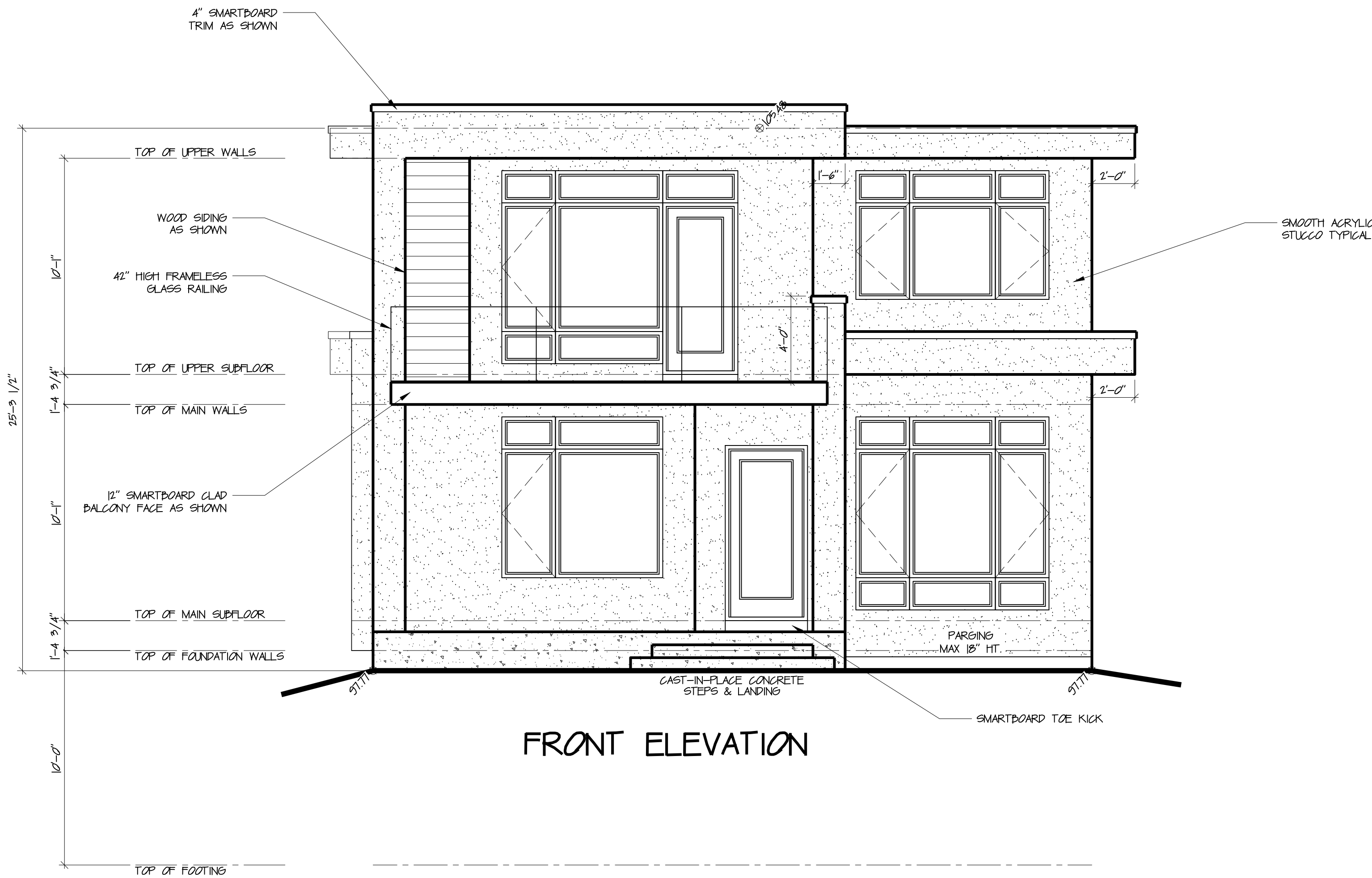




• NOTE •
ALL WINDOWS TO BE CLASS R
PERFORMANCE GRADE 30 EGO GAIN
180 DG DUAL PANE W/ ARGON FILL

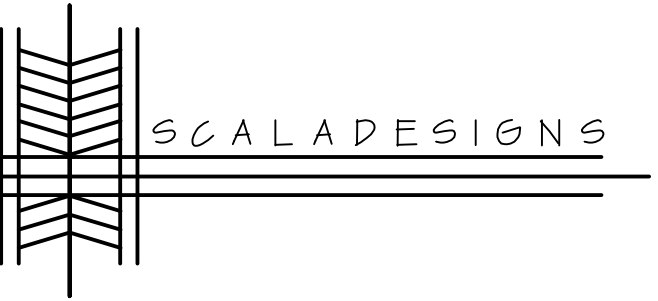
• NOTE •
3/8\"/>

• NOTE •
ALL WINDOWS TO BE LIX Lynx
HYBRID SERIES METAL CLAD VINYL
INTERIOR UNLESS OTHERWISE NOTED

• NOTE •
ALL ROOF FLASHING TO BE
PREFINISHED TO BEST MATCH
COLOR OF ROOF

• NOTE •
TERRAIN CLASSIFIED AS:
OPEN

• NOTE •
ALL MECHANICAL ROOF VENTS
& TERMINATIONS TO BE BLACK



PRIVATE RESIDENCE

NOTES:
-DO NOT SCALE DRAWINGS
-ANY ERRORS OR OMISSIONS ARE TO BE
REPORTED TO SCALA DESIGNS PRIOR TO
COMMENCEMENT OF CONSTRUCTION
-ANY DISCREPANCIES BETWEEN THE
DRAWINGS AND EXISTING CONDITIONS MUST
BE REPORTED TO SCALA DESIGNS PRIOR
TO COMMENCEMENT OF CONSTRUCTION
-THE CONTRACTOR IS TO COMPLY WITH
ALL BUILDING CODES, ORDINANCES &
REGULATIONS
-SCALA DESIGNS' LIABILITY IS LIMITED TO
CORRECTION OF WORKING DRAWINGS ONLY
-THESE PLANS ARE PROPERTY OF SCALA
DESIGNS AND ARE NOT TO BE COPIED OR
REPRODUCED WITHOUT THE PRIOR WRITTEN
CONSENT OF SCALA DESIGNS

REVISIONS:

DP SET

JUNE 24, 2026

ELEVATIONS

LOT:	BLOCK:	PLAN:
73	49	561A 0

ADDRESS:
1813 31 AVE SW., CALGARY, AB

DESIGNED BY: BC
DRAWN BY: HD

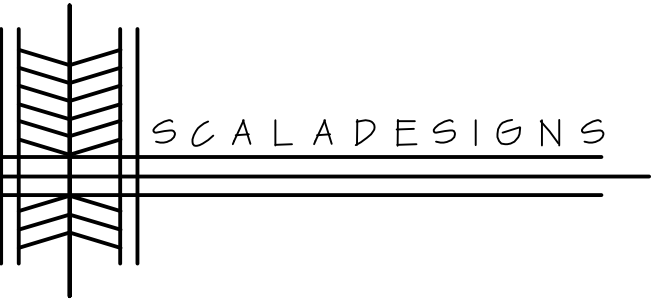
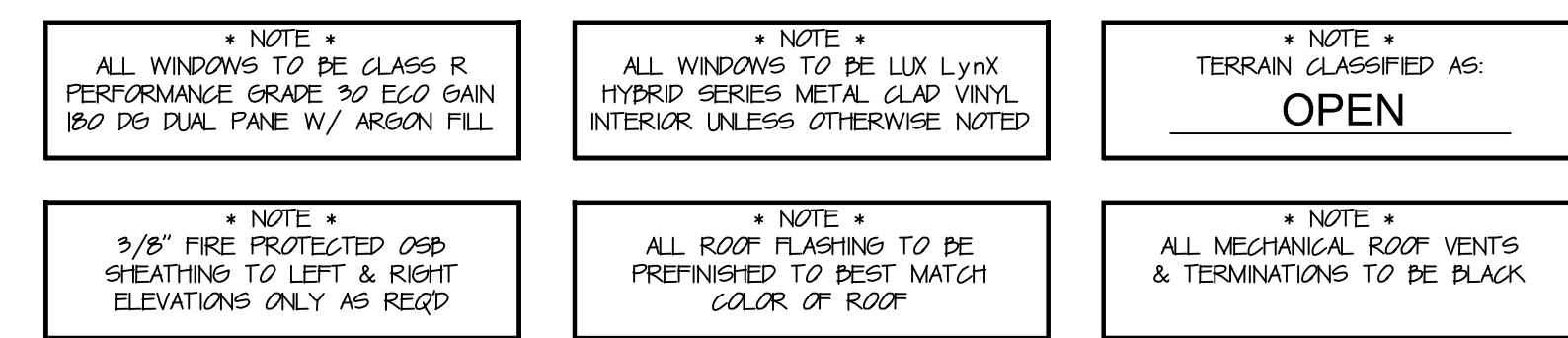
TOTAL AREA:
3083 SQ.FT.

SCALE:
1/4" = 1'-0"

1
9



REAR ELEVATION



PRIVATE
RESIDENCE

- NOTES:
 - DO NOT SCALE DRAWINGS.
 - ANY ERRORS OR OMISSIONS ARE TO BE REPORTED TO SCALA DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REPORTED TO SCALA DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - THE CONTRACTOR IS TO COMPLY WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS.
 - SCALA DESIGNS' LIABILITY IS LIMITED TO CORRECTION OF WORKING DRAWINGS ONLY.
 - THESE PLANS ARE PROPERTY OF SCALA DESIGNS AND ARE NOT TO BE COPIED OR REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF SCALA DESIGNS.

REVISIONS:

DP SET

JUNE 24, 2026

ELEVATIONS

LOT:	BLOCK:	PLAN:
73	49	56/4 0

ADDRESS:
1813 31 AVE S.W., CALGARY, AB

DESIGNED BY:	DRAWN BY:
BC	HD

TOTAL AREA:	PAGE:
3083 SQ.FT.	2 / 9
SCALE:	
$1/4" = 1'-0"$	

* NOTE *

ALL WINDOWS TO BE CLASS R
PERFORMANCE GRADE 30 ECO GAIN
180 DG DUAL PANE W/ ARGON FILL

* NOTE *

ALL WINDOWS TO BE LUX Lynx
HYBRID SERIES METAL CLAD VINYL
INTERIOR UNLESS OTHERWISE NOTED

* NOTE *

TERRAIN CLASSIFIED AS:
OPEN

* NOTE *

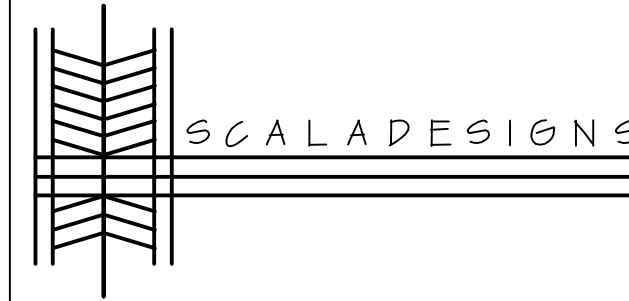
3/8" FIRE PROTECTED OSP
SHEATHING TO LEFT & RIGHT
ELEVATIONS ONLY AS REQ'D

* NOTE *

ALL ROOF FLASHING TO BE
PREFINISHED TO BEST MATCH
COLOR OF ROOF

* NOTE *

ALL MECHANICAL ROOF VENTS
& TERMINATIONS TO BE BLACK



PRIVATE RESIDENCE

NOTES:

- DO NOT SCALE DRAWINGS
- ANY ERRORS OR OMISSIONS ARE TO BE REPORTED TO SCALA DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REPORTED TO SCALA DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- THE CONTRACTOR IS TO COMPLY WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS
- SCALA DESIGNS' LIABILITY IS LIMITED TO CORRECTION OF WORKING DRAWINGS ONLY
- THESE PLANS ARE PROPERTY OF SCALA DESIGNS AND ARE NOT TO BE COPIED OR REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF SCALA DESIGNS

REVISIONS:

DP SET

JUNE 24, 2026

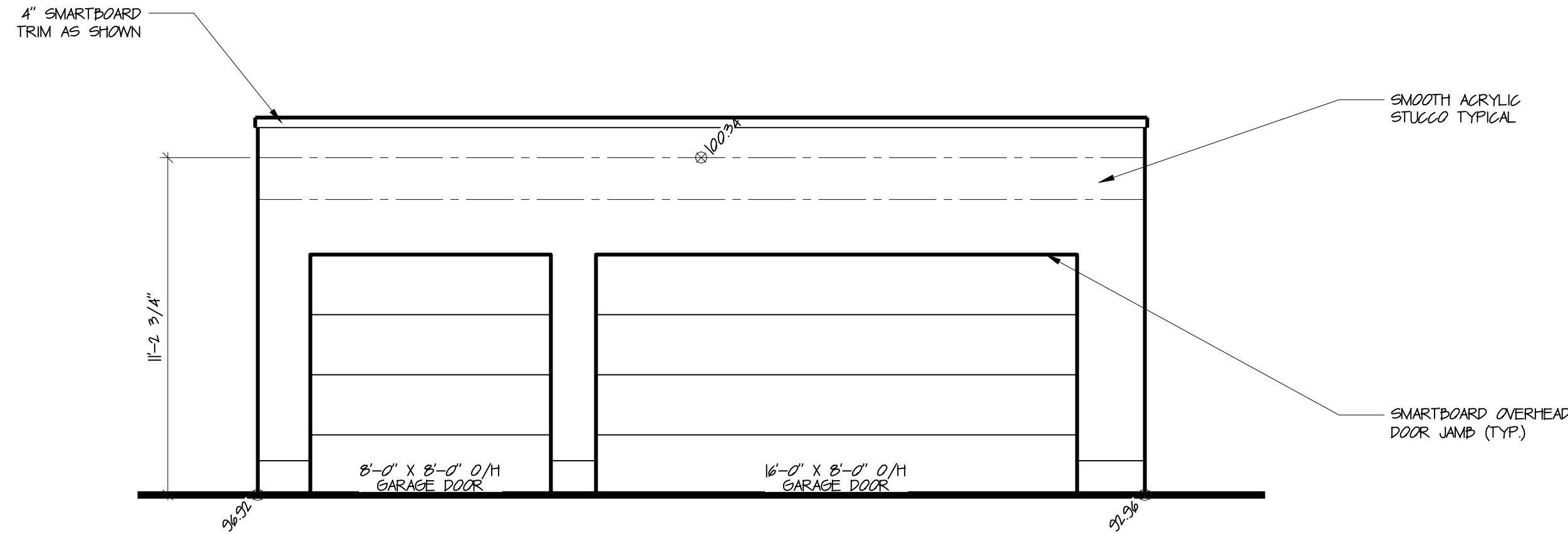
ELEVATIONS

LOT:	BLOCK:	PLAN:
73	49	561A 0

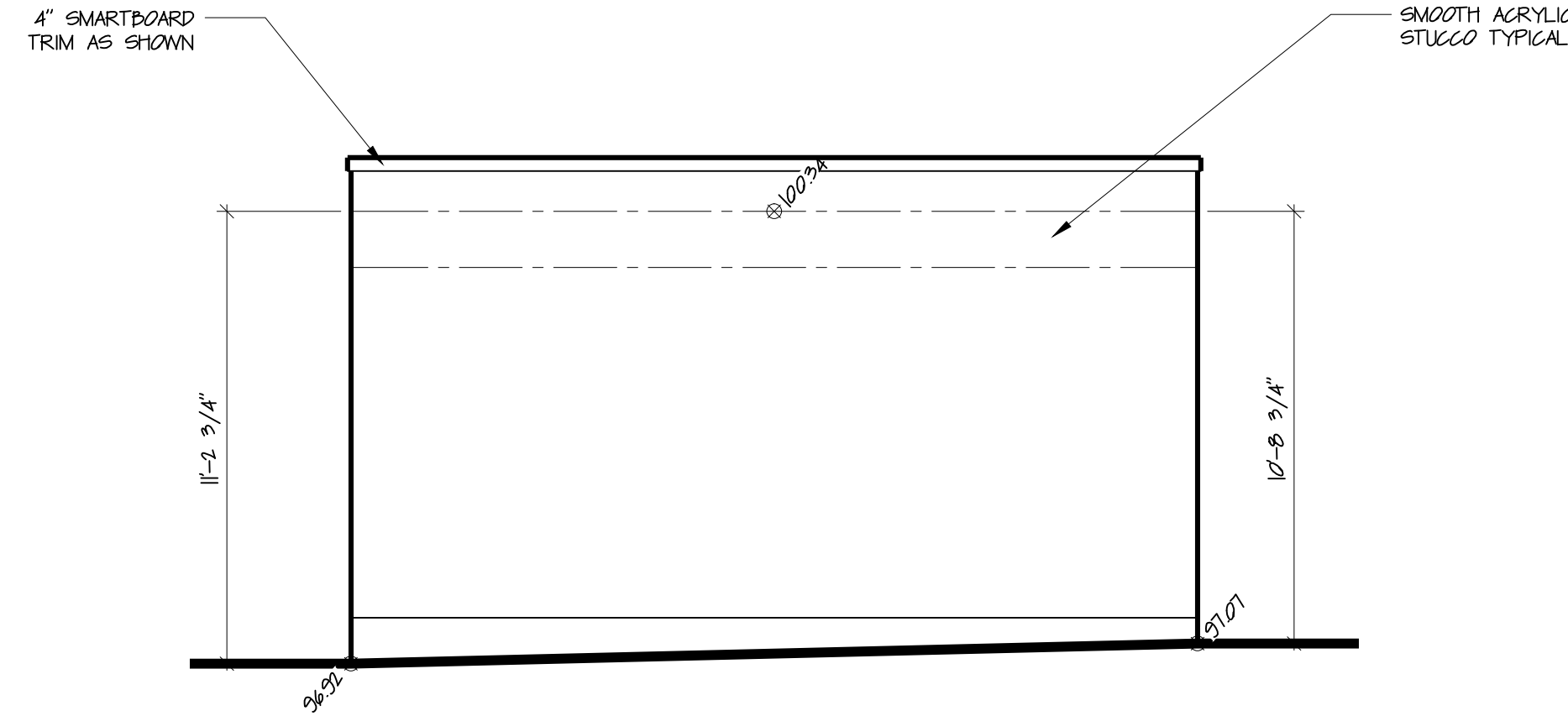
ADDRESS:
1813 31 AVE SW., CALGARY, AB

DESIGNED BY:	DRAWN BY:
BC	HD

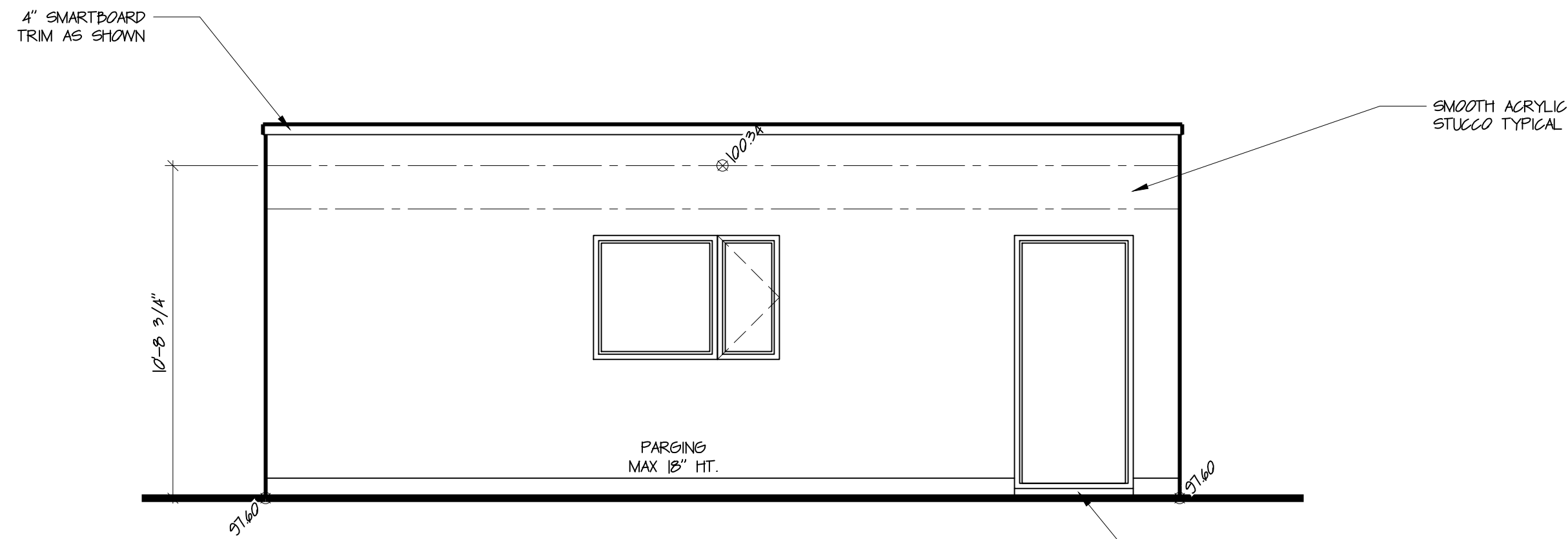
TOTAL AREA:	PAGE:
3083 SQ.FT.	3
SCALE:	1/4" = 1'-0"
	9



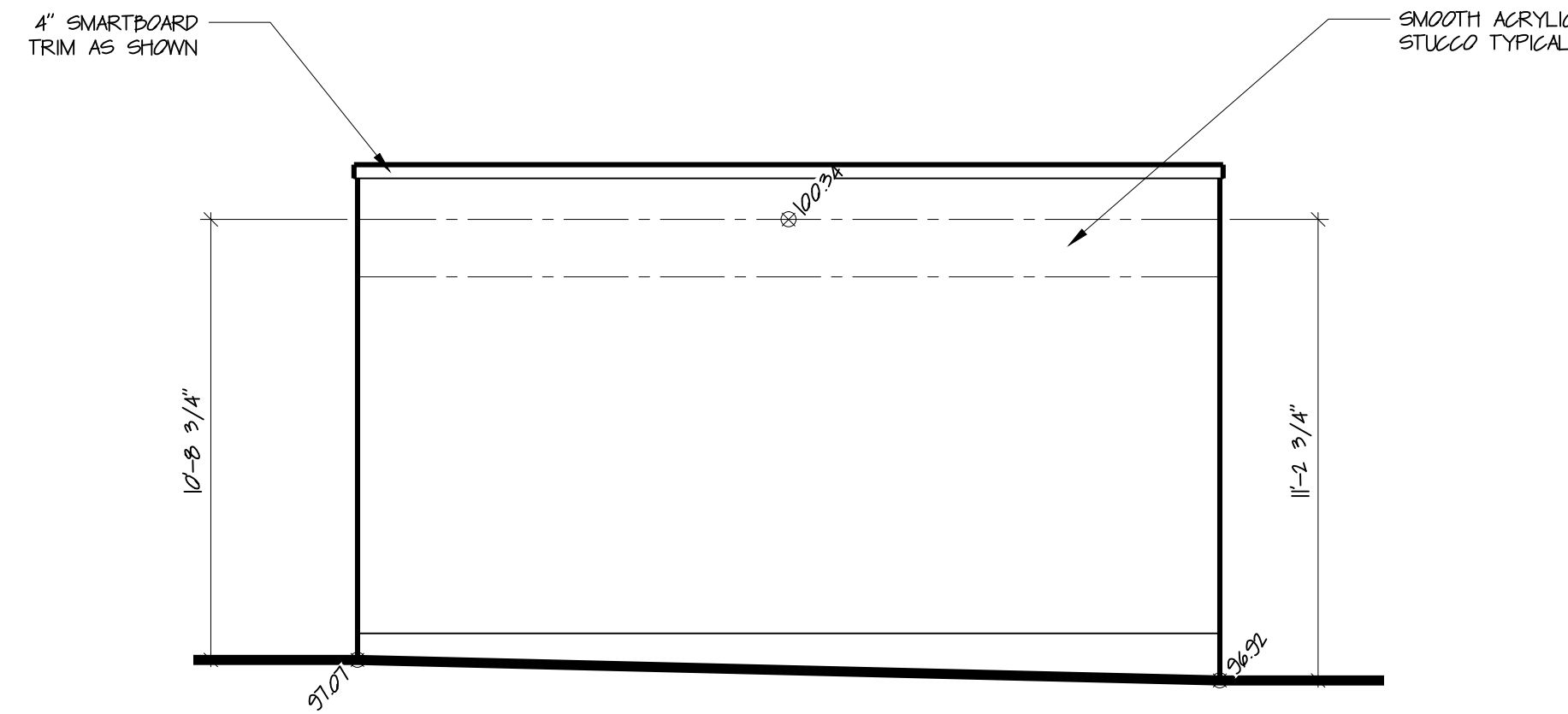
REAR ELEVATION



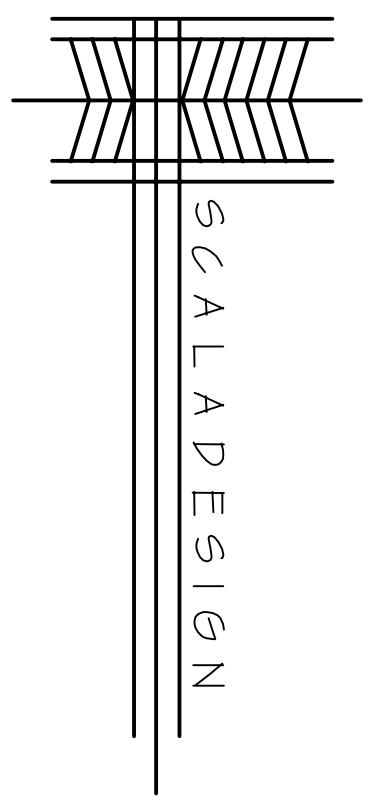
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



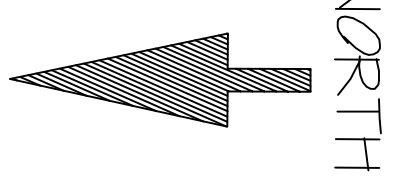
PROPOSED BLOCK PLAN

ADDRESS: 1813 31 AVENUE SW, CALGARY

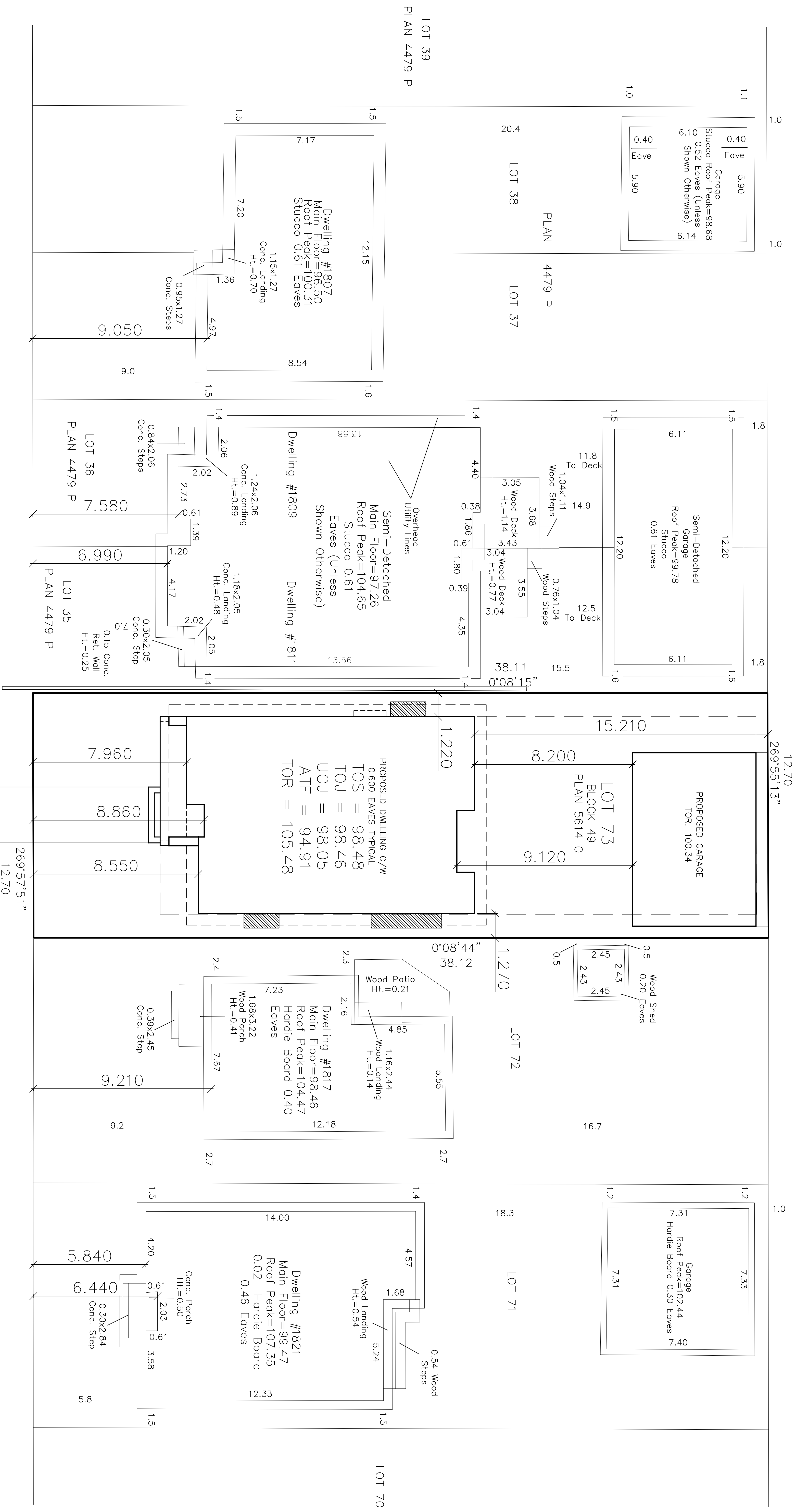
SCALE: 1:100

DRAWN BY: BRANDON CARDONE
PHONE: 1.403.614.9664

LAST REVISED:
JUNE 24, 2026

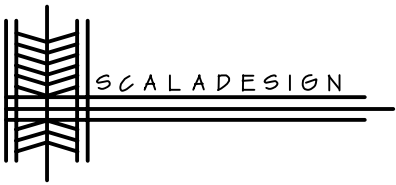


6.10 (PAVED) LANE



3.32 BW

5.14 LG



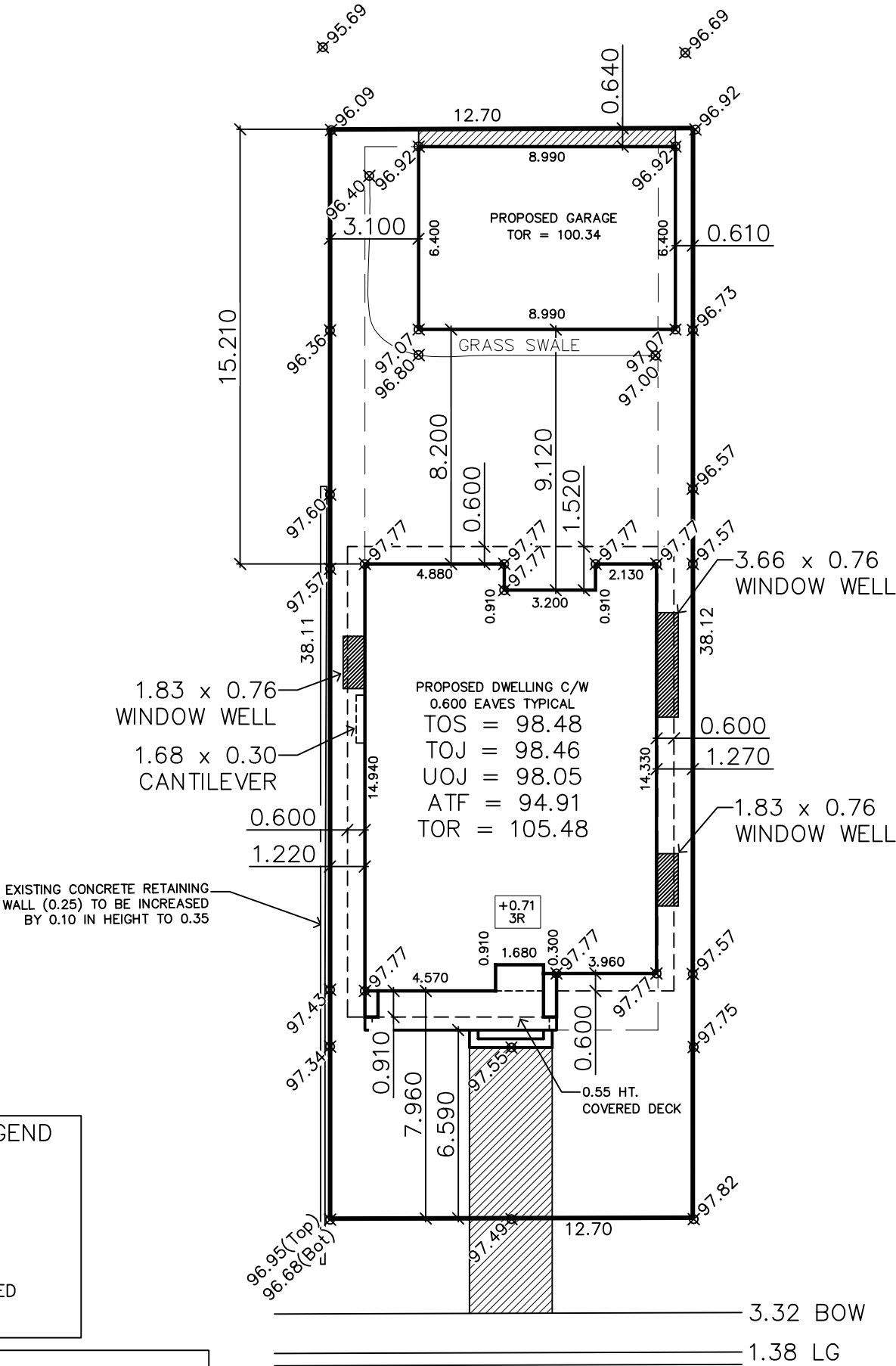
PROPOSED SITE PLAN

LAST REVISED: JUNE 24, 2026

PRIVATE RES.

DRAWN BY: BRANDON CARDONE
PHONE: 1.403.614.9664

NORTH



GRADING LEGEND



EXISTING GRADE



PROPOSED GRADE



BROOM FINISHED CONCRETE

DRIVEWAY: 5.6m² / 60ft²
SIDEWALK: 26.9m² / 289.5ft²

COMMUNITY: SOUTH CALGARY

LOT: 73 BLOCK: 49 PLAN: 5614 0

ADDRESS: 1813 31 AVENUE SW, CALGARY

MODEL: PRIVATE RESIDENCE

SCALE: 1: 200

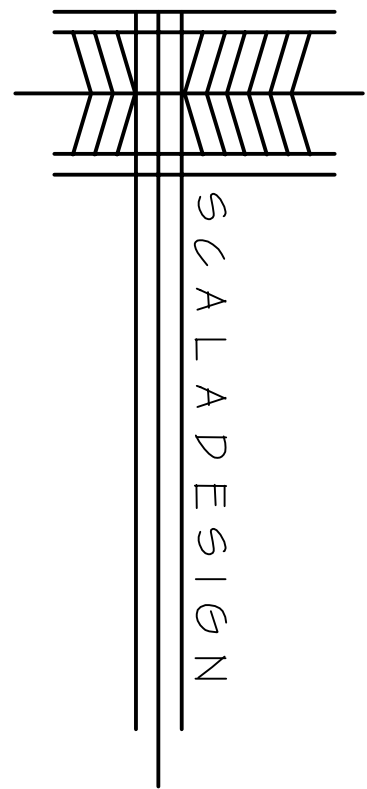
HOUSE AREA: 156.9m² GARAGE AREA: 57.6m²

LOT AREA: 483.32m²

BUILDING COVERAGE: 44.38% ATF: 94.91

TOP OF SUBFLOOR: 98.48 TOP OF JOIST: 98.46

FOUNDATION HEIGHT: 10'-0"



PROPOSED STREETSCAPE PLAN

LAST REVISED: JUNE 24, 2026

ADDRESS: 1813 31 AVENUE SW, CALGARY

LOT: 73

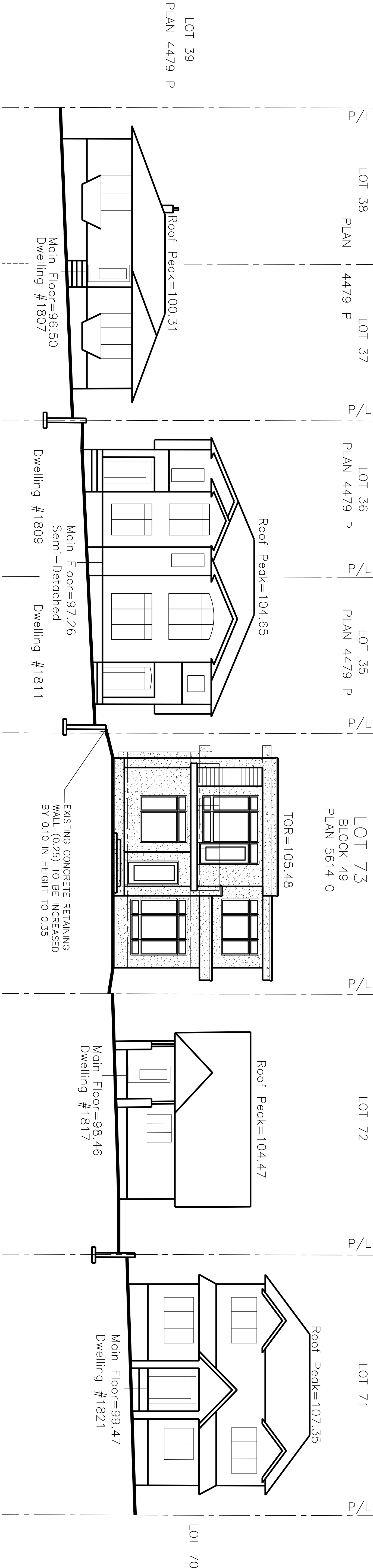
BLOCK: 49

PLAN: 5614 0

SCALE: 1:100

DRAWN BY: BRANDON CARDONE
PHONE: 1.403.614.9664

1813 31 Avenue SW



31ST AVENUE S.W.