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2026 06 23 Issued for Development Permit
2026 08 25 Issued for DRI

DATE DESCRIPTION

PROJECT

26-013 CALGARY HOUSING
Marda Loop Multi

1508 34 AV SW Calgary
Plan 4479P / Block 64 / Lots 1-7

PERMIT

DP2026-03690

ISSUANCE

2026 08 25
Development Permit - Detailed
Review 1

PROJECT MANAGER RA
DD DRAFTSPERSON MC CF
DD REVIEWER CF
CD DRAFTSPERSON MC RN
CD REVIEWER RA TJ

SHEET

A0.0
Cover

Marda Loop Multi

for CALGARY HOUSING

Development Permit - Detailed Review 1



DEVELOPMENT SHEET LIST

- A0.0 Cover
- A1.0 Site Context
- A1.1 Site Plan
- A1.2 Site Details
- A1.3 Code Analysis
- A1.4 Fire Plans
- A2.0 Floor Plans - Level 0
- A2.1 Floor Plans - Level 1
- A2.2 Floor Plans - Level 2-3
- A2.3 Floor Plans - Roof
- A3.0 Elevations
- A4.0 Sections
- C1 Grading Plan
- C2 Site Servicing Plan
- E1.1 Site Lighting Layout
- L-1 Landscape Plan



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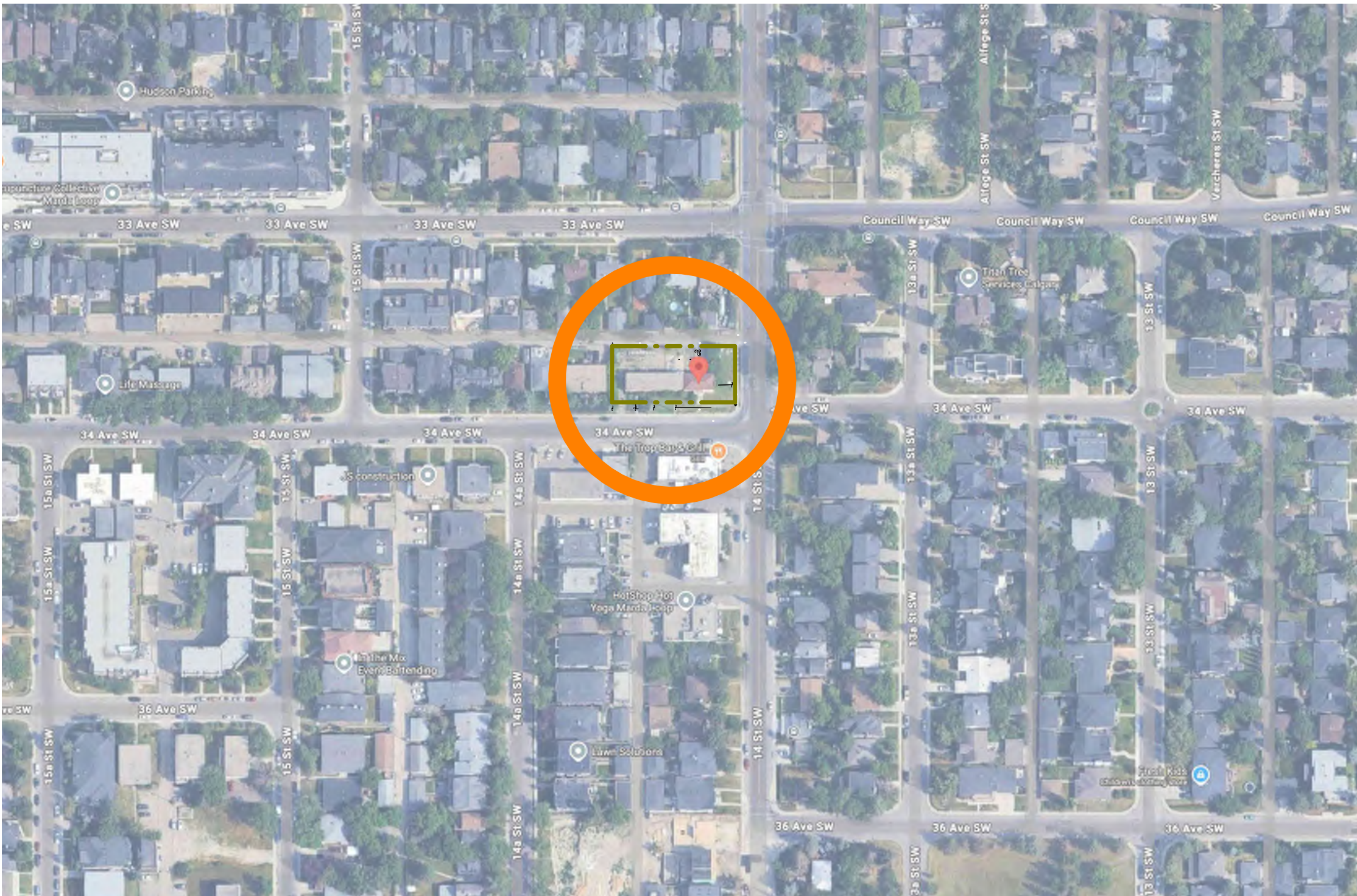


GRAVITY ARCHITECTURE CORPORATION
PERMIT No. AC 13941
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

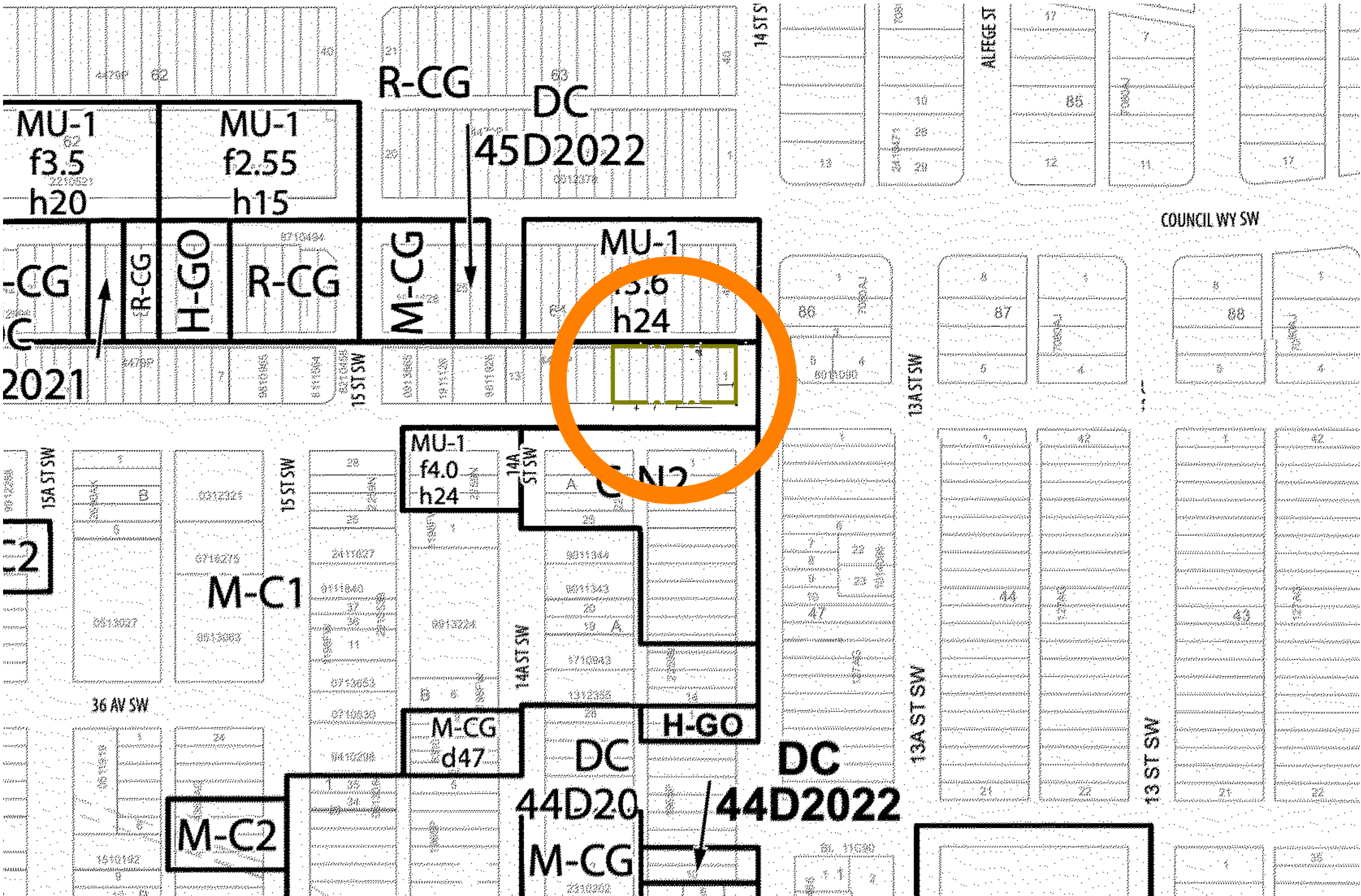
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LAND-USE BYLAW & DEVELOPMENT SUMMARIES

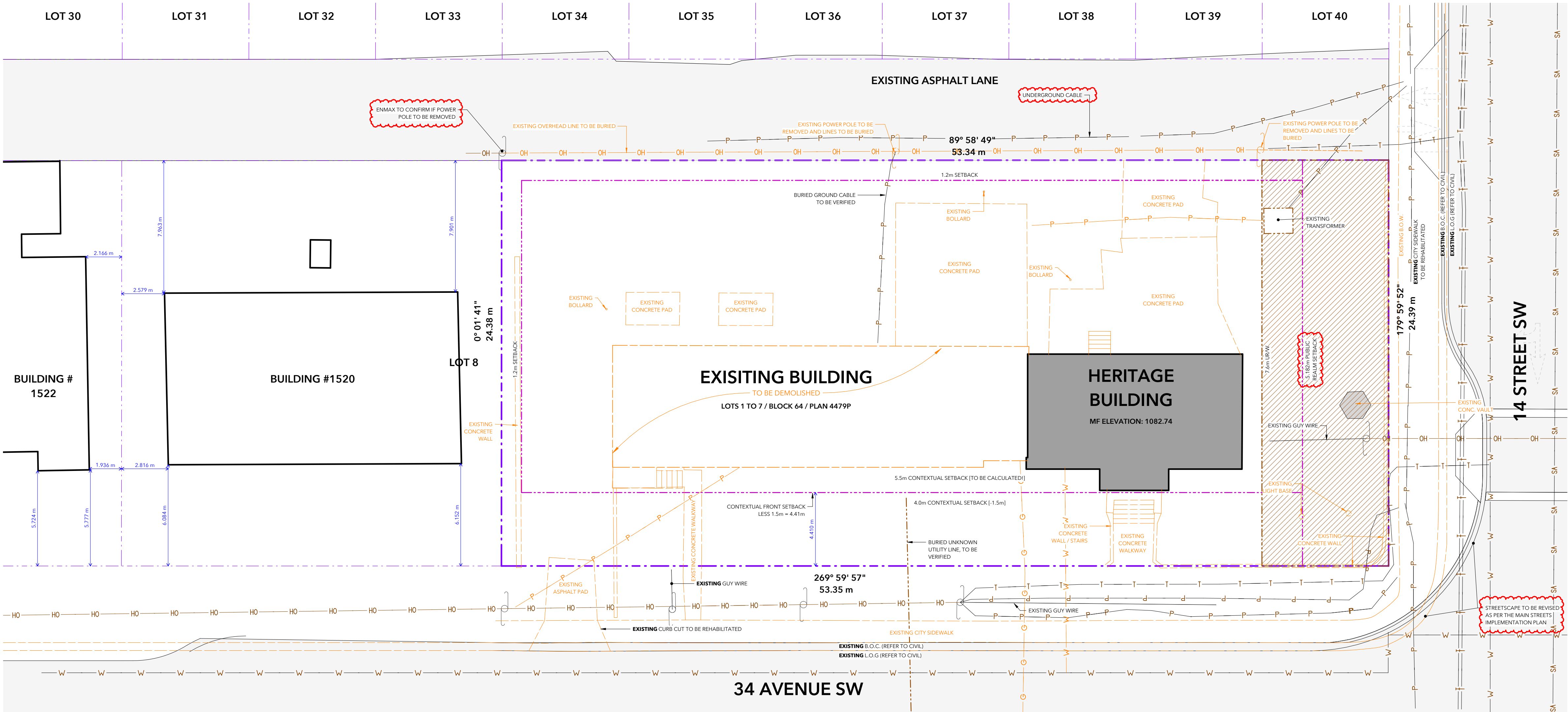
SITE INFORMATION			
Land Use District:	M-C1 - Multi Res - Contextual Low Profile	Site Area	1299.8 m ² 0.12998 ha
Proposed Use:	Multi-Residential Development		
Legal Address:	Lots 1-7 / Block 64 / Plan 44799		
Municipal Address:	1508 34 AV SW		
Community:	South Calgary		
BY-LAW REQUIREMENTS			
Density:	Max. Density Number of Buildings	148 UPH 19 Units	REQUIRED 19 Units 1 Buildings
Setbacks:	Front Setback = Contextual - 1.5m Min. Sideyard Setback Min. Rear Setback Public Realm Setback - East PL	REQUIRED 4.41 m 1.20 m 1.20 m 5.182 m	
Building Height:	Max. Building Height Max. Building Height 3m From Street PL Max. Area @ 12m Above Grade must be less than 40% than at area at 10m	REQUIRED 14 m 10 m	PROVIDED Refer to Elevations Refer to Elevations Refer to Elevations
Landscaping:	Refer to Landscape Drawings		
Amenity Area:	Min. Required Private Amenity Space / Per Unit	REQUIRED 5.0 m ²	PROVIDED Varies Refer to Plans
Vehicle Parking:	Min. Required Parking (COC LUB 585) COC LUB 560: The required number of motor vehicle parking stalls in section 558 can be reduced by 25.0 per cent for a development within 200.0 metres of primary transit service. Min. Required Visitor	0.625 / Unit = 12 Stalls 9 Stalls 0 / Unit = 0 Stalls	REQUIRED 12 Stalls 9 Stalls 0 Stalls PROVIDED 16 Stalls
Bicycle Parking:	Min. Class 1 (Secure Bike Parking) Min. Class 2 (Unsecure / Public Parking)	0.5 / Unit = 0.1 / Unit = 10 Stalls 2 Stalls	REQUIRED 10 Stalls 2 Stalls PROVIDED 10 Stalls 2 Stalls
Waste & Recycling:	Min. Required W&R	0.24 m ² / Unit = 4.56 m ²	REQUIRED 4.56 m ² PROVIDED 7.3 m ²



1 Aerial Context
1 : 2000



2 LUB Context
1 : 2000



3 Site Block Plan - Existing
1 : 150

SITE LEGEND	
	Proposed Building Footprints
	Existing Building Footprints
	Roof Eavlines
	Balconies
	Canilevers (> 2.4m) < 2.4m
	Concrete Walkways
	Retaining Walls (Refer to Landscape)
	Tree Protection Area
	Utility Rights-of-Way
	Property Lines
	Setbacks
	Street Lamp Post
	Utility Pole
	Fire Hydrant
	Catch Basin (Man Hole)
	Semi-in-Ground Waste Container
	Community Mailbox (Canada Post Standard)
	Existing Elevation / Geodetic
	Proposed Elevation / Geodetic
	Accessible Parking / Access
	Tactile Walking Surface Indicator
SITE LEGEND	
	Limit of Construction Disturbance
	Fences (Refer to Landscape)
	Existing Building To Be Removed
	Existing Other To Be Removed
	Utilities: Water
	Utilities: Sanitary Sewer
	Utilities: Storm Sewer
	Utilities: Gas
	Utilities: Telecom
	Utilities: Power
	Utilities: Misc. Overhead
	Swale
	Entry/Exit Point (Common)
	Entry/Exit Point (Private)
	Entry/Exit Point (Principal)
	M.E.P. Equipment Location
	Water Meter Location (refer to Civil)

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A1.0
Site Context



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LAND-USE BYLAW & DEVELOPMENT SUMMARIES

SITE INFORMATION		Site Area	0.12998 ha
Land Use District:	M-C1 - Multi Res - Contextual Low Profile		
Proposed Use:	Multi-Residential Development		
Legal Address:	Lots 1-7 / Block 64 / Plan 4479P		
Municipal Address:	1508 34 AV SW		
Community:	South Calgary		

BYLAW REQUIREMENTS		REQUIRED	PROVIDED
Density:	Max. Density	148 UPH	19 Units
	Number of Buildings		1 Buildings

Setbacks		REQUIRED	PROVIDED
Front Setback - Contextual - 1.5m		4.41 m	
Min. Sideyard Setback		1.20 m	
Min. Rear Setback		1.20 m	
Public Realm Setback - East PL		5.182 m	

Building Height		REQUIRED	PROVIDED
Max. Building Height		14 m	
Max. Building Height 3m From Street PL		10 m	
Max. Area @ 12m Above Grade must be less than 40% than at area at 10m			

Landscaping		REQUIRED	PROVIDED
Refer to Landscape Drawings			
Amenity Area	Min. Required Private Amenity Space / Per Unit	5.0 m²	

Vehicle Parking		REQUIRED	PROVIDED
Min. Required Parking (COC LUB 585)	0.425 / Unit =	12 Stalls	16 Stalls
COC LUB 560: The required number of motor vehicle parking stalls in section 558 can be reduced by 25.0 per cent for a development within 200.0 metres of primary transit service.		9 Stalls	
Min. Required Visitor	0 / Unit =	0 Stalls	0 Stalls

Bicycle Parking		REQUIRED	PROVIDED
Min. Class 1 (Secure Bike Parking)	0.5 / Unit =	10 Stalls	10 Stalls
Min. Class 2 (Unsecure / Public Parking)	0.1 / Unit =	2 Stalls	2 Stalls

Waste & Recycling		REQUIRED	PROVIDED
Min. Required W&R	0.24 m³ / Unit =	4.56 m³	7.3 m³

GROSS BUILDING AREA

Name	Qty	Imperial	Metric	% of Total
Level 0 - Existing				
Existing Building - LO	1	983 R²	91.36 m²	6.3%
Level 1				
Level 1 Storage	1	211 R²	19.62 m²	1.4%
Existing Building - L1	1	983 R²	91.32 m²	6.3%
Lobby	1	165 R²	15.30 m²	1.1%
Stair Core	2	2346 R²	217.96 m²	15.0%
Units	4	313 R²	29.11 m²	2.0%
Utility	1	334 R²	31.01 m²	2.1%
Level 2				
Corridor	1	334 R²	31.01 m²	2.1%
Stair Core	2	332 R²	30.87 m²	2.1%
Units	7	4463 R²	414.67 m²	28.6%
Utility	1	5130 R²	476.55 m²	32.8%
Level 3				
Corridor	1	334 R²	31.01 m²	2.1%
Stair Core	2	332 R²	30.87 m²	2.1%
Units	7	4463 R²	414.67 m²	28.6%
Utility	1	5130 R²	476.55 m²	32.8%
GRAND TOTAL		15331 R²	1422.10 m²	100.0%

PARKING COUNT

Location	Type	Qty	Width	Length
MOTOR VEHICLE				
Accessible		2	2.4 m	5.4 m
Standard		14	2.5 m	5.4 m
MOTOR VEHICLE				
Floor-Mount	Class 1 - Secure	2	0.6 m	2 m
Floor-Mount	Class 2 - Unsecure	2	0.6 m	2 m
Wall-Mounted	Class 1 - Secure	16	0.6 m	1.4 m
Wall-Mounted	Class 2 - Unsecure	20	0.6 m	1.4 m

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MOTOR VEHICLE				
Accessible		2	2.4 m	5.4 m
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WASTE & RECYCLING

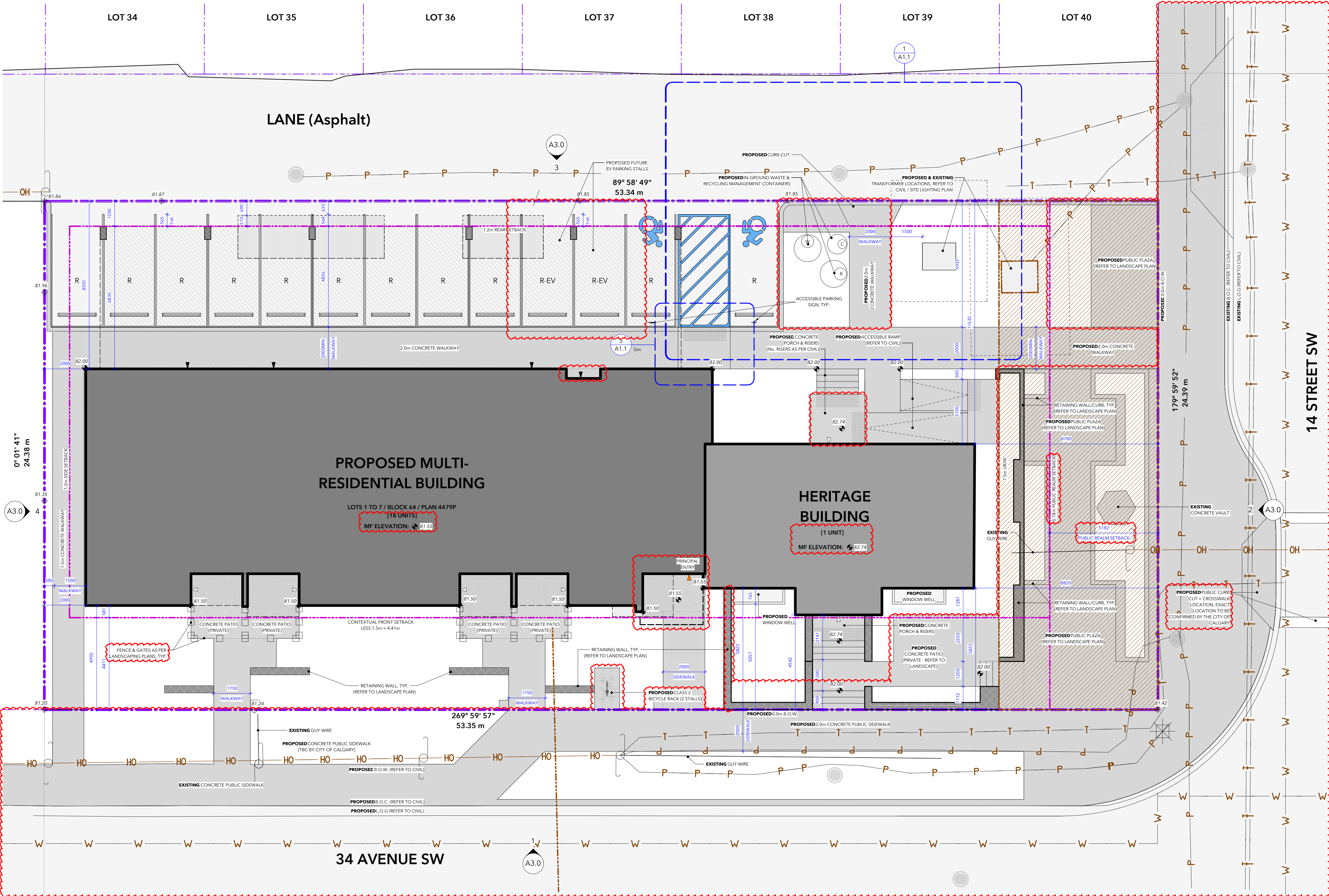
Use	Size	Qty.	Volume
Semi Below Grade Container			
Compost	C 1.30 m³	1	1.3 m³
Recycling	R 3.00 m³	1	3.0 m³
Waste	W 3.00 m³	1	3.0 m³
TOTAL		3	7.3 m³

SITE LEGEND

Proposed Building Footprints	Existing Building Footprints
Roof Easelines	Balconies
Canilevers (> 2.4m) < 2.4 m	Concrete Walkways
Asphalt	Retaining Walls (Refer to Landscape)
Tree Protection Area	Utility Rights-of-Way
Property Lines	Setbacks
Street Lamp Post	Utility Pole
Fire Hydrant	Catch Basin / Man Hole
Semi-in-Ground Waste Container	Community Mailbox (Canada Post Standard)
Existing Elevation / Geodetic	Proposed Elevation / Geodetic
Accessible Parking / Access	Tactile Walking Surface Indicator

SITE LEGEND

Limit of Construction Disturbance	Fences (Refer to Landscape)
Existing Building To Be Removed	Existing Other To Be Removed
Utilities: Water	Utilities: Sanitary Sewer
Utilities: Storm Sewer	Utilities: Gas
Utilities: Telecom	Utilities: Power
Utilities: Misc. Overhead	Swale
Entry/Exit Point (Common)	Entry/Exit Point (Private)
Entry/Exit Point (Principal)	M.E.P. Equipment Location
Water Meter Location (Refer to Civil)	



1 Site - Proposed
1:100

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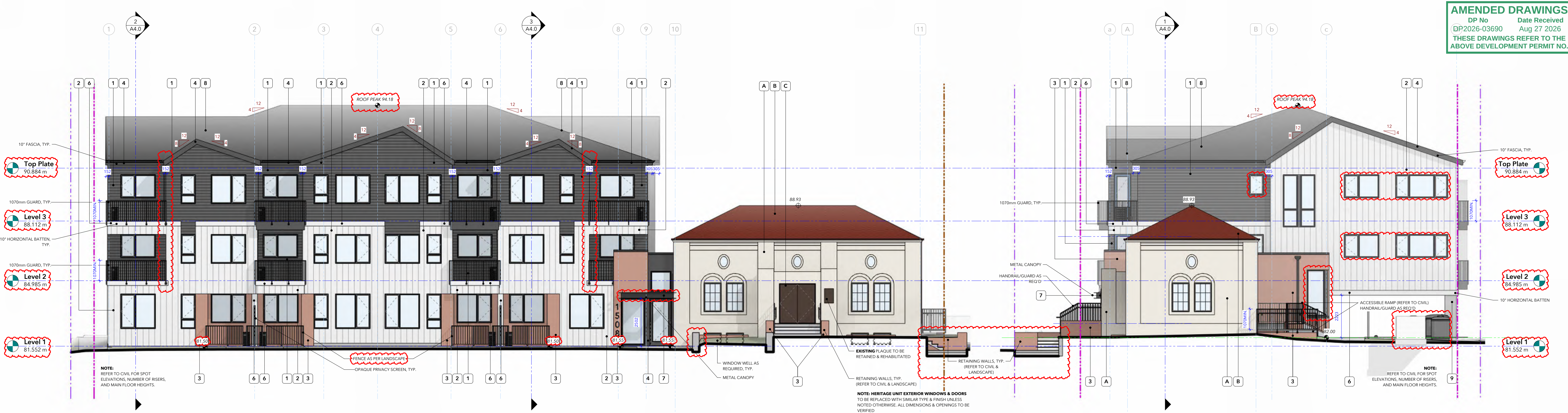
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SHEET



A1.1
Site Plan



1 South (Front) Elevation 1:100
2 East (Right) Elevation 1:100



3 North (Rear) Elevation 1:100
4 West (Left) Elevation 1:100

#	Description	Colour
1	Fibre-Cement Lap Siding	Dark Earthtone
2	Fibre-Cement Vertical Plank Siding	Light Earthtone
3	Brick	Mid-Brown
4	Fibre-Cement Panel / Trim	To match Material #1
5	Fibre-Cement Panel / Trim	To match Material #2
6	Brick	Dark Earthtone
7	Rainware / Flashing / Metal Awning	Dark Earthtone
8	Asphalt Shingles	Natural
9	Concrete	Natural
A	Existing Stucco	To colourmatch existing finish; Repaired and refinished as required
B	Existing Tile Clay Roofing	To colourmatch existing finish; Repaired and refinished as required
C	Existing Doors & Accents	To colourmatch existing finish; Repaired and refinished as required