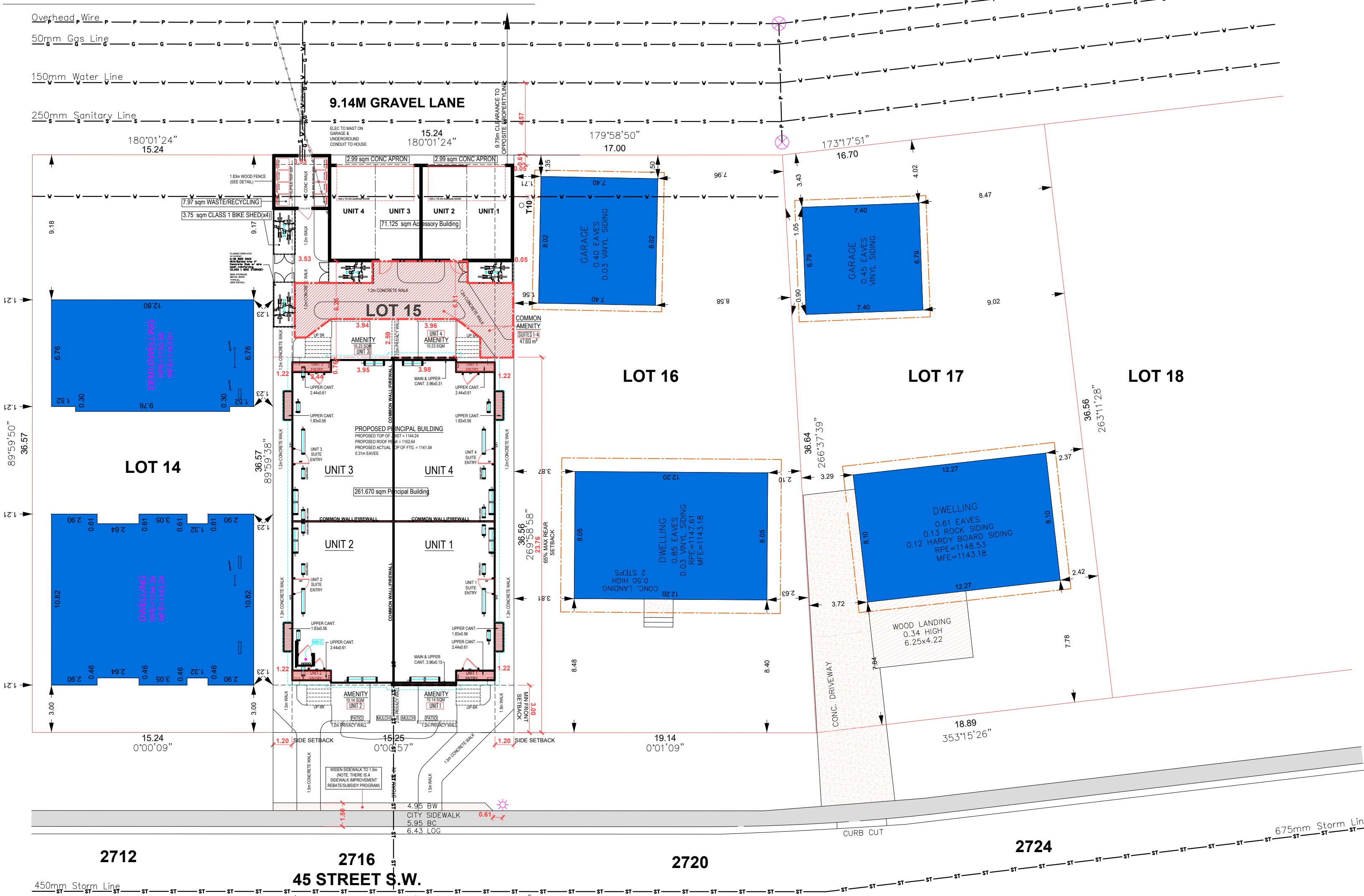
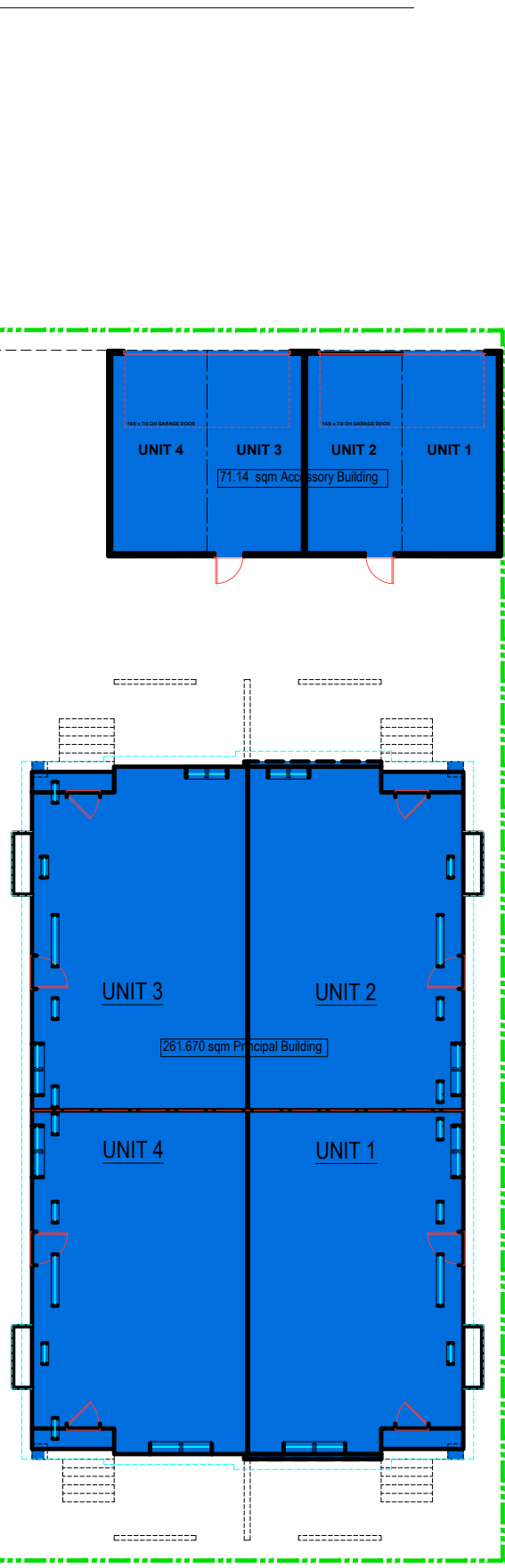


PROPOSED SITE/BLOCK PLAN



COVERAGE

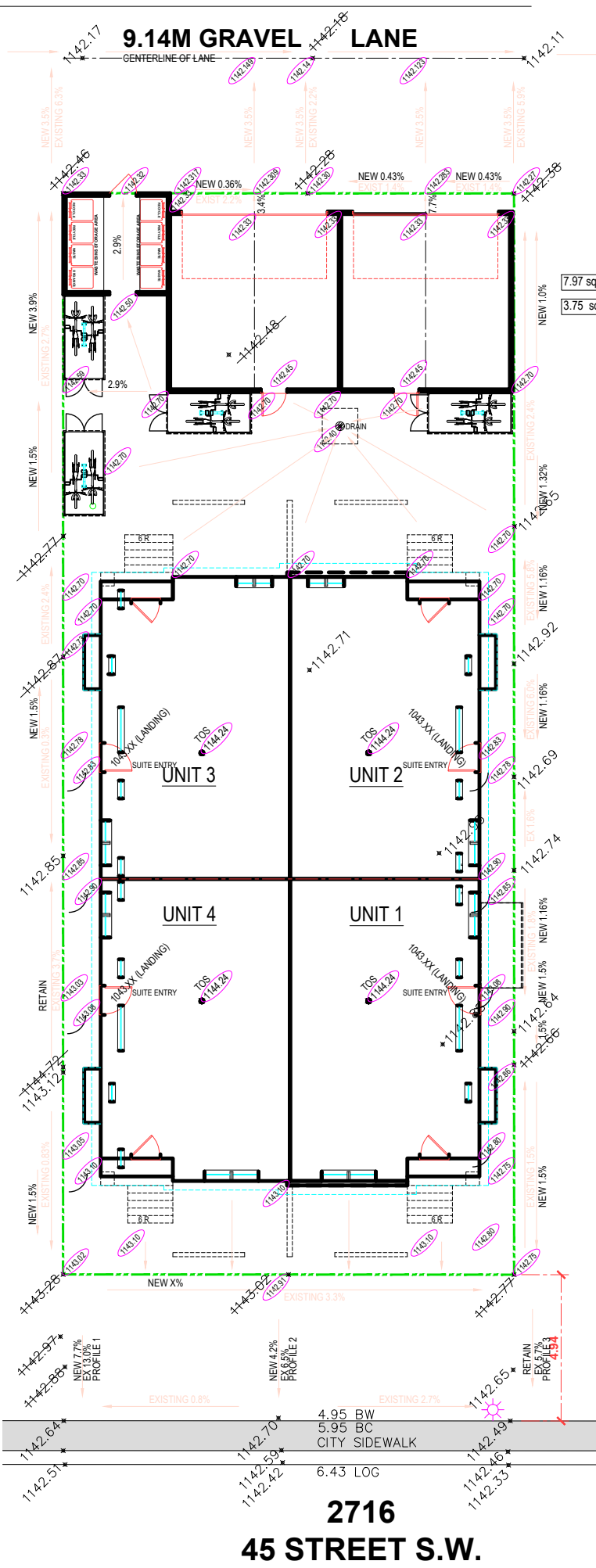


LOT COVERAGE

SCALE: 1:200

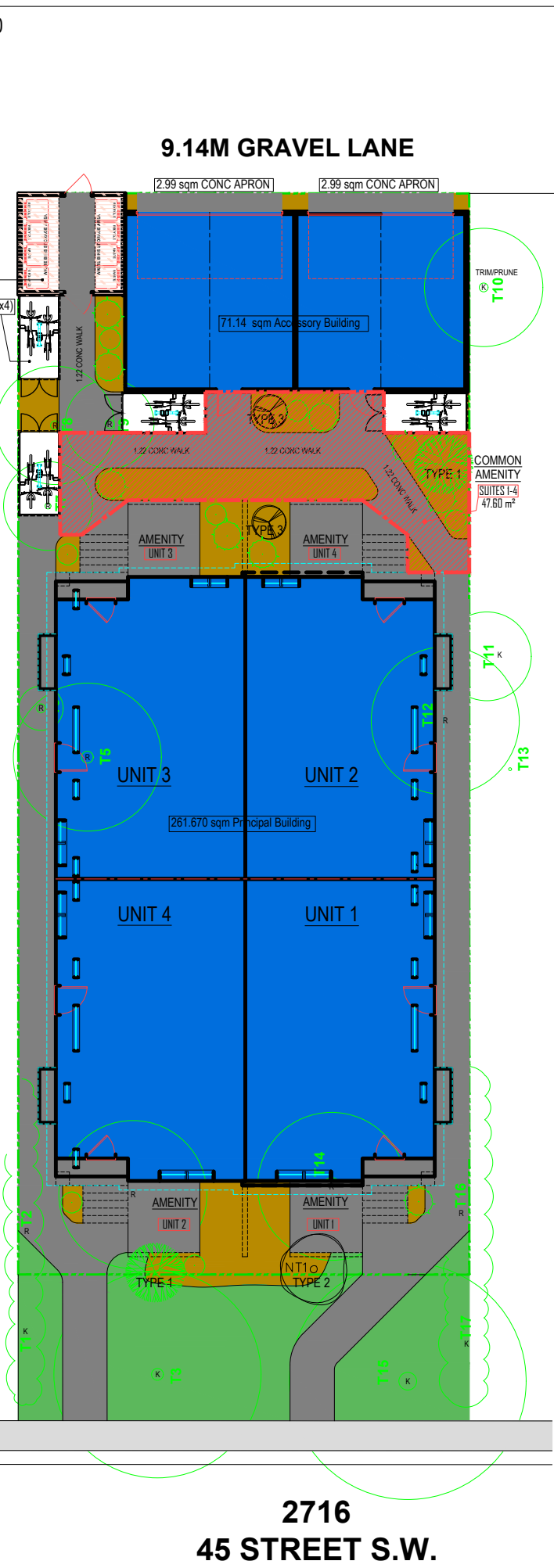
PROPOSED GRADE PLAN

SCALE: 1:200



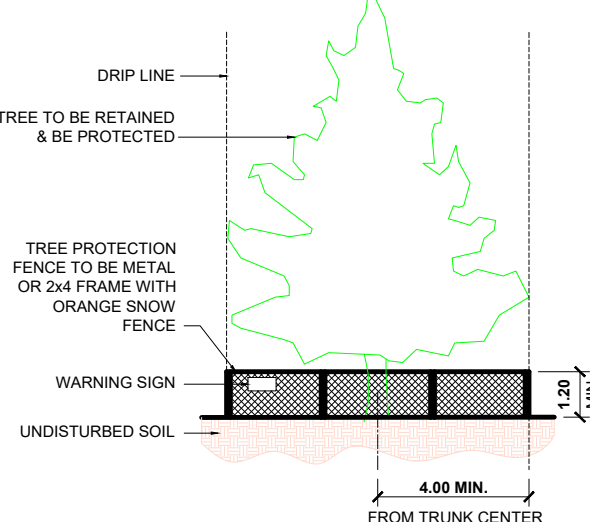
PROPOSED LANDSCAPE PLAN

SCALE: 1:200



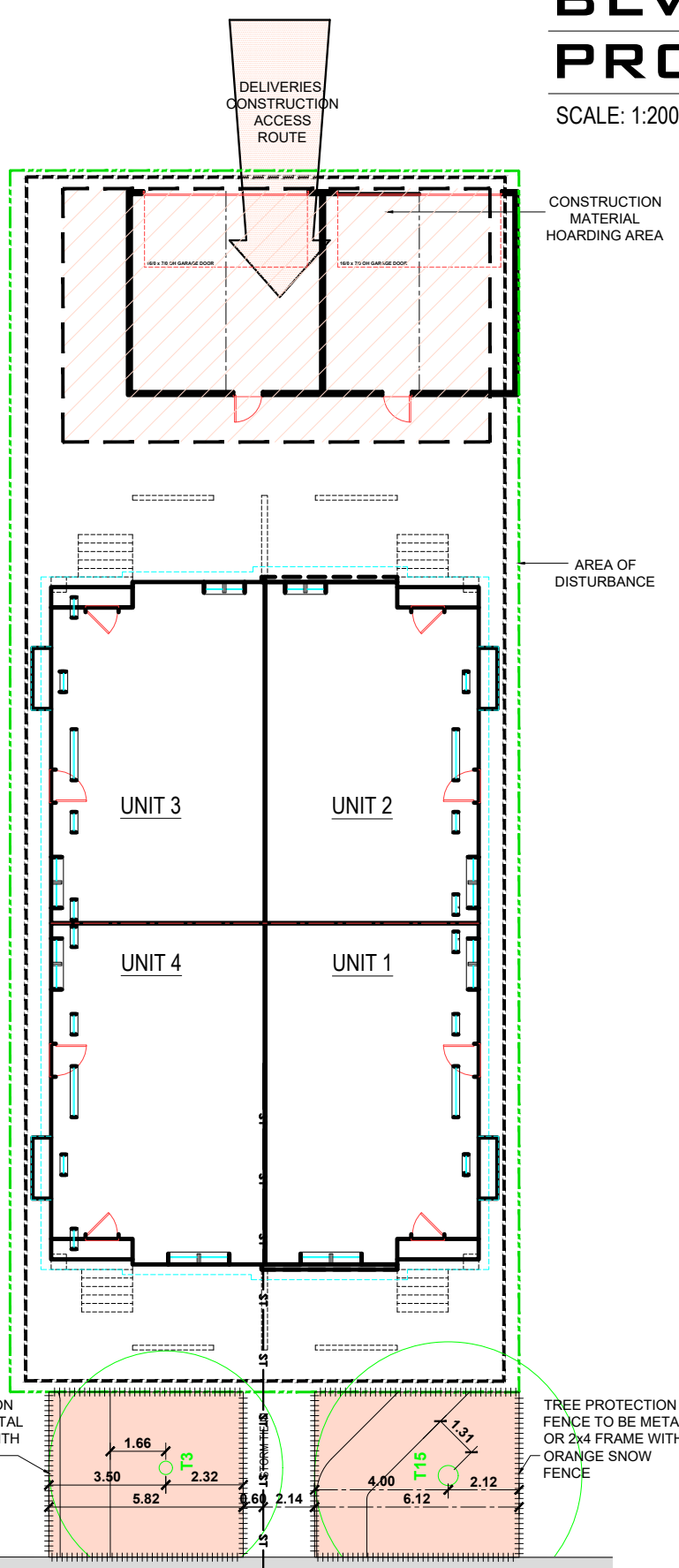
TREE PROTECTION MEASURES

- A. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
- B. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
- C. AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
1. COMMENCEMENT
 2. WHEN CLEARANCE PRUNING COMMENCES
 3. NO ROOT PRUNING SHALL OCCUR WITHOUT THE APPROVAL OF URBAN FORESTRY.
 4. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 5. SUPPLEMENTAL WATERING WHEN REQUIRED.
 6. SOIL CORRECTION WHERE REQUIRED.
 7. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENDOCRACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
- D. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
1. BRANCH PRUNING IS REQUIRED FOR CLEARANCE OF NEW BUILDINGS.
 2. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS AND URBAN FORESTRY PRIOR TO PRUNING.
 3. NO ROOT PRUNING SHALL OCCUR WITHOUT THE APPROVAL OF URBAN FORESTRY.
 4. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 5. SUPPLEMENTAL WATERING WHEN REQUIRED.
 6. SOIL CORRECTION WHERE REQUIRED.
 7. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENDOCRACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
- E. TREE PROTECTION MEASURES POST CONSTRUCTION:
1. SUPPLEMENTAL WATERING WHEN REQUIRED
 2. SOIL CORRECTION, WHERE REQUIRED
- F. ON-SITE TREE PROTECTION ADMINISTRATOR:
- x - CONTACT # 403-000-0000
- THE TREE PROTECTION ADMINISTRATOR SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTED STAFF WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BYLAW AND THE APPROVED TREE PROTECTION PLAN.



BLVD/LANE PROFILES

SCALE: 1:200



PROPOSED TREE PROTECTION PLAN

SCALE: 1:200

GENERAL NOTES:

- ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO CONFIRM ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK.
- ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER / DESIGNER PRIOR TO CONSTRUCTION START.
- FINAL NUMBER OF RISERS AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION.
- PLUMBER TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD.
- IF A SUMP PUMP IS REQUIRED THAT IT IS TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM.
- STREET LAMPS, SITE FURNITURE, ETC. ARE SHOWN AS PER SURVEYOR AND ACTUAL FIXTURES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- BEARING CERTIFICATE REQUIRED.
- ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK PROFILE PLANS.
- ADDITIONAL TREES ARE REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS (2) TWO PER SUBDIVIDED LOT.
- PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITE.
- EXISTING DRIVEWAY TO BE REHABILITATED AT DEVELOPERS EXPENSE.
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED.
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.
- FENCES ARE NOT SPECIFIED UNDER THIS APPLICATION, BUT MUST BE BUILT TO MEET CITY OF CALGARY BYLAWS.

PARCEL COVERAGE:

TOTAL PARCEL AREA	557.080 m ²
MAXIMUM ALLOWABLE PARCEL COVERAGE (80%):	334.248 m ²
HOUSE FOOTPRINT INCLUDING PROJECTIONS	281.870 m ²
< THAN 2.4M ABOVE GRADE	71.140 m ²
ACCESSORY BUILDING	332.81 m ²
TOTAL COMBINED FOOTPRINT COVERAGE	59.74%

EXISTING HOUSE TO BE REMOVED: 76.379 m²
EXISTING GARAGE TO BE REMOVED: 50.490 m²

CONTEXTUAL BUILDING SETBACKS: H-GO ZONING

BUILDING SETBACK AREAS

1394 THE MINIMUM DEPTH OF ALL SETBACK AREAS MUST BE EQUAL TO THE MINIMUM BUILDING SETBACK REQUIRED IN SECTIONS 1393, 1396, 1398 AND 1397.

BUILDING SETBACK FROM FRONT PROPERTY LINE

1393 THE MINIMUM BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.

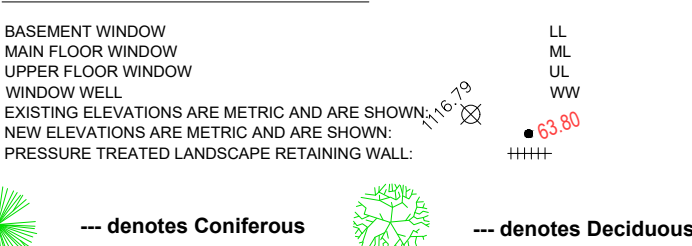
BUILDING SETBACK FROM SIDE PROPERTY LINE

1396 1. SUBJECT TO SUBSECTIONS (2) THROUGH (5), THE MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY LINE IS 1.2 METRES.
2. THERE IS NO REQUIREMENT FOR A BUILDING SETBACK FROM A PROPERTY LINE UPON WHICH A PARTY WALL IS LOCATED.
3. UNLESS OTHERWISE REFERENCED IN SUBSECTION (1), ON A LANED PARCEL, THE MINIMUM BUILDING SETBACK FROM A SIDE PROPERTY LINE FOR A PRIVATE GARAGE ATTACHED TO A MAIN RESIDENTIAL BUILDING IS 0.8 METRES.
4. ON A LANED PARCEL, THE MINIMUM BUILDING SETBACK FOR A PRIVATE GARAGE ATTACHED TO A MAIN RESIDENTIAL BUILDING THAT DOES NOT SHARE A SIDE OR REAR PROPERTY LINE WITH A STREET MAY BE REDUCED TO ZERO METRES WHERE THE WALL OF THE PORTION OF THE BUILDING THAT CONTAINS THE PRIVATE GARAGE IS CONSTRUCTED OF MAINTENANCE-FREE MATERIALS AND THERE IS NO OVERHANG OF EAVES ONTO AN ADJACENT PARCEL.

BUILDING SETBACK FROM REAR PROPERTY LINE

1397 1. UNLESS OTHERWISE REFERENCED IN SUBSECTION (2) THE MINIMUM BUILDING SETBACK FROM A REAR PROPERTY LINE IS 5.0 METRES.
2. ON A CORNER PARCEL OR A LANED PARCEL, THE MINIMUM BUILDING SETBACK FROM A REAR PROPERTY LINE IS 1.2 METRES.

SITEPLAN LEGEND:



- CONCRETE SURFACES = 125.71 m² or 22.58%
- PROPOSED CONCRETE PRIMARY STEPS = 16.79 m² or 3.01%
- MULCH = 48.77 m² or 8.75%
- PROPOSED SOD = 3.99 m² or 0.72%
- PROPOSED BUILDINGS = 332.81 m² or 59.74%
- CONCRETE GARAGE APRON = 5.98 m² or 1.07%
- WASTE AND RECYCLING = 7.57 m² or 1.43%
- BIKE STORAGE = 15.00 m² or 2.69%

TOTAL LOT AREA = 557.08 m² or 100%

NOTE: NOT INCLUDED IN LANDSCAPE REQUIREMENTS: PROPOSED DWELLING/GARAGE/WASTE PARKING/DRIVEWAY/PRINCIPAL ENTRY STEPS

BIKE STORAGE = 15.00 m² (33.12%)

TOTAL LANDSCAPING = 184.51 m² (33.12%)

MINIMUM SOFT LANDSCAPE AREAS = 55.30m² (9.94%)

ACTUAL SOFT LANDSCAPE AREA = 59.14m² (10.61%)

GENERAL LANDSCAPING :

ALL LANDSCAPING TO BE NEW

- ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- ALL SOFT SURFACED LANDSCAPED AREAS MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
- 4-6.2.2 (A) A MINIMUM OF 10 TREES AND 30 SHRUBS MUST BE PROVIDED FOR EACH 110.0 SQUARE METERS OF PARCEL AREA.

(597.66 m² 110m² = 5.06 TREES/15.15 SHRUBS)

- (3) SHRUBS MUST BE A MINIMUM HEIGHT OR SPREAD OF 0.6 METRES AT THE TIME OF PLANTING.
- (4) THE REQUIREMENT FOR THE PROVISION OF 10 TREES IS MET WHERE:
(A) A DECIDUOUS TREE HAS A MINIMUM CALIPER OF 60 MILLIMETRES, OR
(B) A CONIFEROUS TREE HAS A MINIMUM HEIGHT OF 3.0 METRES.
- (5) THE REQUIREMENT FOR THE PROVISION OF 20 TREES IS MET WHERE:
(A) A DECIDUOUS TREE HAS A MINIMUM CALIPER OF 85 MILLIMETRES, OR
(B) A CONIFEROUS TREE HAS A MINIMUM HEIGHT OF 4.0 METRES.
- (6) THE REQUIREMENT FOR THE PROVISION OF 30 TREES IS MET WHERE AN EXISTING DECIDUOUS TREE WITH A CALIPER GREATER THAN 100 MILLIMETERS IS PRESERVED.
- (7) ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.

- LOW WATER IRRIGATION SYSTEM TO BE PROVIDED
- THE DELIVERY OF THE IRRIGATED WATER IS CONFINED TO TREES AND SHRUBS
- 5 TREES TO BE PROVIDED
- 16 SHRUBS TO BE PROVIDED

- DECIDUOUS
PARKLAND PILLAR BIRCH
(BETULA PLATYPHYLLA - JEFFPARK)
7.6m X 2.1m (H x S)
- PRINCESS KAY PLUM, FLOWERING PLUM
(PRUNUS NEGRA PRINCESS KAY)
MATURITY 4M X 2.5M (H x S)
- CONIFEROUS
BLUE ARROW JUNIPER
(JUNIPERUS VIRGINIANA BLUE ARROW)
MATURITY 3.7m X 1.2m (H x S)

- SHRUBS/SHRUBS
TYPE A BUSH: MIXTURE OF COTON EASTER, SAKATOON & DWARF MUGO PINE
TYPE B BUSH: MIXTURE OF LILAC, CISTINA, CHERRY & DWARF MUGO PINE
*SHRUBS SHOULD BE MIN. HGT OR SPREAD OF 0.6m

- *MATURE SIZE SHOWN*
- TYPE 1S
TYPE 2S
TYPE 3S
TYPE 4S
TYPE 5S
TYPE 6S
TYPE 7S
TYPE 8S
TYPE 9S

EXISTING TREE SCHEDULE:

EXISTING TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location	Status
T1	Bush	1.50	2.00	1.50	In City Property	KEEP
T2	Bush	1.50	2.00	1.50	On Property Line	REMOVE
T3	AMERICAN ELM	0.40	7.00	6.00	In City Property	KEEP
T4	Coniferous	0.50	5.00	13.00	In Subject Property	REMOVE
T5	Deciduous	0.40	5.00	10.00	In Subject Property	REMOVE
T6	Coniferous	0.30	1.50	12.00	In Subject Property	REMOVE
T7	Coniferous	0.20	3.00	3.00	In Subject Property	REMOVE
T8	Coniferous	0.30	4.00	10.00	In Subject Property	REMOVE
T9	Coniferous	0.30	3.00	10.00	In Subject Property	REMOVE
T10	Deciduous	0.30	4.00	5.00	In Adjacent Property	KEEP
T11	Bush	—	3.00	2.00	In Adjacent Property	KEEP
T12	Deciduous	0.30	5.00	6.00	In Subject Property	REMOVE
T13	Deciduous	0.10	3.00	3.00	In Adjacent Property	KEEP
T14	Coniferous	0.60	5.00	13.00	In Subject Property	REMOVE
T15	AMERICAN ELM	0.60	8.00	11.00	In City Property	KEEP
T16	Bush	—	1.00	1.50	On Property Line	REMOVE
T17	Bush	—	1.00	1.50	In City Property	KEEP

NEW TREE SCHEDULE:

NEW TREE SCHEDULE:

Tree No.	Variety	Caliper (±)	Height (±)
N11	PRINCESS KAY PLUM	60mm	—
N12	SWEDISH COLUMNAR ASPEN	60mm	—
N13	SWEDISH COLUMNAR ASPEN	60mm	—
N14	SWEDISH COLUMNAR ASPEN	60mm	—
N15	COLUMNAR NORWAY SPRUCE	—	2.0
N16	COLUMNAR NORWAY SPRUCE	—	2.0
N17	PRINCESS KAY PLUM	60mm	—
N18	COLUMNAR NORWAY SPRUCE	—	2.0
N19	COLUMNAR NORWAY SPRUCE	—	2.0

246 Royal Abbey Court NW, Calgary, Alta, T3G 4Y3
P:403.369.6679 | LegaciesDesign@gmail.com

4-Unit
Townhouse
2716 45th STREET SW
CALGARY, ALBERTA
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DP REVIEW SET

REVISION:	DATE: (y/m/d)
1. INITIAL REVIEW ITEMS	2026.07.13

DRAWING TITLE:

SITE PLAN / BLOCK PLAN

PROJECT #:	2026-2917
DATE:	2026.07.13
SCALE:	AS SHOWN
DRAWN BY:	LL
DRAWING #:	

DP2|S1

PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.

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Calgary, Alta. T3G 4Y3
P-403.369.6679
LegaciesDesign@gmail.com

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ALBERTA
2736HS
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Lot 15

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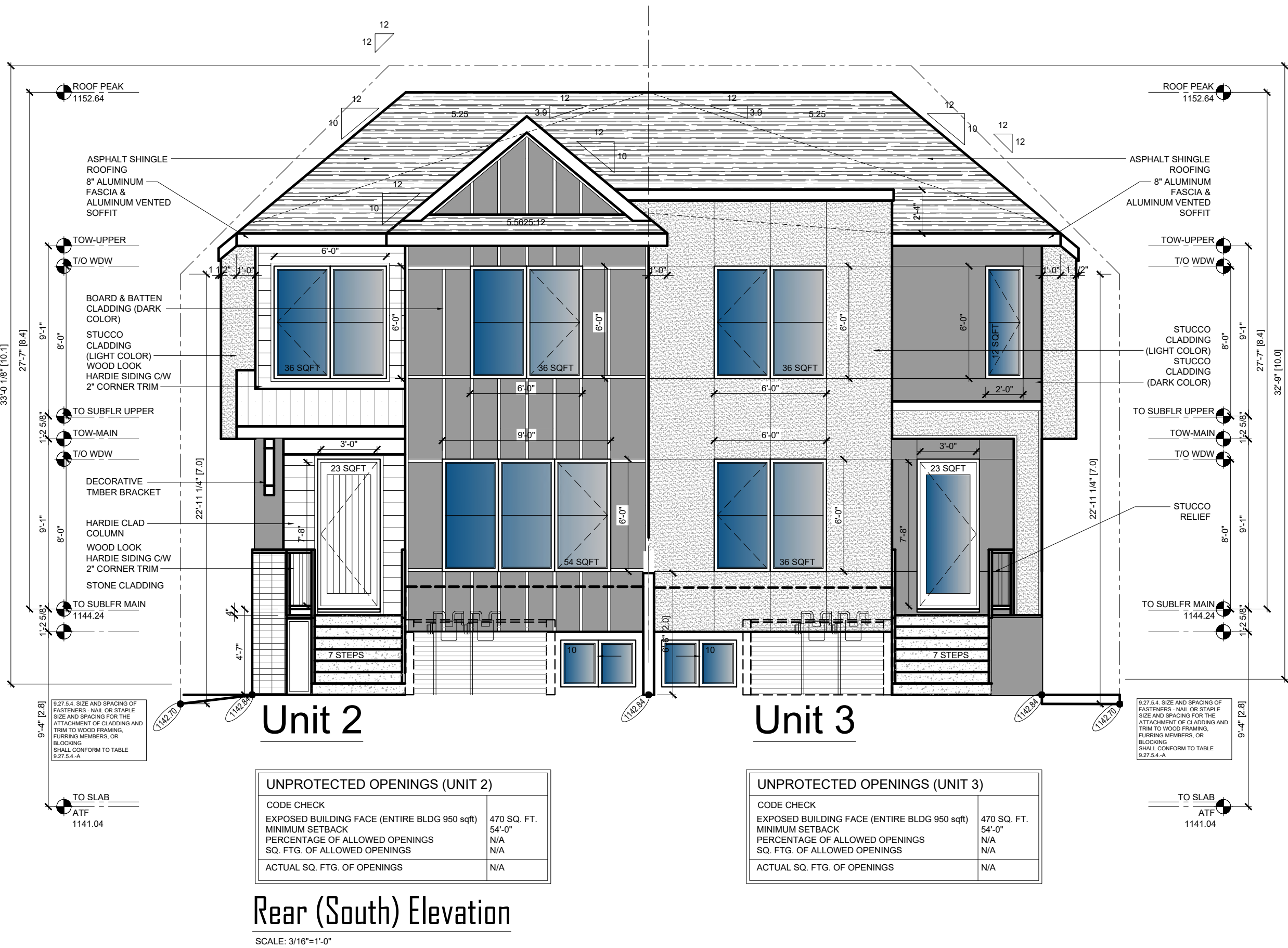
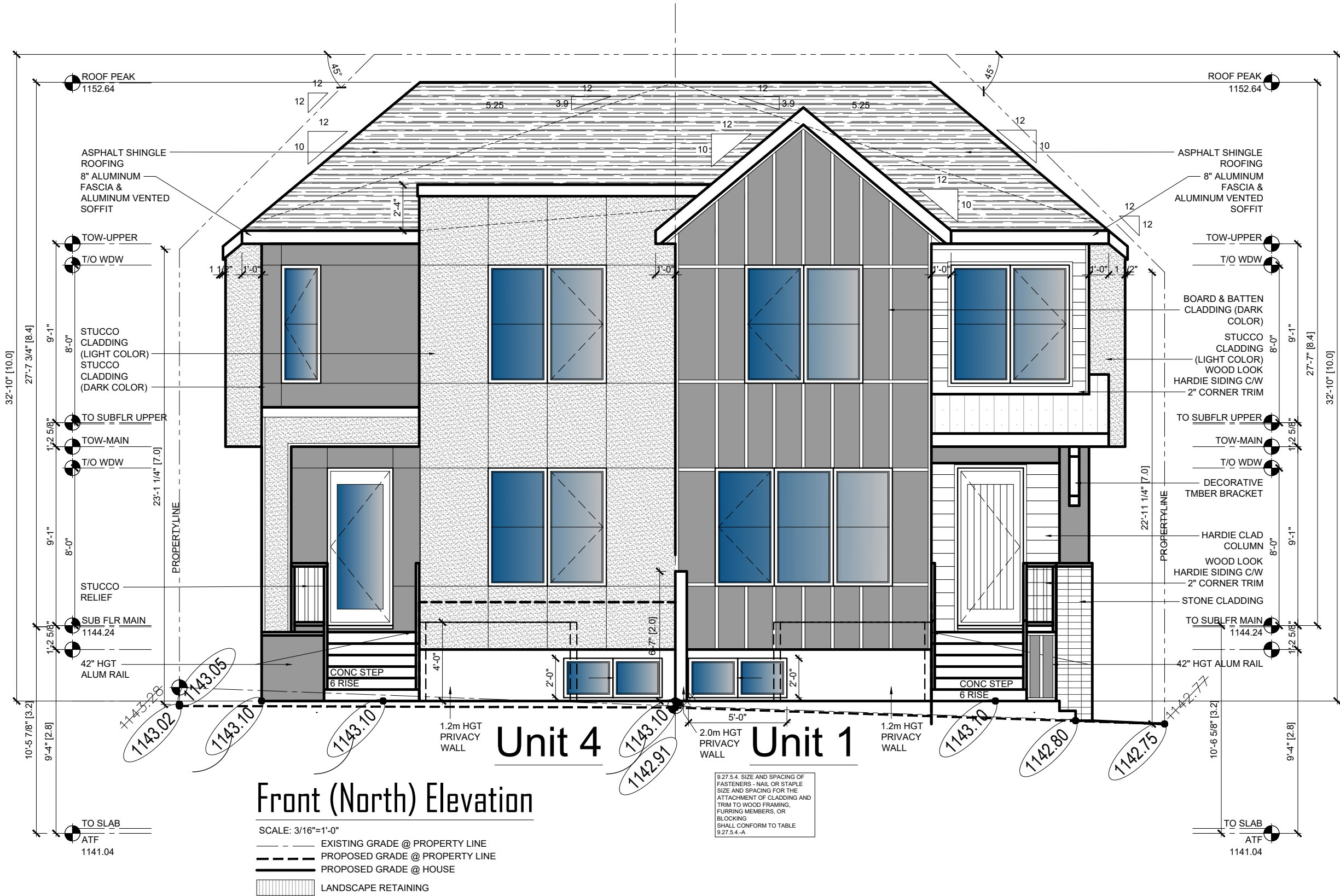
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DP INITIAL REVIEW	
REVISION:	DATE: (Y/M/D)

DRAWING TITLE:
ELEVATIONS

PROJECT #:	2026-2917
DATE:	2026.07.13
SCALE:	AS SHOWN
DRAWN BY:	LL
DRAWING #:	WD4

WD4



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Calgary, Alta. T3G 4Y3
P:403.369.6679
LegaciesDesign@gmail.com

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DRAWING TITLE:

ELEVATIONS

PROJECT #: 2026-2917

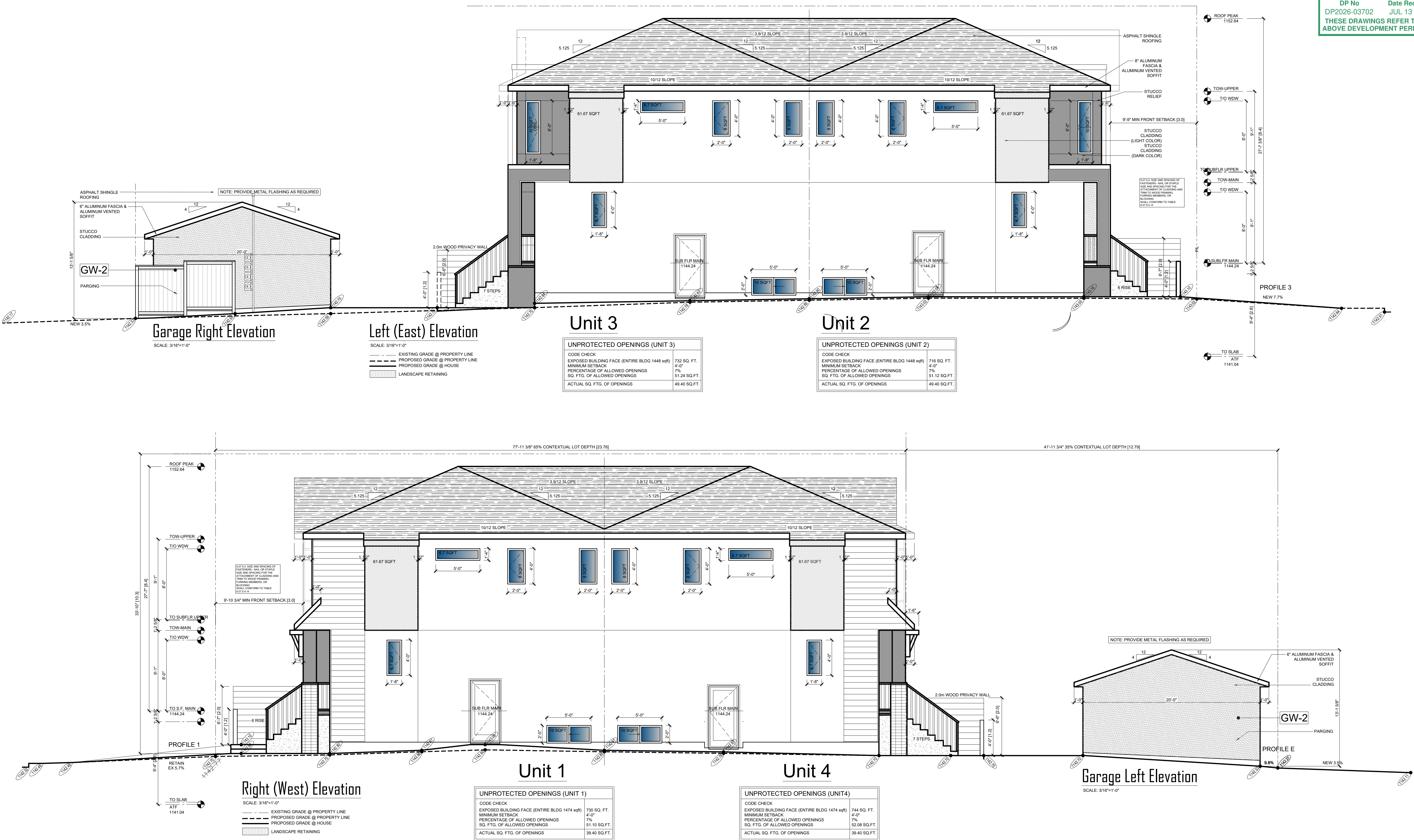
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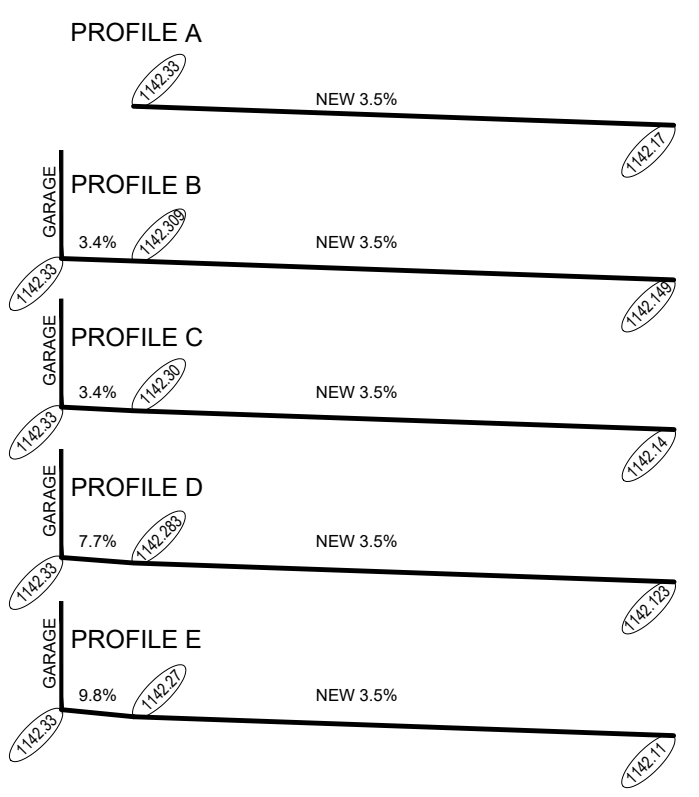
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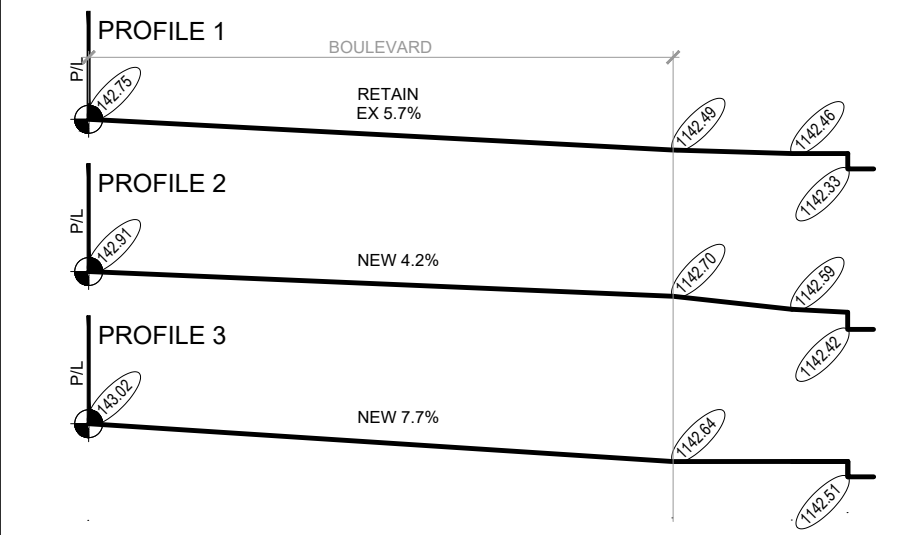
WD5



Driveway Profiles



Boulevard Profiles



246 Royal Abbey Court NW,
Calgary, Alta. T3G 4Y3
P:403.369.6679
LegaciesDesign@gmail.com

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2716 45th St SW
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DP INITIAL
REVIEW

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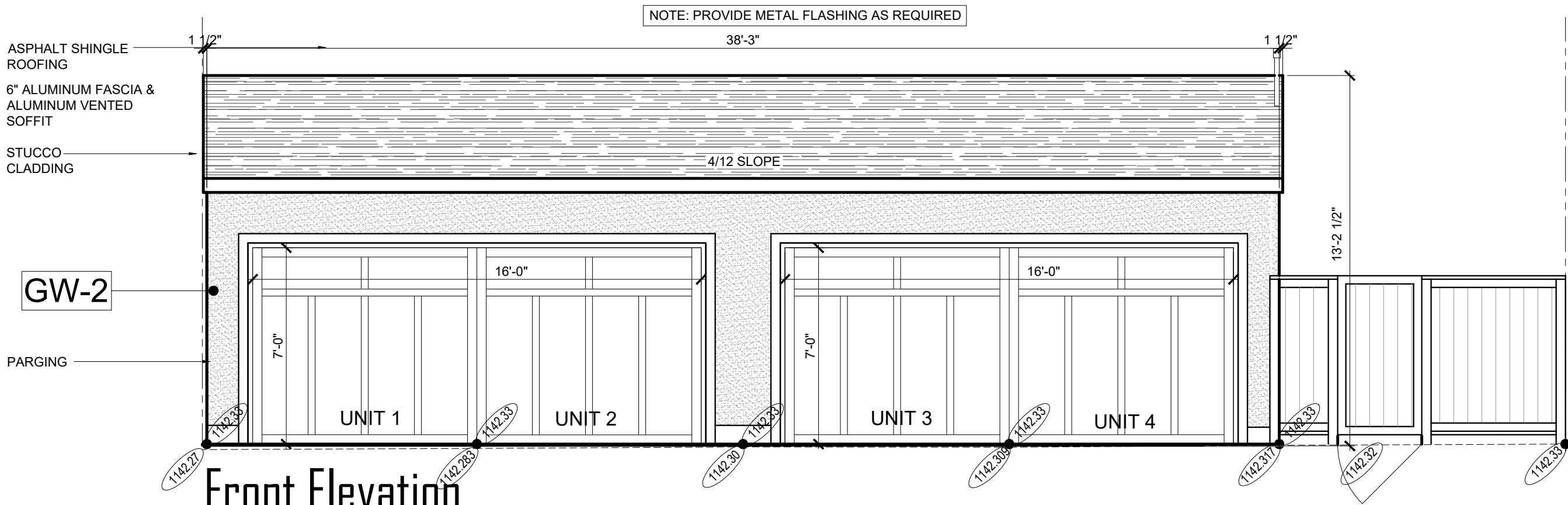
DRAWING TITLE:

GARAGE PLANS

PROJECT #:	2026-2917
DATE:	2026.07.13
SCALE:	AS SHOWN
DRAWN BY:	LL

DRAWING #:

G1



- GW-2 EXTERIOR WALLS (all walls)
- EXTERIOR FINISH AS SPEC'D
 - BUILDING PAPER
 - 5/8" TYPE 'X' DRYWALL
 - 2X4 K.D. SPR. STUDS @ 16" OC. C/W 2 TOP PLATES AND 1 BOTTOM PLATE TO MATCH STUD WIDTH
 - R20 FRICTION-FIT FIBERGLASS INSULATION
 - VAPOUR BARRIER (6 MIL POLY)
 - 5/8" TYPE 'X' DRYWALL

