

SITE PLAN

1000.00

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 140368
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X-X- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1: 200

LEGAL DESCRIPTION:

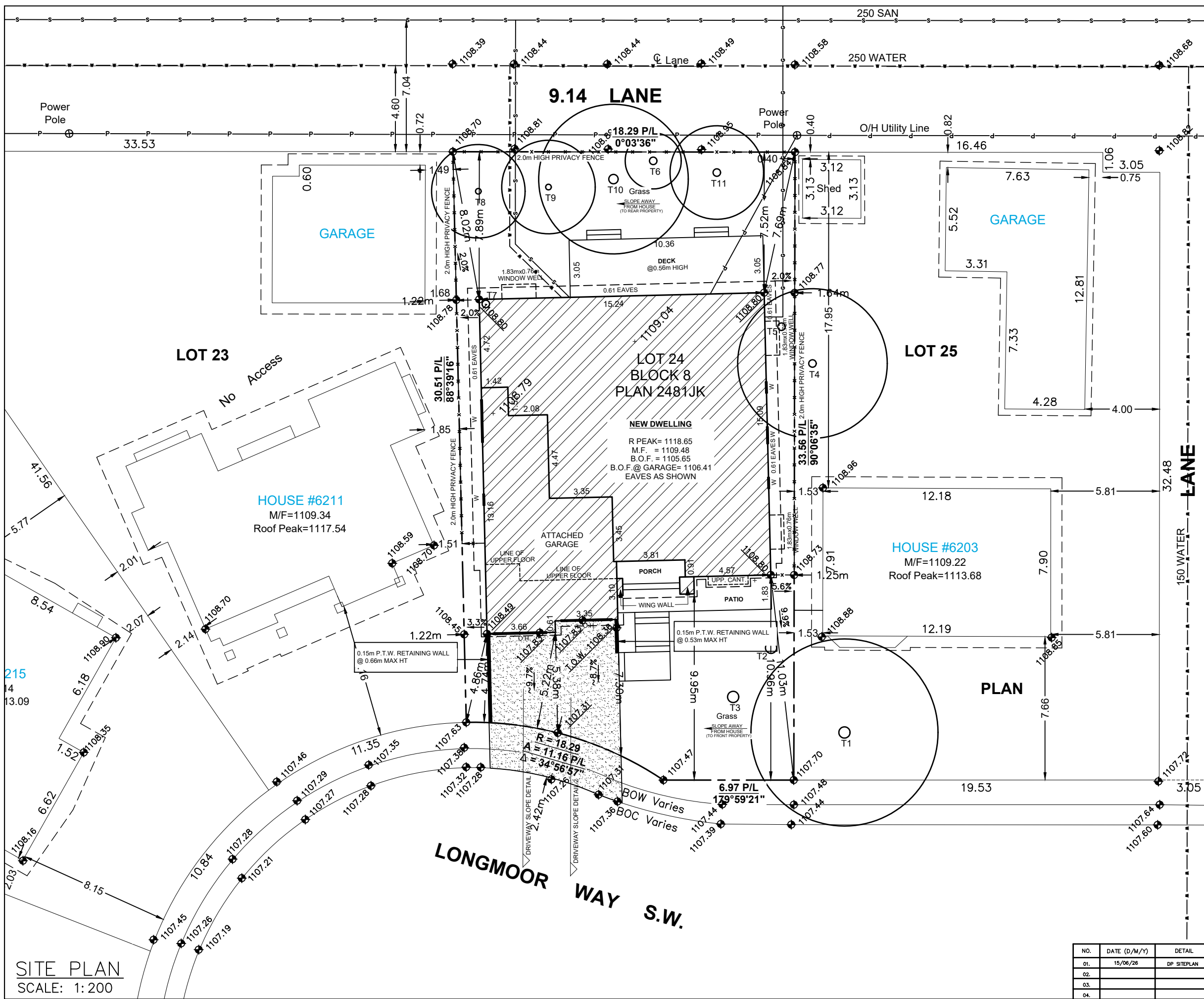
Lot 24
 Block 8
 Plan 2481 JK

MUNICIPAL ADDRESS:

6207 - LONGMOOR WAY S.W.
 Calgary, Alberta

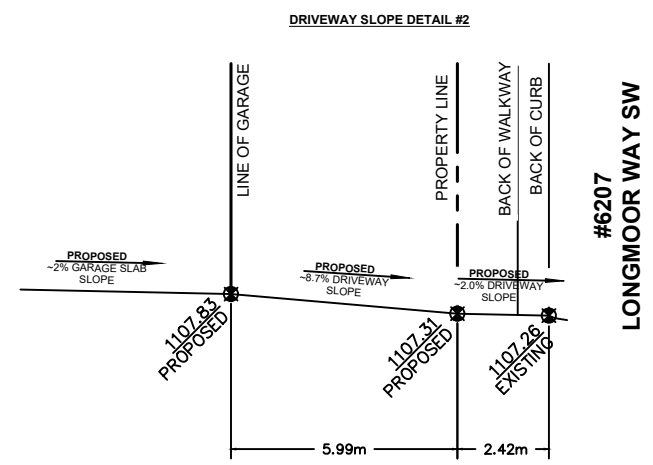
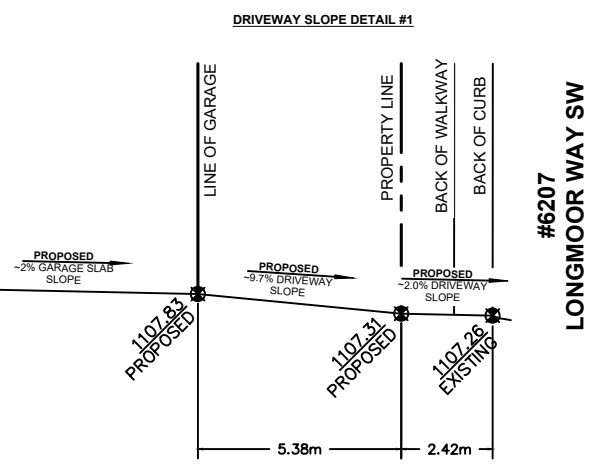
LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)

LOT SIZE: 577.405 SQ M
 HOUSE: 178.653 SQ M
 COVERED PORCH: 0.000 SQ M
 CANT.: 0.000 SQ M
 WING WALL: 0.975 SQ M
 ATTACHED GARAGE: 65.481 SQ M
 TOTAL: 245.109/577.405
 = 42.45%

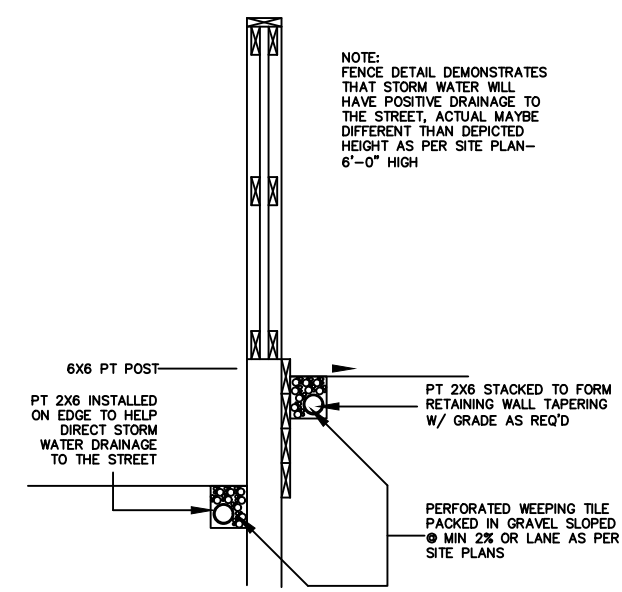


SITE PLAN
 SCALE: 1: 200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	15/06/26	DP SITEPLAN	D.L.	6207 LONGMOOR WAY SW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 24 Block 8	DATE:	DIVISION NUMBER
03.				Plan 2481 JK	JUN 15, 2026	S 01
04.						



DRIVEWAY SLOPE DETAIL
SCALE: NTS



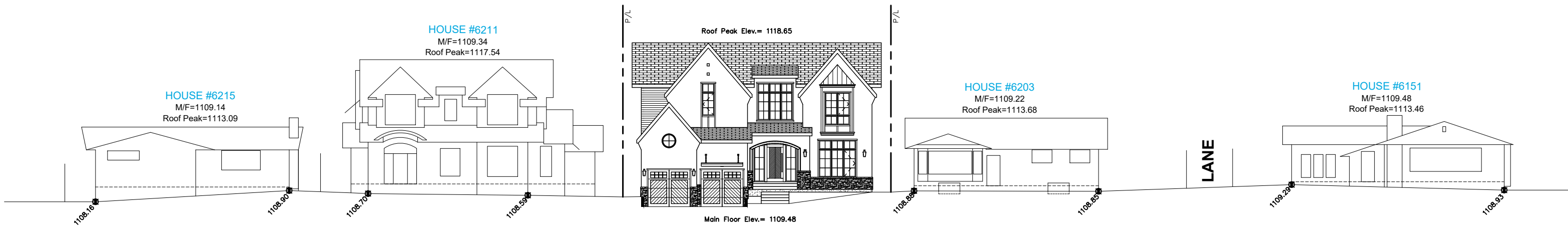
FENCE SECTION DETAIL
SCALE: NTS

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.60	10.00	10.00	In Adjacent Property	To Stay
T2	Deciduous	0.60	6.00	9.00	In Subject Property	To Be Removed
T3	Coniferous	0.60	10.00	13.00	In Subject Property	To Be Removed
T4	Deciduous	0.40	8.00	13.00	In Adjacent Property	To Stay
T5	Deciduous	0.40	9.00	17.00	In Subject Property	To Be Removed
T6	Deciduous	0.40	3.00	4.00	In Subject Property	To Stay
T7	Deciduous	0.40	6.00	7.00	In Subject Property	To Be Removed
T8	Coniferous	0.30	5.00	9.00	In Subject Property	To Stay
T9	Coniferous	0.30	5.00	8.00	In Subject Property	To Stay
T10	Coniferous	0.50	8.00	17.00	In Subject Property	To Stay
T11	Coniferous	0.40	5.00	15.00	In Subject Property	To Stay

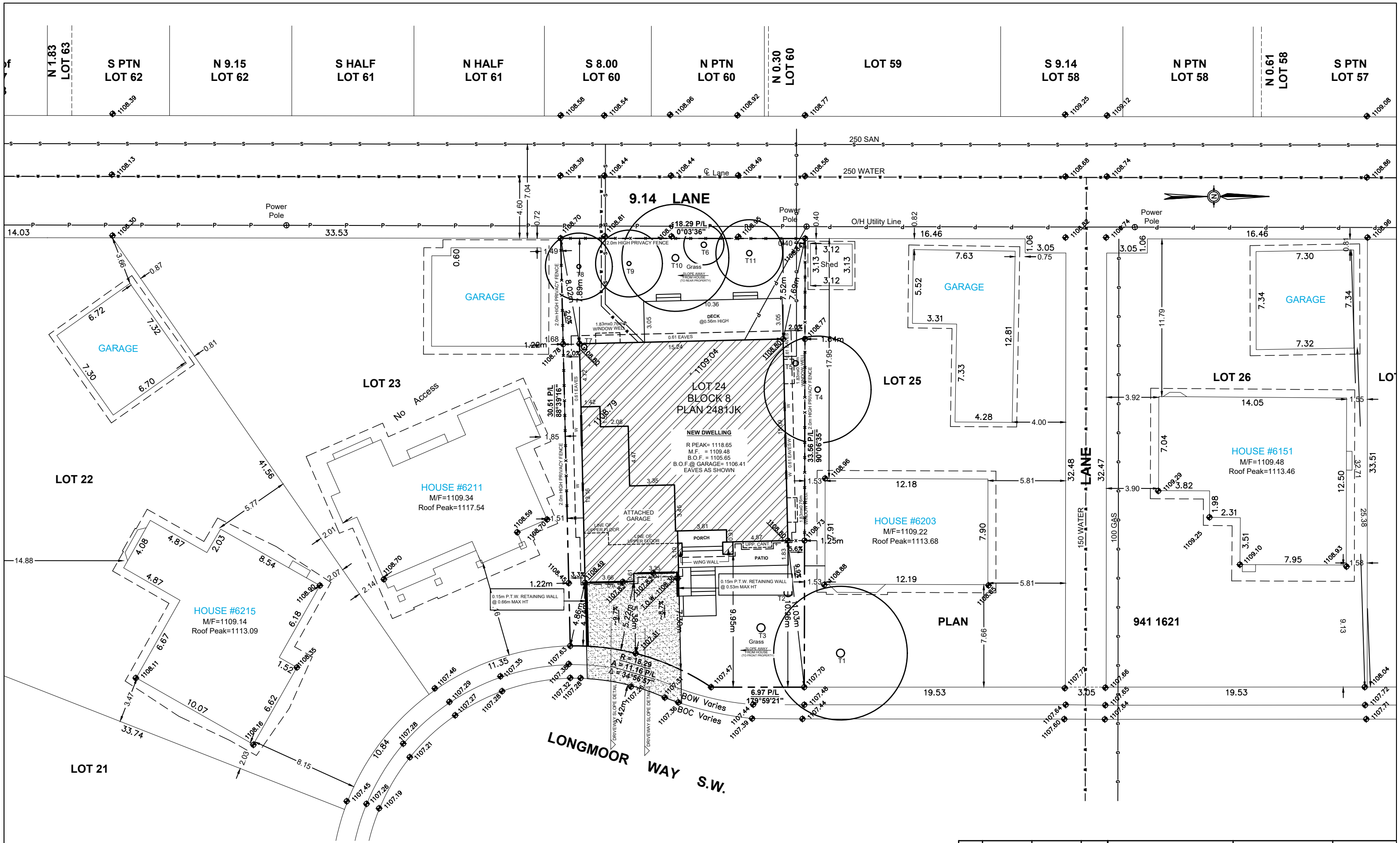
SINGLE DETACHED SQFT:

	AREA
BASEMENT	1923.00 SQ FT
ATTACHED GARAGE	702.83 SQ FT
MAIN FLOOR	1818.00 SQ FT
UPPER FLOOR	2248.50 SQ FT
TOTAL AREA	4066.50 SQ FT



STREETSCAPE
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	15/06/26	DP SITEPLAN	D.L.	6207 LONGMOOR WAY SW Calgary, Alberta	SINGLE HOUSE	AS SHOWN
02.				Lot 24		
03.				Block 8		
04.				Plan 2481 JK		
					DATE:	DIVISION NUMBER
					JUN 15, 2026	S 02



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	15/06/26	DP SITEPLAN	D.L.	6207 LONGMOOR WAY SW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 24 Block 8 Plan 2481 JK	DATE: JUN 15, 2026	DIVISION NUMBER: S 03
03.						
04.						



LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Left & Right Elevations



GENERAL NOTES:

FLOOR AREA

BASEMENT	= 1923.00 SQ. FT.
ATT. GARAGE	= 702.83 SQ. FT.
MAIN FLOOR	= 1818.00 SQ. FT.
UPPER FLOOR	= 2248.50 SQ. FT.
TOTAL	= 4066.50 SQ. FT.

MUNICIPAL ADDRESS:
**6207 - Longmoor Way SW
 CALGARY, ALBERTA**

PROJECT:
NEW HOME

PROJECT NUMBER:
189-26

STATUS:
DP

LEGAL LAND DESCRIPTION:

LOT:	BLOCK:	PLAN:
24	8	2481 JK

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	15/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-15 4:07:51 PM

SCALE:

PAGE: **A-0.0**



- EXTERIOR FINISHES:**
- | | |
|---------------------------|--------------------------|
| 1 ASPHALT SHINGLES | 6 STUCCO FINISH - WHITE |
| 2 8" ALUMINUM FASCIA | 7 STUCCO FINISH - BLACK |
| 3 HARDIE SIDING - WHITE | 8 CONCRETE PAVING |
| 4 BRICK FINISH AS SPEC'D. | 9 CAST-IN PLACE CONCRETE |
| 5 SMART BOARD FINISH | |



VENTED SOFFIT NOTES:
 - VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
**6207 - Longmoor Way SW
 CALGARY, ALBERTA**

PROJECT:
NEW HOME

PROJECT NUMBER:
189-26

STATUS:
DP

LEGAL LAND DISCRPTION:
 LOT: 24 BLOCK: 8 PLAN: 2481 JK

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01.	15/06/26	DP PLANS	D.L.
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04.	--	--	--
05.	--	--	--
06.	--	--	--

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UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Front & Rear Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-15 4:07:58 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

REAR ELEVATION
 SCALE: 1/4" = 1'-0"



50'x40'SL
 1.83mX0.76m
 WINDOW WELL
 AS REQ'D.

- EXTERIOR FINISHES:**
- | | |
|---------------------------|--------------------------|
| 1 ASPHALT SHINGLES | 6 STUCCO FINISH - WHITE |
| 2 8" ALUMINUM FASCIA | 7 STUCCO FINISH - BLACK |
| 3 HARDIE SIDING - WHITE | 8 CONCRETE PARGING |
| 4 BRICK FINISH AS SPEC'D. | 9 CAST-IN PLACE CONCRETE |
| 5 SMART BOARD FINISH | |



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WINDOW CALCULATION @1.22M :
 WALL AREA= 1116.72 SQ. FT.
 WINDOW AREA = 77.88 SQ. FT.
 TOTAL: 77.88/1116.72 = 6.97%



GENERAL NOTES:

MUNICIPAL ADDRESS:
**6207 - Longmoor Way SW
 CALGARY, ALBERTA**

PROJECT:
NEW HOME

PROJECT NUMBER:
189-26

STATUS:
DP

LEGAL LAND DISCRPTION:
 LOT: 24 BLOCK: 8 PLAN: 2481 JK

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03.	--	--	--
04.	--	--	--
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06.	--	--	--

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UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Left & Right Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-15 4:08:01 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**

RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES:**
- | | |
|---------------------------|--------------------------|
| 1 ASPHALT SHINGLES | 6 STUCCO FINISH - WHITE |
| 2 8" ALUMINUM FASCIA | 7 STUCCO FINISH - BLACK |
| 3 HARDIE SIDING - WHITE | 8 CONCRETE PARGING |
| 4 BRICK FINISH AS SPEC'D. | 9 CAST-IN PLACE CONCRETE |
| 5 SMART BOARD FINISH | |



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WINDOW CALCULATION @1.22M :
 WALL AREA= 1208.57 SQ. FT.
 WINDOW AREA = 47.06 SQ. FT.
 TOTAL: 47.06/1208.57 = 3.89%

LEFT ELEVATION
 SCALE: 1/4" = 1'-0"