

Marda Loop Multi

for CALGARY HOUSING

Development Permit



DEVELOPMENT SHEET LIST

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2026 06 23	Issued for Development Permit	
#	DATE	DESCRIPTION

PROJECT

26-013 CALGARY HOUSING
Marda Loop Multi

1508 34 AV SW Calgary
Plan 4479P / Block 64 / Lots 1-7

PERMIT

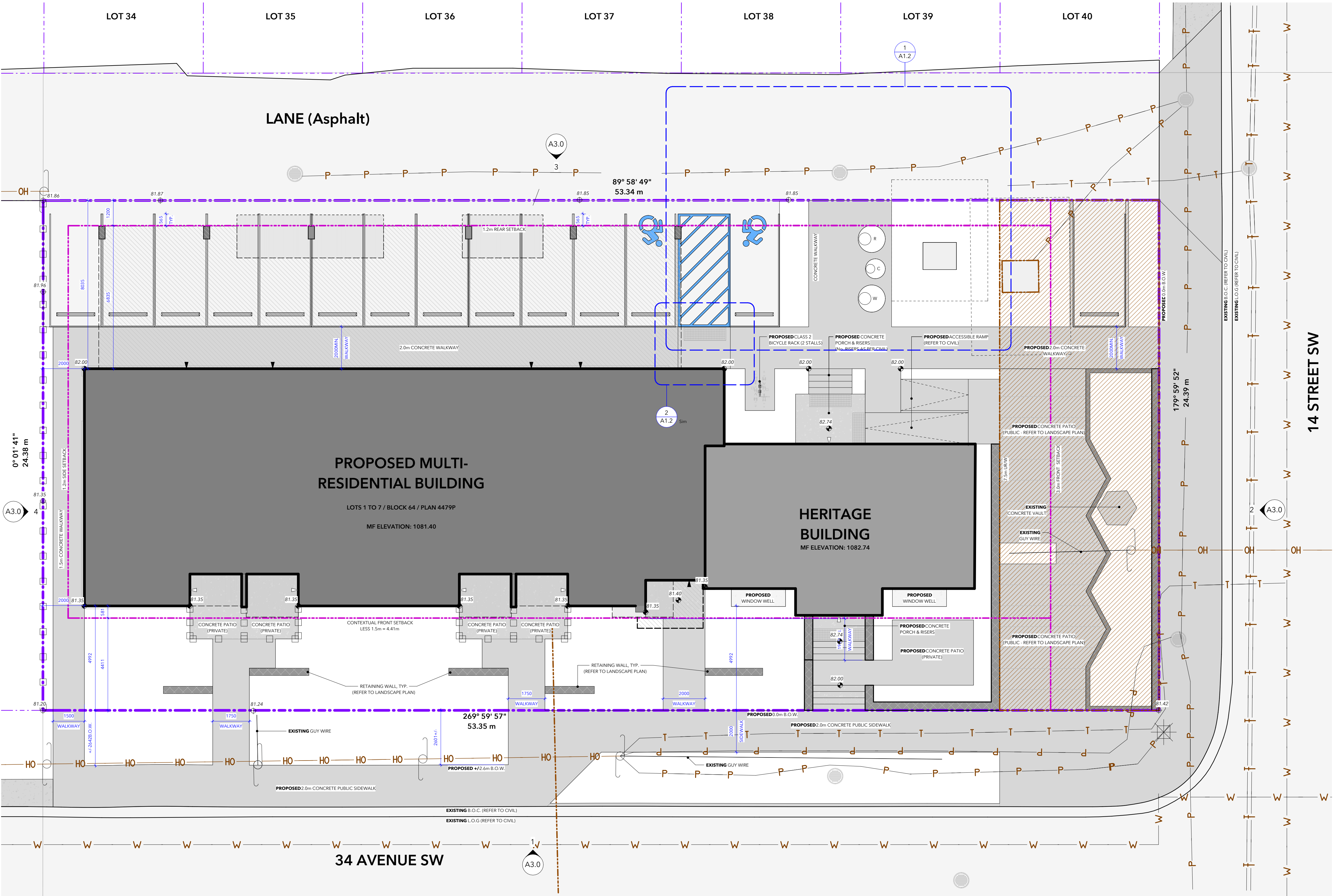
ISSUANCE

2026 06 23
Development Permit

PROJECT MANAGER	RA
DD DRAFTSPERSON	MC CF
DD REVIEWER	CF
CD DRAFTSPERSON	TBD
CD REVIEWER	TBD

SHEET

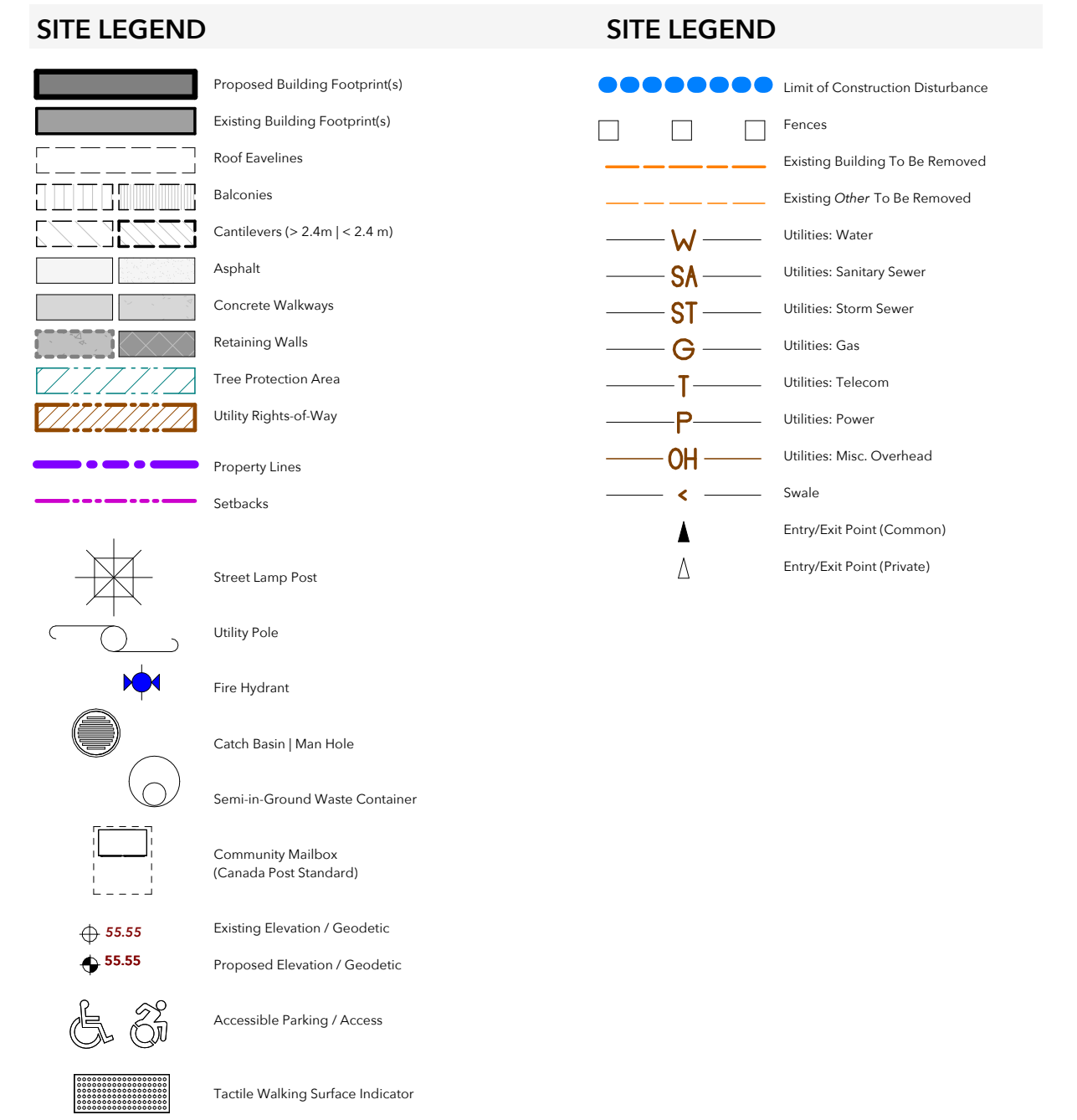
A0.0
Cover



LAND-USE BYLAW & DEVELOPMENT SUMMARIES				
SITE INFORMATION				
Land-Use District:	M-C1 - Multi Res - Contextual Low Profile	Site Area	1299.8 m ²	0.12998 ha
Proposed Use:	Multi-Residential Development			
Legal Address:	Lots 1-7 / Block 64 / Plan 4479P			
Municipal Address:	1508 34 AV SW			
Community:	South Calgary			
BYLAW REQUIREMENTS				
Density:				
Max. Density	148 UPH	REQUIRED	19 Units	PROVIDED
Number of Buildings			19 Units	1 Buildings
Setbacks				
Front Setback - Contextual - 1.5m		REQUIRED	4.41 m	
Min. Sideyard Setback			1.20 m	
Min. Rear Setback			1.20 m	
Public Realm Setback - East FL			5.182 m	
Building Height				
Max. Building Height		REQUIRED	14 m	PROVIDED
Max. Building Height 3m From Street PL			10 m	Refer to Elevations
Max. Area @ 12m Above Grade must be less than 40% than at area at 10m				Refer to Elevations
Landscaping				
Refer to Landscape Drawings				
Amenity Area				
Min. Required Private Amenity Space / Per Unit		REQUIRED	5.0 m ²	PROVIDED
				Refer to Unit Plans
Vehicle Parking				
Min. Required Parking (COC LUB 585)	0.625 / Unit =	REQUIRED	12 Stalls	PROVIDED
COC LUB 560: The required number of motor vehicle parking stalls in section 558 can be reduced by 25.0 per cent for a development within 200.0 metres of primary transit service.			9 Stalls	14 Stalls
Min. Required Visitor	0 / Unit =		0 Stalls	0 Stalls
Bicycle Parking				
Min. Class 1 (Secure Bike Parking)	0.5 / Unit =	REQUIRED	10 Stalls	PROVIDED
Min. Class 2 (Unsecure / Public Parking)	0.1 / Unit =		2 Stalls	2 Stalls
Waste & Recycling				
Min. Required W&R	0.24 m ³ / Unit =	REQUIRED	4.56 m ³	PROVIDED
				7.3 m ³

GROSS BUILDING AREA			
Name	Qty	Imperial	Metric
Level 0 - Existing			
Existing Building - LO	1	983 R ²	91.36 m ²
		983 R ²	91.36 m ²
Level 1			
Bicycle Storage	1	211 R ²	19.62 m ²
Existing Building - L1	1	983 R ²	91.32 m ²
Lobby	1	174 R ²	16.21 m ²
Stair Core	2	379 R ²	35.23 m ²
Units	4	2346 R ²	217.96 m ²
Utility	1	313 R ²	29.11 m ²
		4407 R ²	409.45 m ²
Level 2			
Corridor	1	334 R ²	31.01 m ²
Stair Core	2	332 R ²	30.87 m ²
Units	7	4468 R ²	415.13 m ²
		5135 R ²	477.01 m ²
Level 3			
Corridor	1	334 R ²	31.01 m ²
Stair Core	2	332 R ²	30.87 m ²
Units	7	4468 R ²	415.13 m ²
		5135 R ²	477.01 m ²
GRAND TOTAL		15660 R ²	1454.84 m ²

PARKING COUNT			
Location	Type	Qty	Width Length
MOTOR VEHICLE	Accessible	2	2.4 m 5.4 m
	Standard	12	2.5 m 5.4 m
MOTOR VEHICLE			
BICYCLE			
Floor Mount	Class 2 - Unsecure	2	0.6 m 2 m
Wall Mounted	Class 1 - Secure	10	0.6 m 1.4 m
BICYCLE			
WASTE & RECYCLING			
Use	Size	Qty.	Volume
Semi Below Grade Container			
Compost	C 1.30 m ³	1	1.3 m ³
Recycling	R 3.00 m ³	1	3.0 m ³
Waste	W 3.00 m ³	1	3.0 m ³
TOTAL		3	7.3 m ³



G

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2026 06 23

26-013 DP

GRAVITY ARCHITECTURE CORPORATION

PERMIT NO. AC 13941

ISSUED PURSUANT TO THE

ARCHITECTS ACT OF ALBERTA

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SHEET

A1.1

Site Plan





1 South (Front) Elevation
1:100

2 East (Right) Elevation
1:100



3 North (Rear) Elevation
1:100

4 West (Left) Elevation
1:100

MATERIALS

#	Description	Colour
1	Fibre-Cement Lap Siding	Dark Earthtone
2	Fibre-Cement Vertical Plank Siding	Light Earthtone
3	Brick	Mid Brown
4	Fibre-Cement Panel / Trim	To match Material #1
6	Fibre-Cement Panel / Trim	To match Material #2
7	Rainware / Flashing / Metal Awning	Dark Earthtone
8	Asphalt Shingles	Dark Earthtone
9	Concrete	Natural
A	Existing Stucco	To colourmatch existing finish; Repaired and refinished as required
B	Existing Tile Clay Roofing	To colourmatch existing finish; Repaired and refinished as required
C	Existing Doors & Accents	To colourmatch existing finish; Repaired and refinished as required