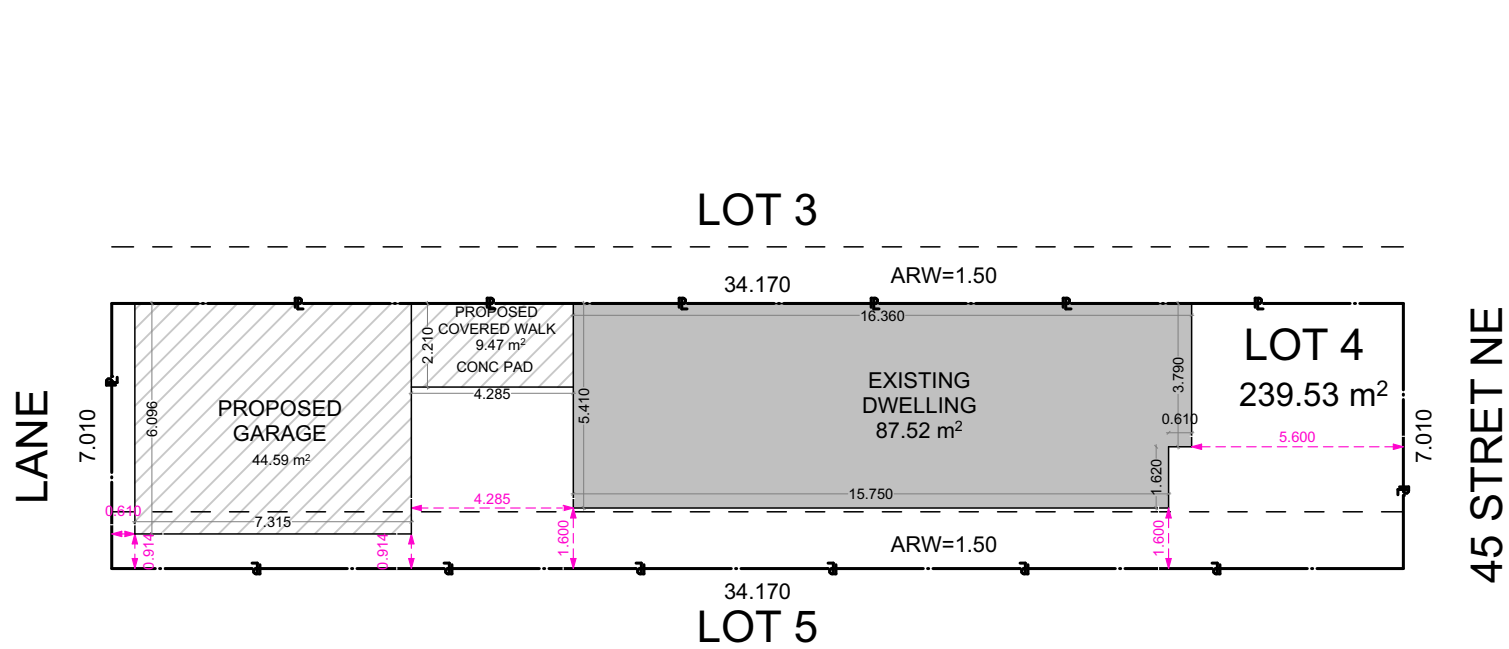


PARCEL COVERAGE
LOT AREA = 239.53 m²
DWELLING = 87.52 m²
GARAGE = 44.59 m²
COVERED WALK = 6.53 m²
TOTAL = 138.64 m²
COVERAGE = 57.9%

ALLOWED=70%

Plan - Site
SCALE: 1:200

DESIGNER:



Since: 2005

Gaillard Design & Plan

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Architectural Design & Permit Drawings for Residential Projects

CALGARY, ALBERTA

CELL: 403-703-7322

E-MAIL: tom@gaillarddesignandplan.com

WEB SITE: gaillarddesignandplan.com

BUILDER:

Sunstar Homes

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PROJECT INFO:

PROJECT ADDRESS:

8771 45 Street NE

Calgary, AB

LEGAL DESCRIPTION:

Lot 4 Block 40 Plan

PROJECT FILE:

GDP2025-202-00a.pln

DRAWING INFO:

Garage

Garage

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

DATE:

MM/DD/YYYY

6/25/2025

SCALE:

AS NOTED

SHEET SIZE:

17"x11"

DRAWN BY:

TDG

NOTE: ALL DIMENSIONS ARE TO FRAMING & OR CONCRETE UNLESS INDICATED OTHERWISE

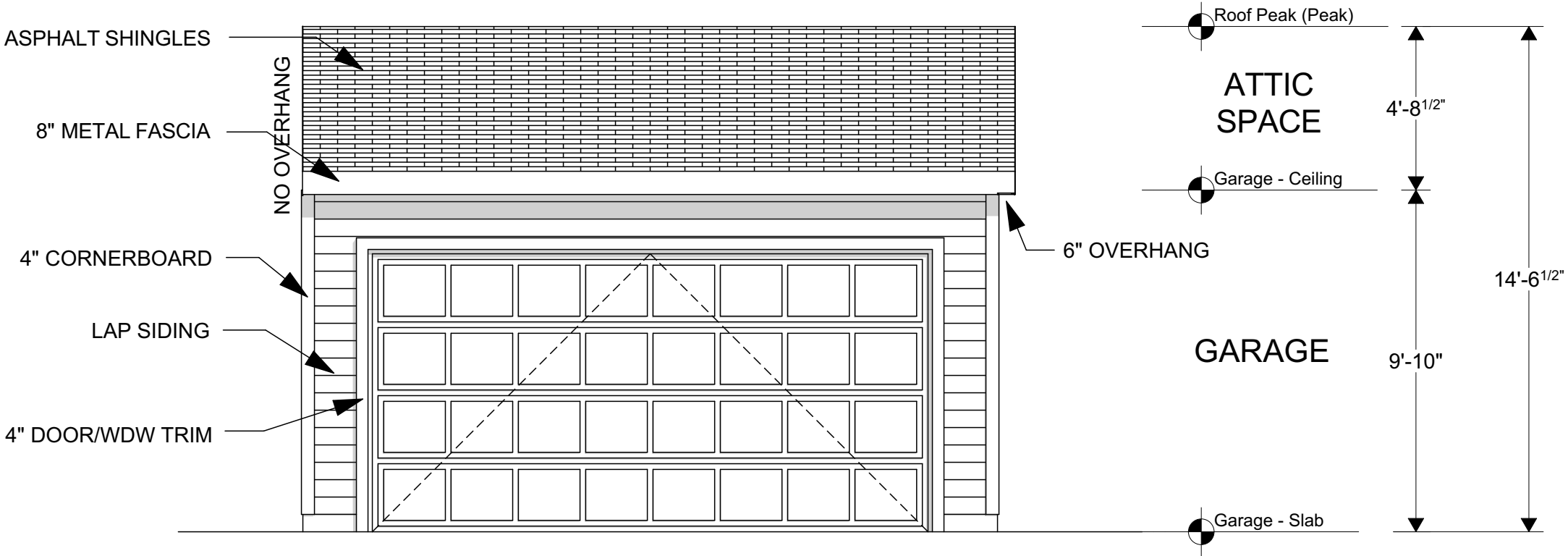
SHEET INDEX:

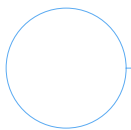
ARCHITECTURAL PLANS

A:1

Plot Plan

PRINTED: Wednesday, June 25, 2025 - 10:20 AM



 **Front Elevation**
SCALE: 1/4" = 1'-0"

DESIGNER:



Since: 2005

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PROJECT INFO:

PROJECT ADDRESS:

8771 45 Street NE

Calgary, AB

LEGAL DESCRIPTION:

Lot 4 Block 40 Plan

PROJECT FILE:

GDP2025-202-00a.pln

DRAWING INFO:

Garage

Garage

1" ACTUAL

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DATE: 6/25/2025

SCALE: AS NOTED

SHEET SIZE: 17"x11"

DRAWN BY: TDG

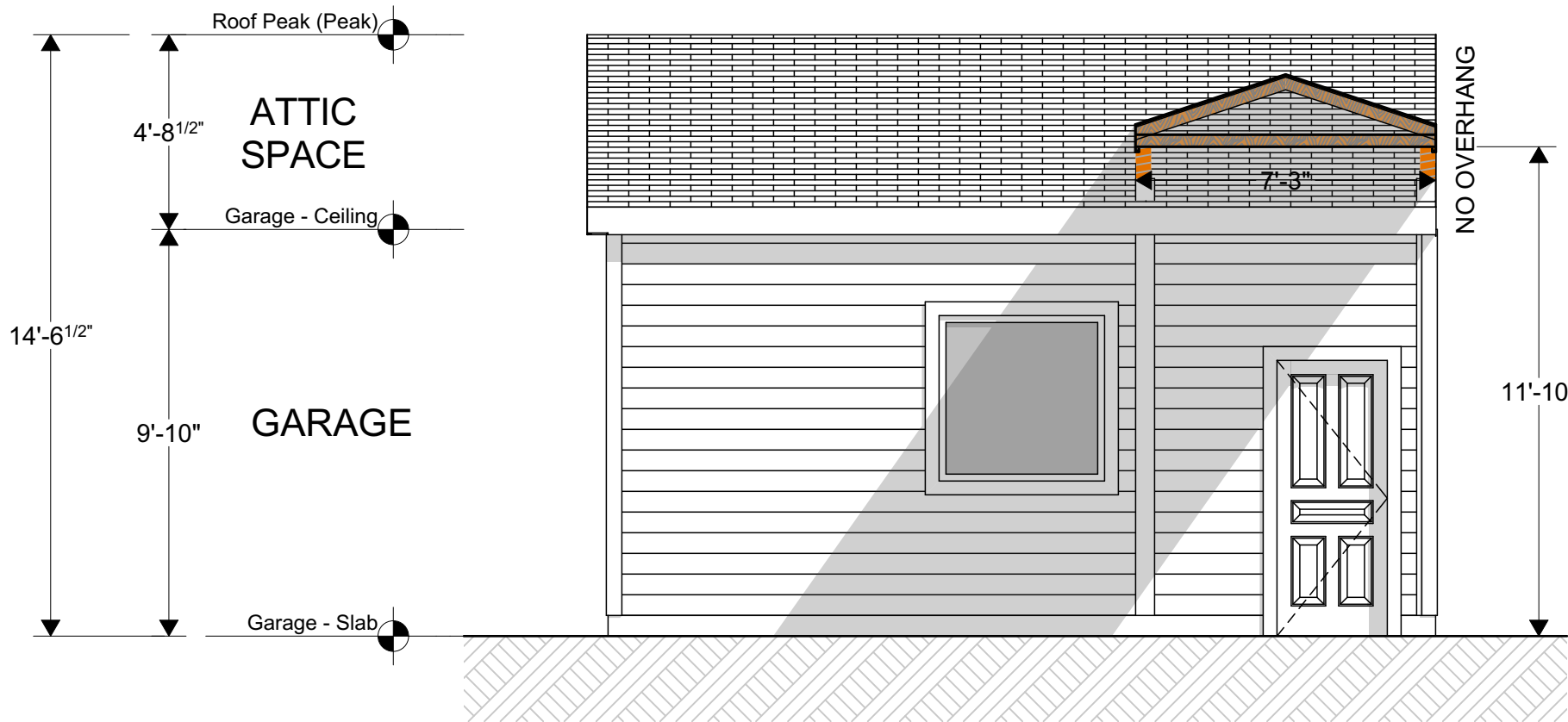
NOTE: ALL DIMENSIONS ARE TO FRAMING & OR CONCRETE UNLESS INDICATED OTHERWISE

SHEET INDEX:

ARCHITECTURAL PLANS

A:2

Front Elevation



Rear Elevation
SCALE: 1/4" = 1'-0"

DESIGNER:



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PROJECT INFO:

PROJECT ADDRESS:

8771 45 Street NE

Calgary, AB

LEGAL DESCRIPTION:

Lot 4 Block 40 Plan

PROJECT FILE:

GDP2025-202-00a.pln

DRAWING INFO:

Garage

Garage

← 1" ACTUAL →

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

DATE:	MM/DD/YYYY 6/25/2025
SCALE:	AS NOTED
SHEET SIZE:	17"x11"
DRAWN BY:	TDG

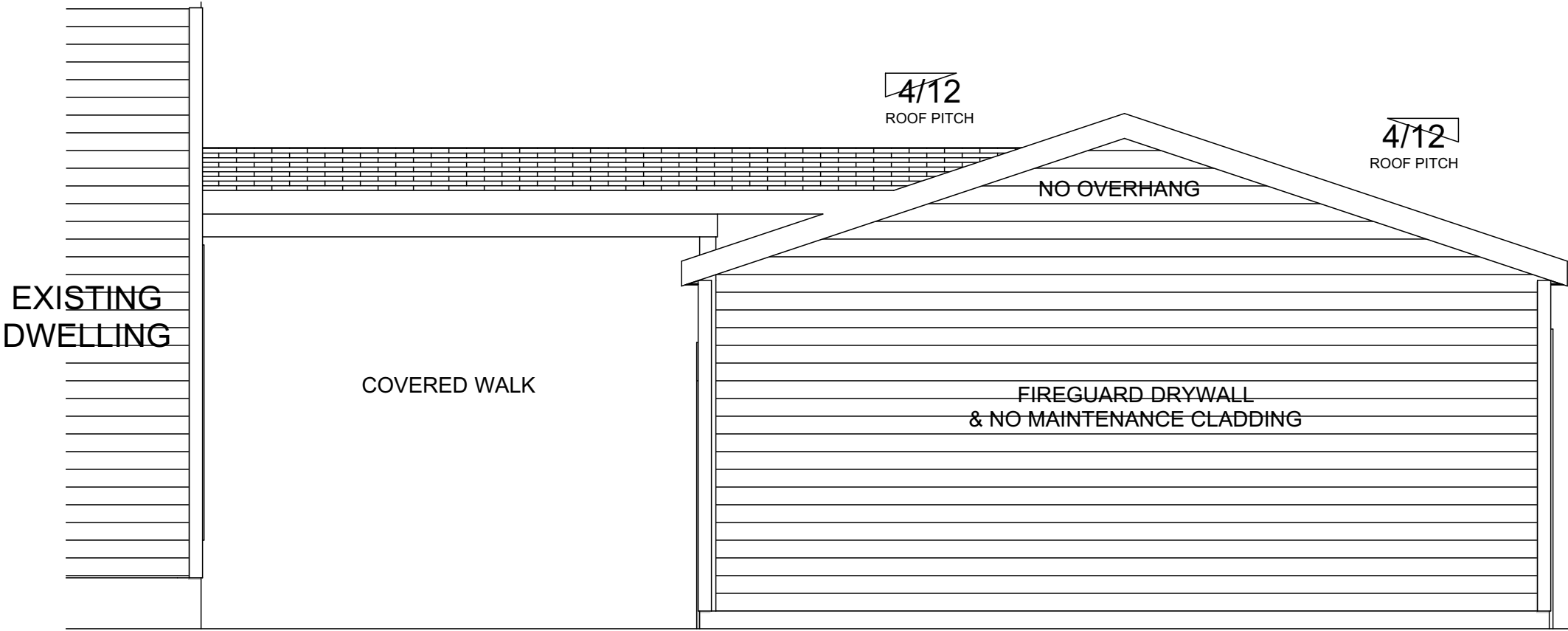
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SHEET INDEX:

ARCHITECTURAL PLANS

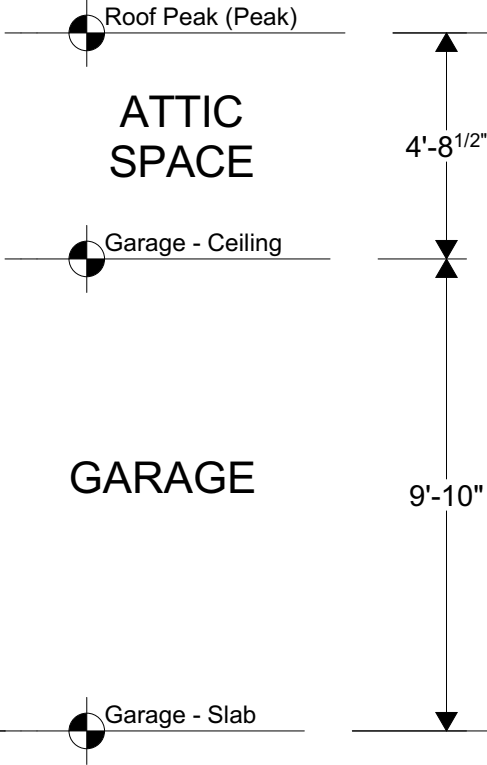
A:3

Rear Elevation



Left Elevation

SCALE: 1/4" = 1'-0"



DESIGNER:



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PROJECT INFO:

PROJECT ADDRESS:

8771 45 Street NE

Calgary, AB

LEGAL DESCRIPTION:

14'-6" Lot 4 Block 40 Plan

PROJECT FILE:

GDP2025-202-00a.pln

DRAWING INFO:

Garage

Garage

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

DATE:

6/25/2025

SCALE:

AS NOTED

SHEET SIZE:

17"x11"

DRAWN BY:

TDG

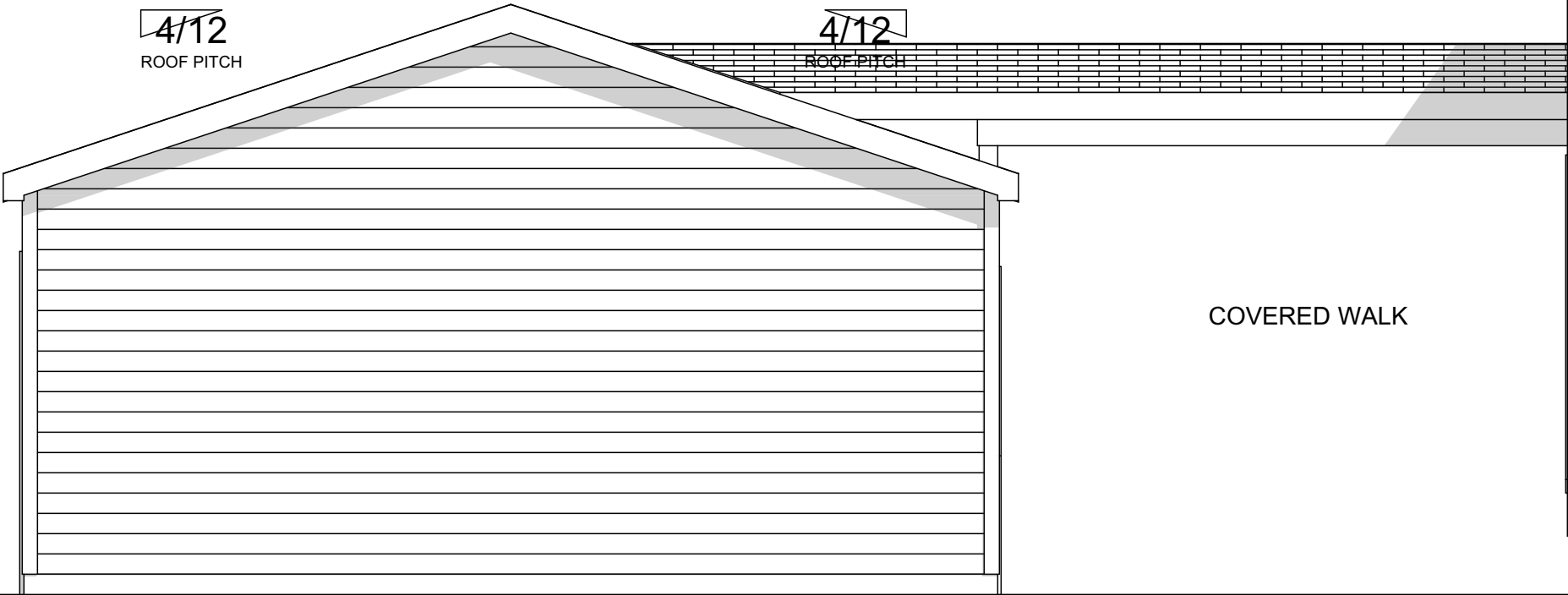
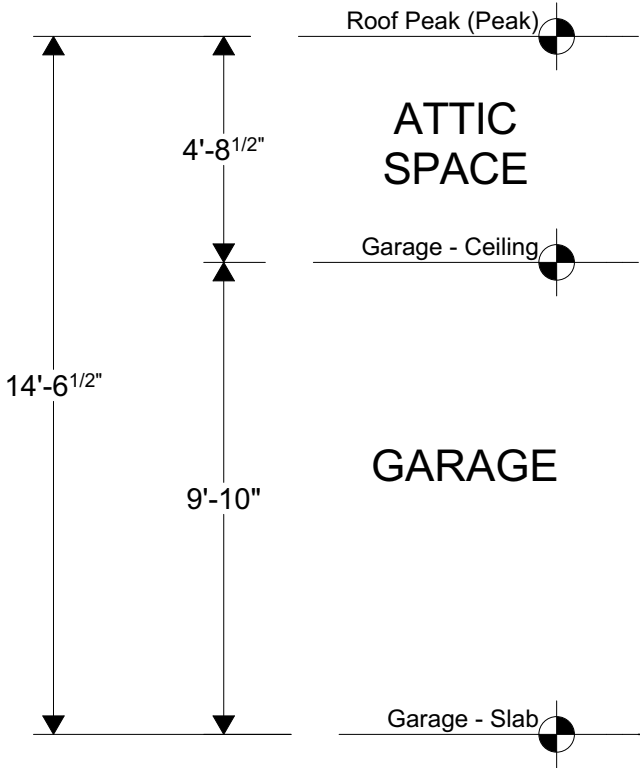
NOTE: ALL DIMENSIONS ARE TO FRAMING & OR CONCRETE UNLESS INDICATED OTHERWISE

SHEET INDEX:

ARCHITECTURAL PLANS

A:4

Left Elevation



Right Elevation

SCALE: 1/4" = 1'-0"

DESIGNER:



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PROJECT INFO:

PROJECT ADDRESS:

8771 45 Street NE

Calgary, AB

LEGAL DESCRIPTION:

Lot 4 Block 40 Plan

PROJECT FILE:

GDP2025-202-00a.pln

DRAWING INFO:

Garage

Garage

1" ACTUAL

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DATE:

MM/DD/YYYY

6/25/2025

SCALE:

AS NOTED

SHEET SIZE:

17"x11"

DRAWN BY:

TDG

NOTE: ALL DIMENSIONS ARE TO FRAMING & OR CONCRETE UNLESS INDICATED OTHERWISE

SHEET INDEX:

ARCHITECTURAL PLANS

A:5

Right Elevation