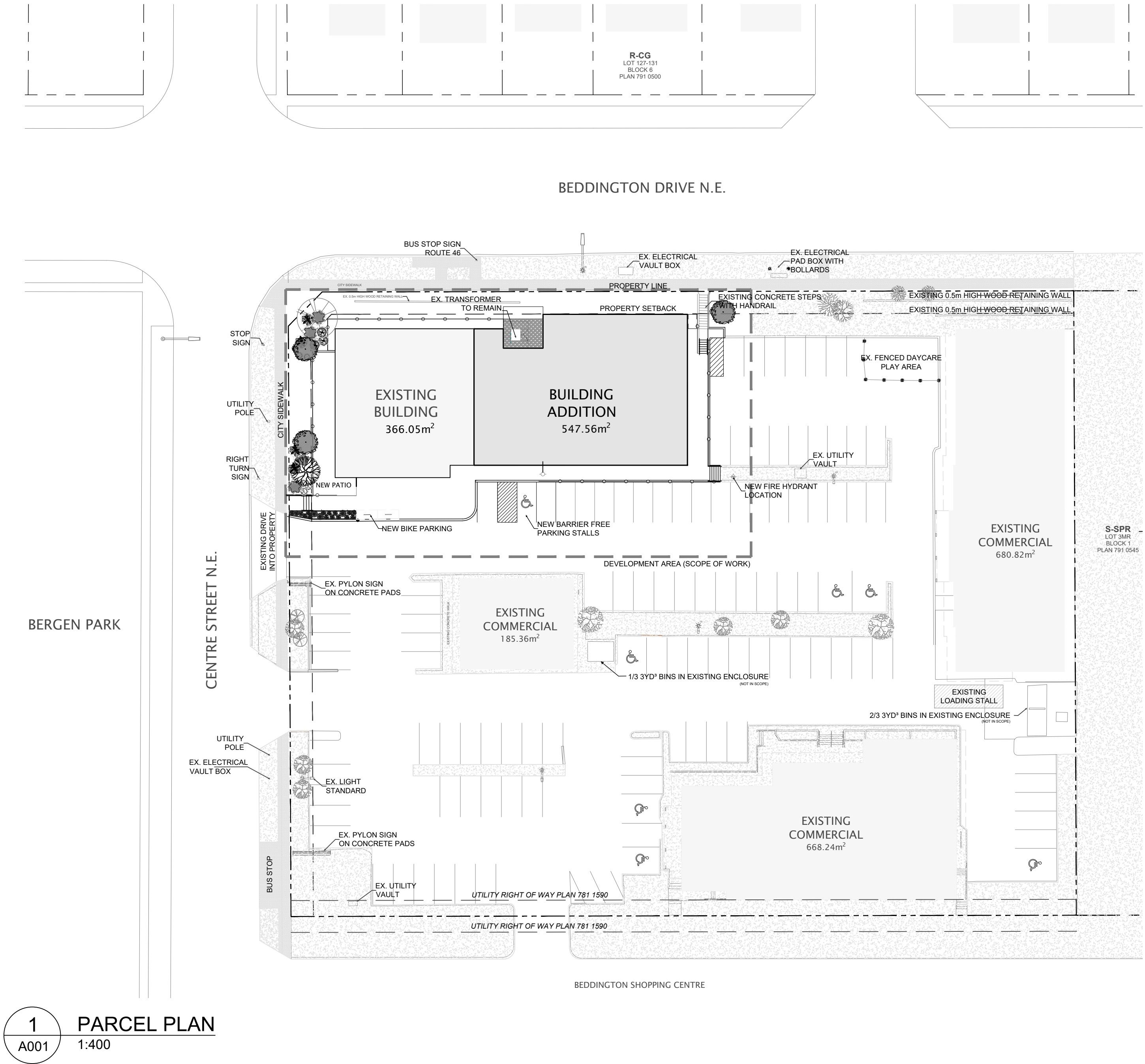
WASTE CALCULATION: 9m³/ WEEK (3 X 3YD BINS)

BICYCLE PARKING

	REQUIRED	PROVIDED
CLASS 1	0	0
CLASS 2	4	4

LANDSCAPING SETBACK

AREA = 271 m²	REQUIRED	PROVIDED
TREES	5	5
SHRUBS	11	14



SITE PHOTOGRAPH
View from South



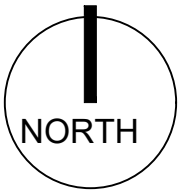
SITE PHOTOGRAPH
View from East



SITE PHOTOGRAPH
View from South East



SITE PHOTOGRAPH
View from North West



LOLA
Architecture

Suite 620, 333 11 Avenue SW
Calgary, AB T2R 1L9
info@lolaarchitecture.ca
403.289.2891

Project Team
Architect / Prime Consultant
LOLA Architecture
Structural Consultant
Skyspace Engineering Corp.
Mechanical Consultant
Reinbold Engineering Group
Electrical Consultant
Eleqron Inc.
Civil
Richview Engineering Inc.

Client

Marlborough
GROUP

Consultant

Seal

Drawing History

No.	Issued For	Date
01	DEVELOPMENT PERMIT	2026-06-22

Project No.	Drawn/Checked
2026-010	AB / EL

Project
**BEDDINGTON VILLAGE
COMMERCIAL
REDEVELOPMENT**

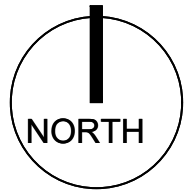
Municipal: 8282 CENTRE STREET N, Calgary, AB
Legal: LOT 2, BLOCK 1, PLAN 791 0545

Drawing Title
PROJECT INFORMATION

Scale
As Noted

Drawing Number

A001



Client

**Marlborough
GROUP**

Consultant

Seal

Drawing History

01	DEVELOPMENT PERMIT	2026-06-22
No.	Issued For	Date

Project No. 2026-010
Drawn/Checked AA / EL

**BEDDINGTON VILLAGE
COMMERCIAL
REDEVELOPMENT**

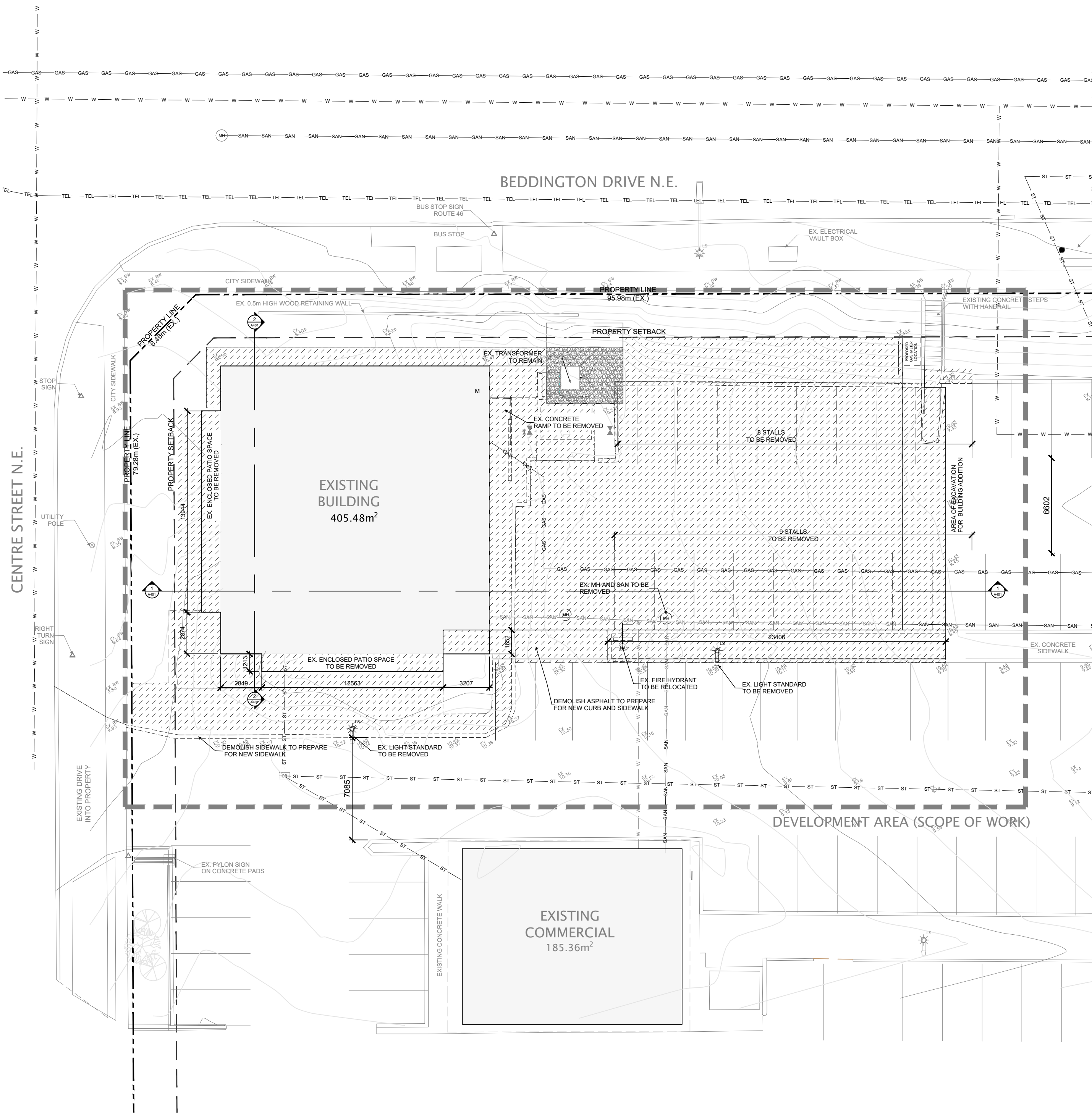
Municipal: 8282 CENTRE STREET N, Calgary, AB
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**Drawing Title
PROPOSED SITE PLAN**

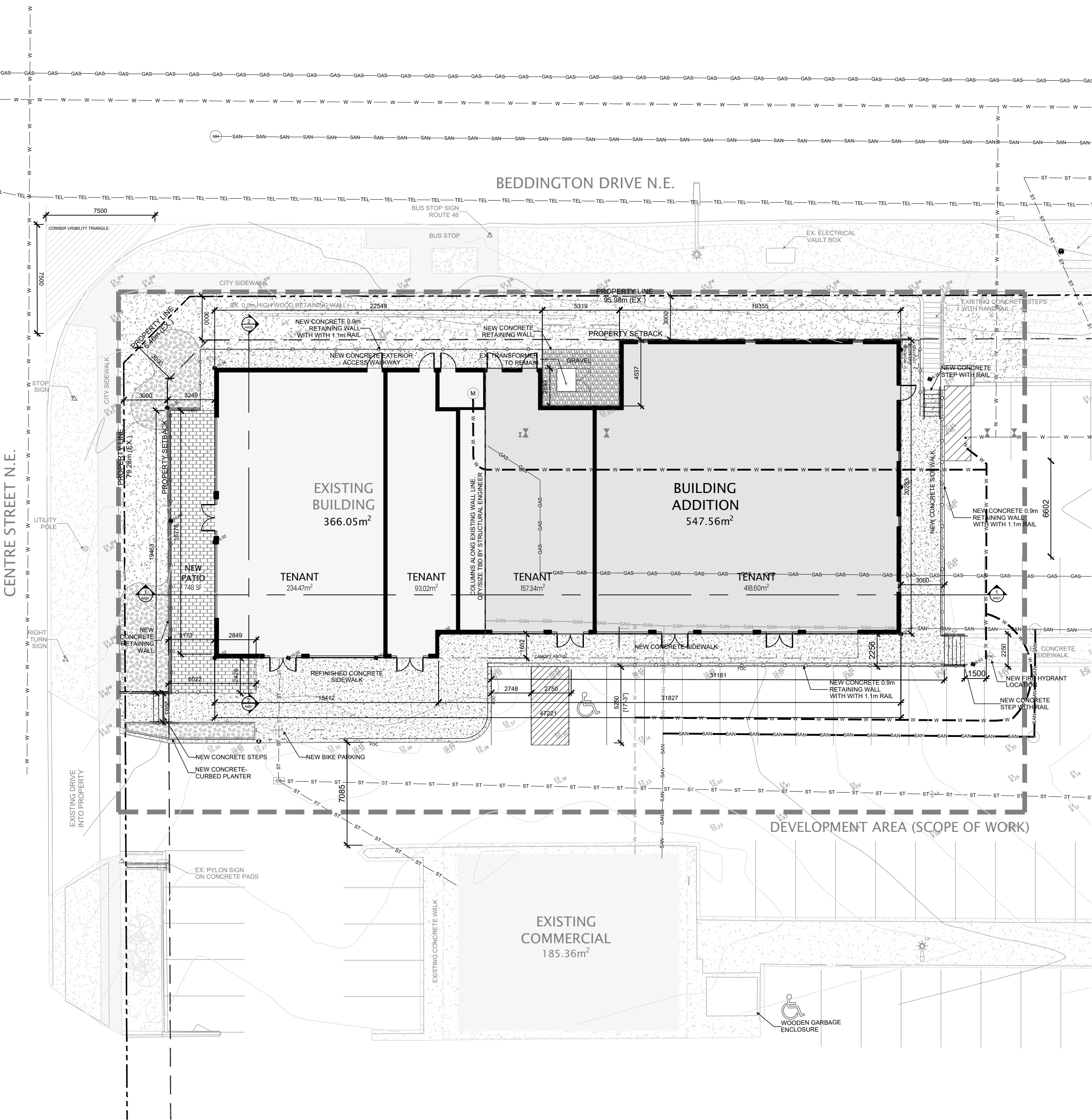
Scale 1:200

Drawing Number

A101



1
A101
SITE PLAN - DEMOLITION
Scale: 1:200



2
A101
SITE PLAN - PROPOSED CONSTRUCTION
Scale: 1:200

GENERAL NOTES

- REFER TO ELECTRICAL FOR LIGHTING
- REFER TO ELEVATIONS FOR SIGNAGE

SITE PLAN LEGEND

	EXISTING GRADES TOP/BOTTOM OF RETAINING STRUCTURES
	NEW GRADES
	PROPERTY LINE
	PROPERTY SETBACK
	STORM LINE
	SANITARY EXISTING
	WATER MAIN EXISTING
	WATER MAIN NEW
	NATURAL GAS LINE
	TELECO & CABLE LINE
	MAN HOLES
	POWER POLES
	WATER MAIN VALVE
	CATCH BASIN
	LIGHT POLES



Project Team
Architect / Prime Consultant
LOLA Architecture
Structural Consultant
Skyspace Engineering Corp.
Mechanical Consultant
Reinbold Engineering Group
Electrical Consultant
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Richview Engineering Inc.

Marlborough
GROUP

Seal

Drawing History

01	DEVELOPMENT PERMIT	2026-06-22
No.	Issued For	Date

Project No.	Drawn/Checked
2026-010	AA / EL

Project
**BEDDINGTON VILLAGE
COMMERCIAL
REDEVELOPMENT**

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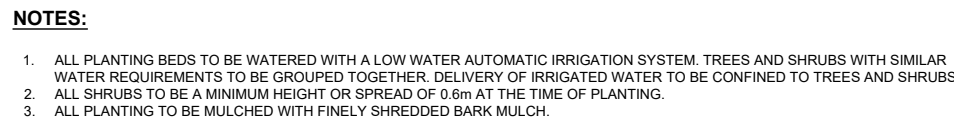
Drawing Title

LANDSCAPE PLAN

Scale 1:150

Drawing Number

A102



LANDSCAPE PLAN LEGEND

	EXISTING TREES TO BE REMOVED		EXISTING GRADES
	EXISTING DECIDUOUS TREE TO REMAIN		TOP/BOTTOM OF RETAINING STRUCTURES
	EXISTING BUILDING FOOTPRINT		NEW GRADES
	BUILDING ADDITION FOOTPRINT		PROPERTY LINE
	CONCRETE SURFACE		PROPERTY SETBACK
	CONCRETE CURB		STORM LINE
	SOD SURFACE		SANITARY INE
	CONCRETE PAVING STONE SURFACE		WATER MAIN EXISTING
	SOFT SURFACE LANDSCAPING		WATERMAIN NEW
	LIGHT POLES		NATURAL GAS KINE
	FIRE HYDRANT		TELCO & CABLE LINE

LANDSCAPE	REQUIRED	PROVIDED
DEVELOPMENT AREA		2191.00 m ²
TOTAL LANDSCAPED AREA (WITHIN DEV. AREA)	682 m ²	
TOTAL SOFT LANDSCAPED AREA	344 m ²	
TOTAL HARD LANDSCAPED AREA	338 m ²	
TOTAL HARD LANDSCAPED AREA %	49%	

TREES	REQUIRED	PROVIDED
TOTAL CONIFEROUS TREES	4	2
TOTAL DECIDUOUS TREES	1	
TOTAL EXISTING TREES		
TOTAL TREES	5	1

SHRUBS	REQUIRED	PROVIDED
0.6m Ht/SPREAD SHRUBS	11	17

PLANT SCHEDULE

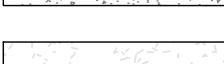
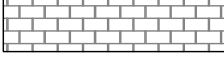
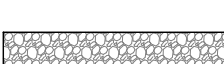
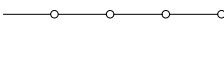
TREE	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	AT MATURITY (mm)	QTY
	IST	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	75mm B&B: SINGLE STEM	HEIGHT: 6,000-7,500 SPREAD: 3,000-4,500	3
	CSP	PINUS SYLVESTRIS 'FASTIGIATA'	COLUMNAR SCOTCH PINE	3,000 mm HT B&B	HEIGHT: 9,000-15,000 SPREAD: 3,000-4,000	1

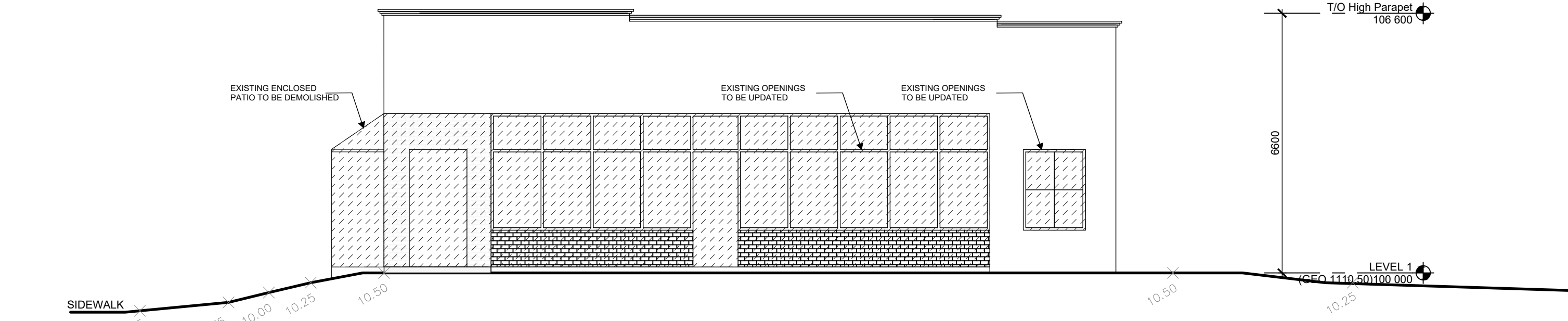
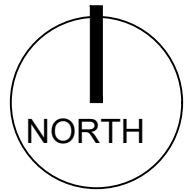
SHRUB	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT / SPREAD AT MATURITY	QTY
	RCD	CORNUS STOLONIFERA	RED OSIER DOGWOOD	#3	HEIGHT: 1,800-2,700 SPREAD: 1,800-3,000	3
	BFW	SALIX BRACHYCARPA 'BLUE FOX'	BLUE FOX WILLOW	#5	HEIGHT: 1,800-2,400 SPREAD: 1,800-2,400	3
	MLJ	JUNIPERUS HORIZONTALIS 'MOTHER LOAD'	MOTHER LOAD JUNIPER	#2	HEIGHT: 150-300 SPREAD: 1,800-2,400	4
	HSG	BERBERIS THUNBERGII 'SUNSET'	SUNSET JAPANESE BARBERRY	#3	HEIGHT: 900-1,200 SPREAD: 900-1,200	3
	BCJ	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#2	HEIGHT: 150-300 SPREAD: 1,500-1,800	4

GRASS	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT & SPREAD AT MATURITY	QTY
	HSG	ANDROPOGON GERARDII HOLY SMOKE	HOLY SMOKE BLUESTEM GRASS	#2	HEIGHT: 900-1200 SPREAD: 600-900	9
	PDG	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED GRASS		#2	HEIGHT: 600-900 SPREAD: 600-900	3
	BOG	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#2	HEIGHT: 600-900 SPREAD: 600-900	7

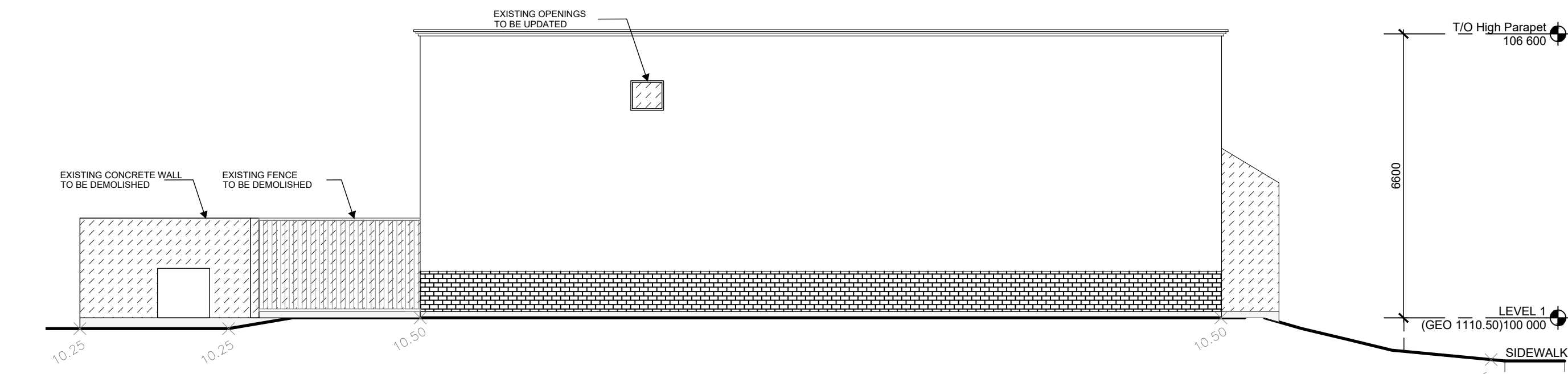
MATERIALS SCHEDULE

(Areas taken within property line and scope of Development Area)

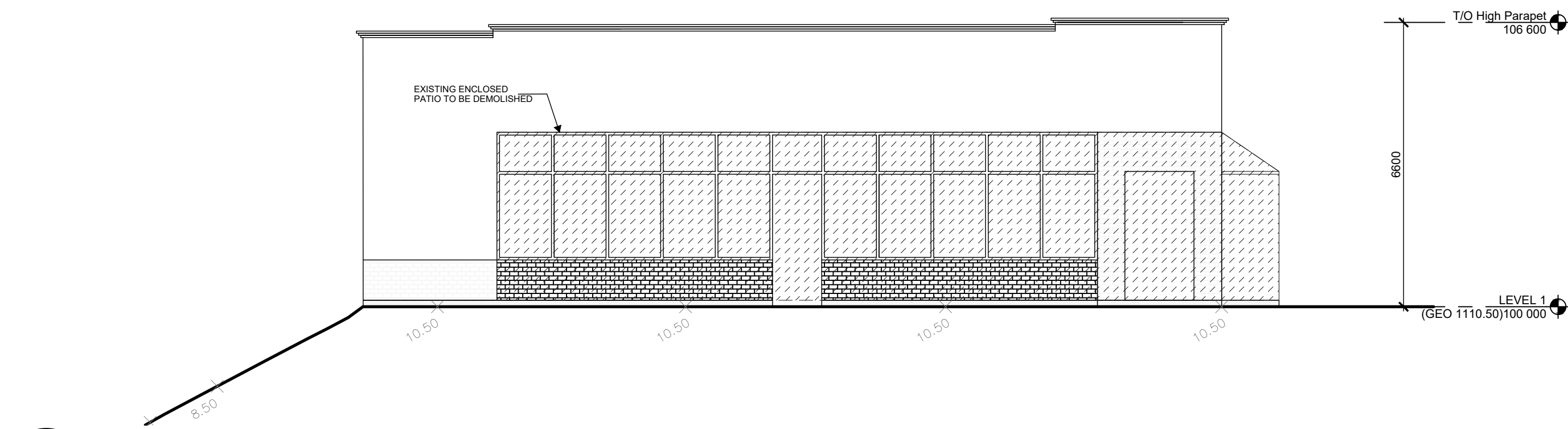
	001	CAST-IN-PLACE CONCRETE	####
	002	ECO SOD	####
	003	CONCRETE PAVERS	####
	004	MULCH - 75 MM DEPTH FINELY SHREDDED PERENNIAL PLANTING BED	####
	005	GRAVEL MULCH - 75 MM DEPTH	####
	006	1,100MM PAINTED METAL RAILING	
	007	EXISTING ASPHALT SURFACE, TO BE REPAIRED AND RESURFACED AS REQUIRED	####
	008	EXISTING SIDEWALK CONCRETE	



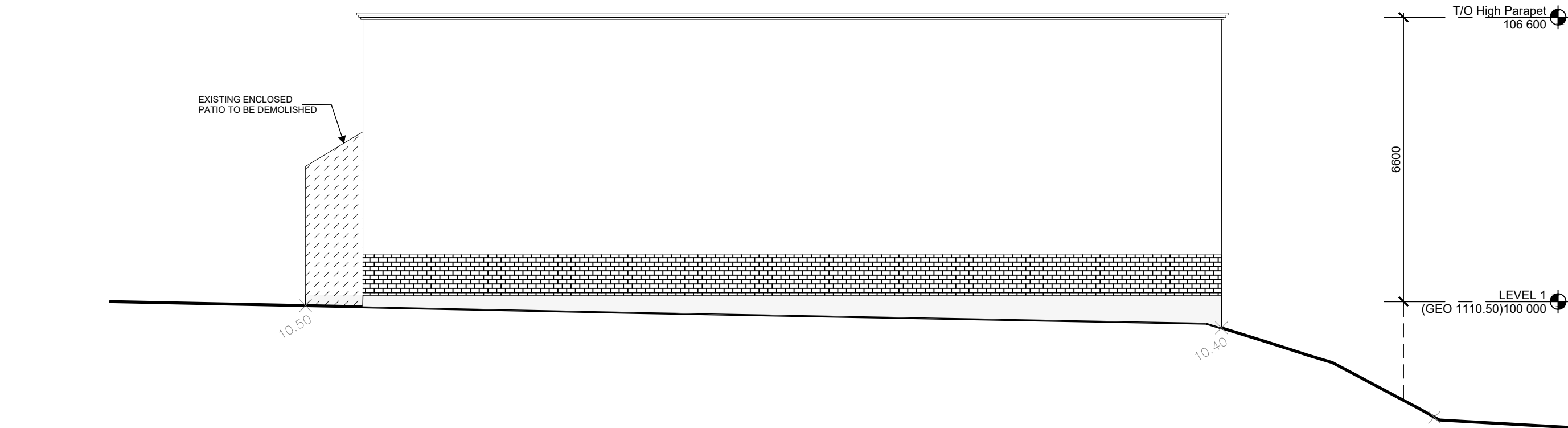
1 SOUTH ELEVATION - DEMO
Scale: 1:100



2 NORTH ELEVATION - DEMO
Scale: 1:100



3 WEST ELEVATION - DEMO
Scale: 1:100



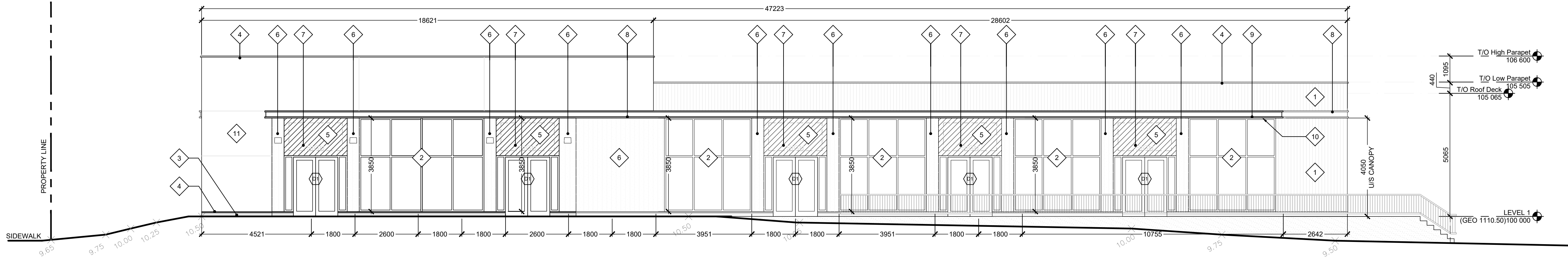
4 EAST ELEVATION - DEMO
Scale: 1:100

GENERAL NOTES

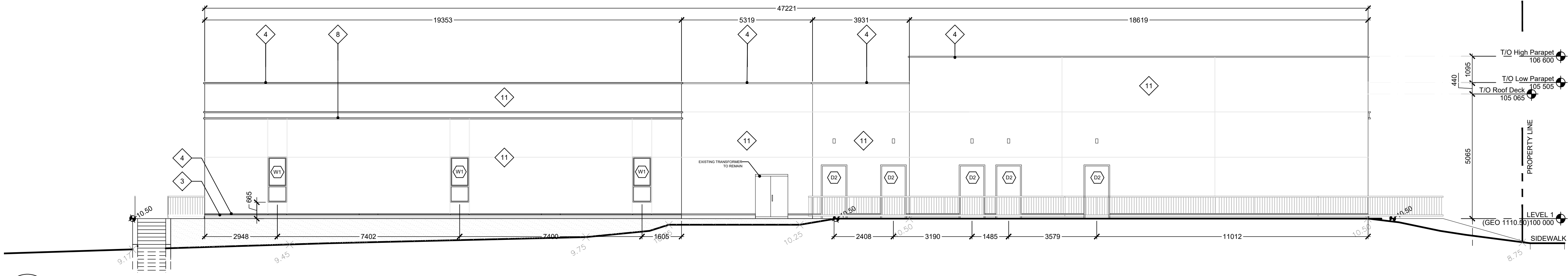
1. ALL EXTERIOR FINISHES TO BE REPLACED

ELEVATION LEGEND

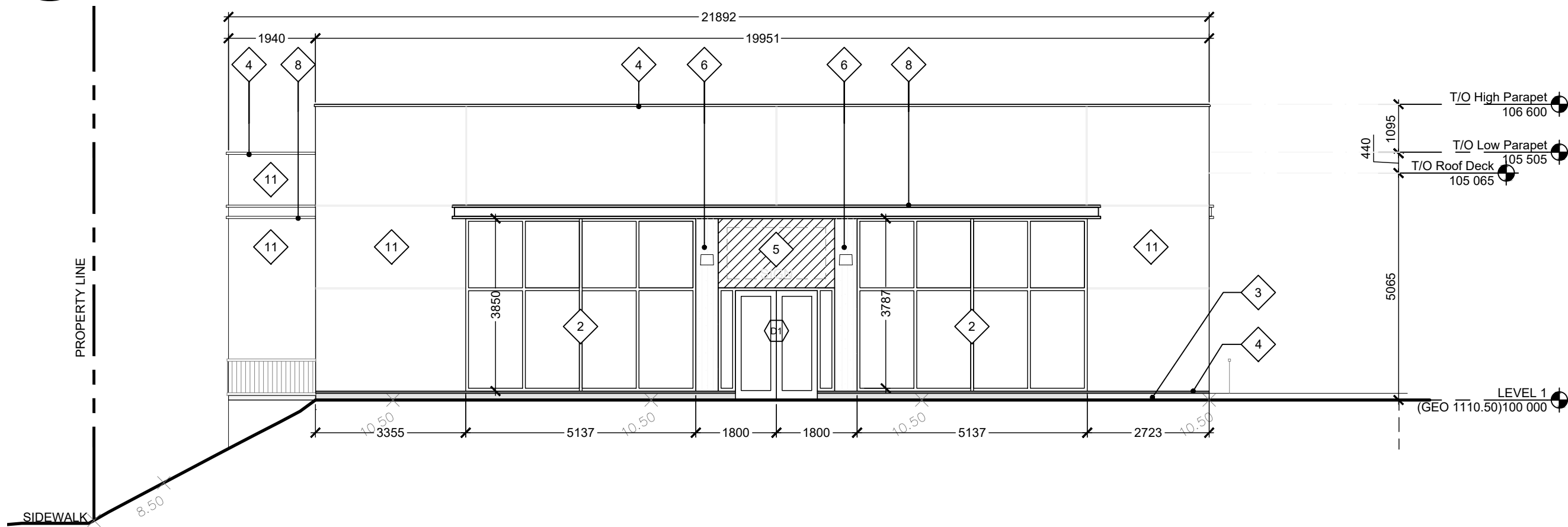
- DEMOLISH AS INDICATED
EXISTING BRICK FINISH



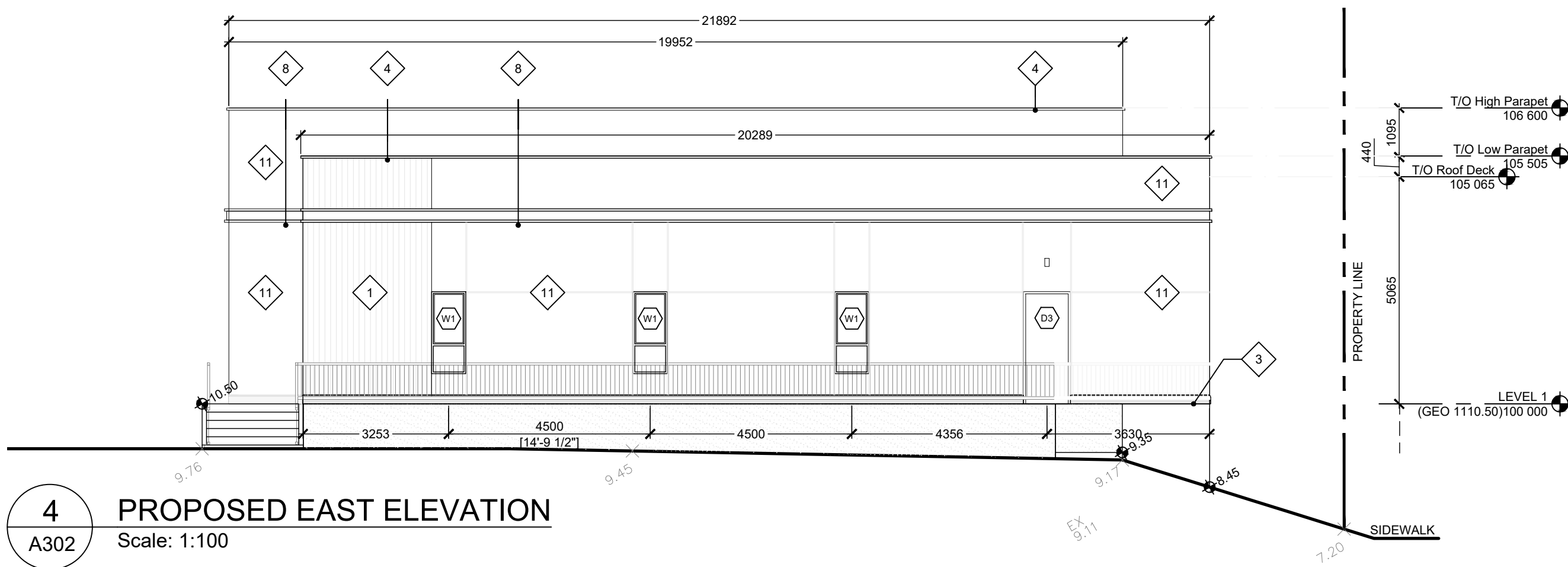
1 PROPOSED SOUTH ELEVATION
A302 Scale: 1:100



2 PROPOSED NORTH ELEVATION
A302 Scale: 1:100



3 PROPOSED WEST ELEVATION
A302 Scale: 1:100



4 PROPOSED EAST ELEVATION
A302 Scale: 1:100