

ECC 2416 5+5

2416 37th STREET S.W.



ISSUED FOR REVISED PLAN

JULY 16, 2026

DRAWING LIST:

DP.000	COVER
DP.001	BLOCK PLAN
DP.002	SITE DETAILS
DP.100	SITE PLAN
DP.L01	LANDSCAPE PLAN
DP.101	LOWER LEVEL
DP.102	MAIN FLOOR LEVEL
DP.103	SECOND LEVEL
DP.104	THIRD LEVEL
DP.105	ROOF PLAN
DP.106	PARKING PLANS
DP.107	PARKING + MOBILITY STORAGE ELEVATIONS
DP.200	ELEVATIONS
DP.201	ELEVATIONS
DP.202	ELEVATIONS
DP.300	BUILDING SECTION

PROJECT INFORMATION:

PARCEL ADDRESS

LEGAL:	LOT 27 & 28, BLOCK 11E, PLAN 4367 X
MUNICIPAL:	2416 37 STREET S.W.,
	CALGARY, A.B.
COMMUNITY:	KILLARNEY / GLENGARRY

CURRENT ZONING:	M-C1
PROPOSED ZONING:	H-GO

PROPOSED GROSS BUILDING AREA - A

FLOOR	GROSS AREA PER DWELLING
LOWER	135.17 sm (1455 sf)
MAIN	135.17 sm (1455 sf)
SECOND	140.47 sm (1512 sf)
THIRD	124.86 sm (1344 sf)
SUBTOTAL:	535.58 sm (5766 sf)
TOTAL:	400.50 sm (4311 sf)

PROPOSED GROSS BUILDING AREA - B

FLOOR	GROSS AREA PER DWELLING
LOWER	85.84 sm (924 sf)
MAIN	85.84 sm (924 sf)
SECOND	85.84 sm (924 sf)
THIRD	75.81 sm (816 sf)
SUBTOTAL:	333.34 sm (3588 sf)
TOTAL:	171.68 sm (1848 sf)

H-GO BYLAW REGULATIONS

BUILDING SETBACKS

	PERMITTED
FRONT (WEST)	3.0m
SIDE (NORTH)	1.2m
REAR (EAST)	1.2m
SIDE (SOUTH)	1.2m

ACCESSORY SETBACKS

	PERMITTED
SIDE (NORTH)	0.6m
REAR (EAST)	1.2m
SIDE (SOUTH)	0.6m

PARCEL COVERAGE

PARCEL AREA = 556.67 sm (566.67 sm - (21 sm x 5) = 451.67 sm)
PARCEL COVERAGE ALLOWED = 60% / 271 sm

TOTAL PROPOSED = 53.11% / 239.86 sm

FAR

MAXIMUM FLOOR AREA RATIO = 1.5
TOTAL PROPOSED = 1.2

VEHICULAR PARKING

REQUIRED = 0.5 STALLS PER DWELLING UNIT OR SUITE
(5 UNITS + 5 SUITES) X 0.5 STALLS = 5 STALLS
TOTAL RESIDENTIAL STALLS = 5 STALLS PROPOSED

MOBILITY STORAGE

REQUIRED MOBILITY STORAGE LOCKERS = 0.5 LOCKERS PER UNIT OR SUITE
5 UNITS X 0.5 LOCKERS = 2.5 LOCKERS
TOTAL MOBILITY STORAGE LOCKERS = 3 LOCKERS PROPOSED

BICYCLE PARKING STALLS

BICYCLE PARKING STALLS - CLASS 1 = REQUIRED 1 STALL PER UNIT OR SUITE
WHERE IS NOT PROVIDED A VEHICLE PARKING STALL OR MOBILITY STORAGE
LOCKER
TOTAL STALLS REQUIRED = 2 STALLS PROPOSED



FORMED ALLIANCE ARCHITECTURE STUDIO

SHEET NOTES

- N.01 PROPOSED BUILDING
N.02 PROPOSED PARKING STRUCTURE
N.03 EXISTING BUILDING TO BE REMOVED
N.04 EXISTING RETAINING WALL TO BE REMOVED



VIEW 1 - NE CORNER



VIEW 2 - NW CORNER



VIEW 3 - SW CORNER



VIEW 4 - SE CORNER

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR RFP 2	07.18.2026
02	ISSUED FOR REVISED PLANS	11.09.2023
03	DP1 RESPONSE	05.17.2024
04	DP2 RESPONSE	02.09.2024
05	DP1 RESPONSE	12.01.2023
06	ISSUED FOR DP	08.13.2023

PROJECT NAME

2416 37 STREET S.W.

BRANCH/ADDRESS

2416 37 Street S.W.

LEGAL ADDRESS

L: 27 & 28 B: 11E P: 4367 X

PROJECT NO.

23.30.ECC.2416

DRAWN

AZO / SW

CHECKED

DP

DATE

DEC-01-2023

SCALE

AS NOTED

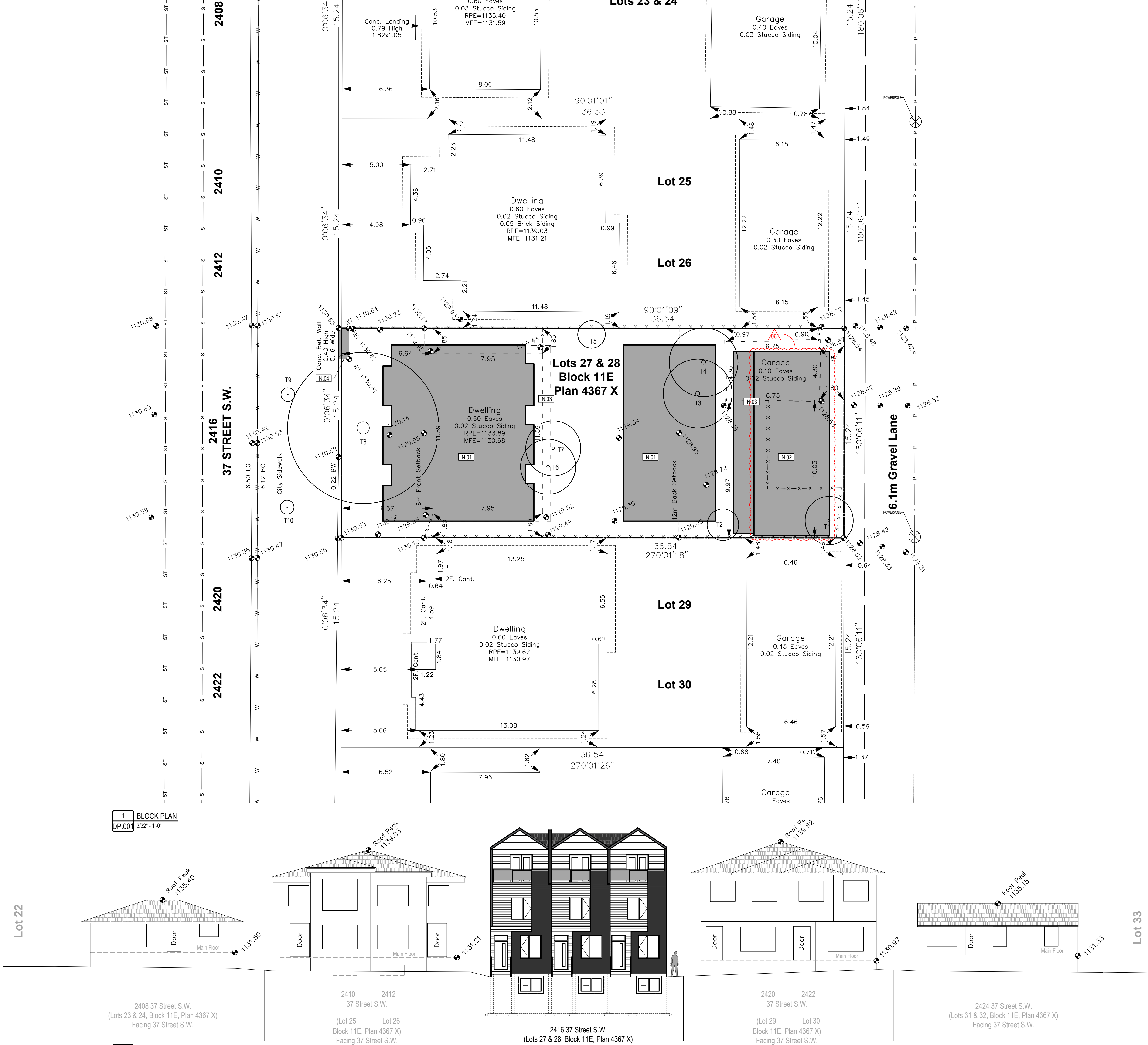
DRAWING TITLE

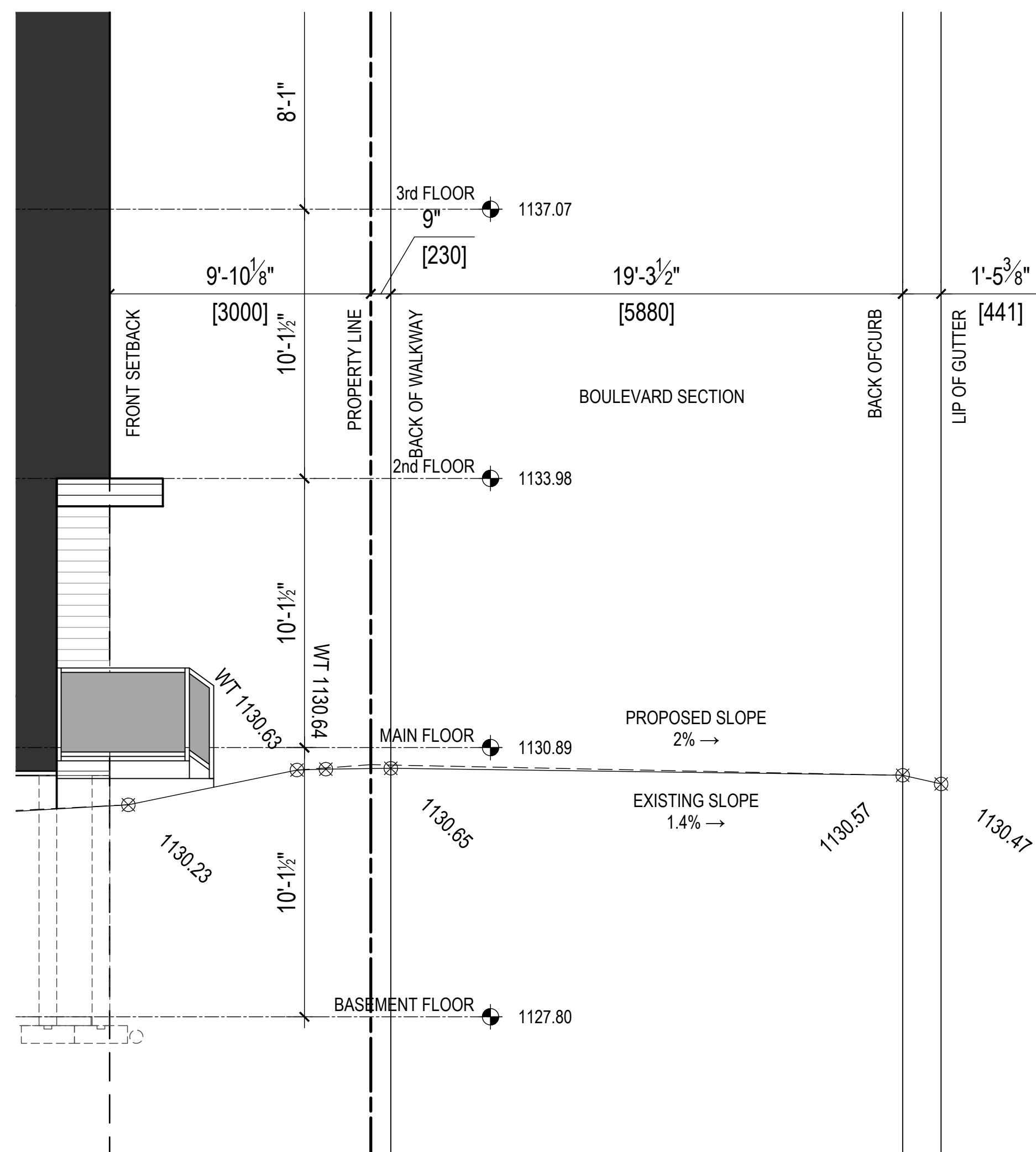
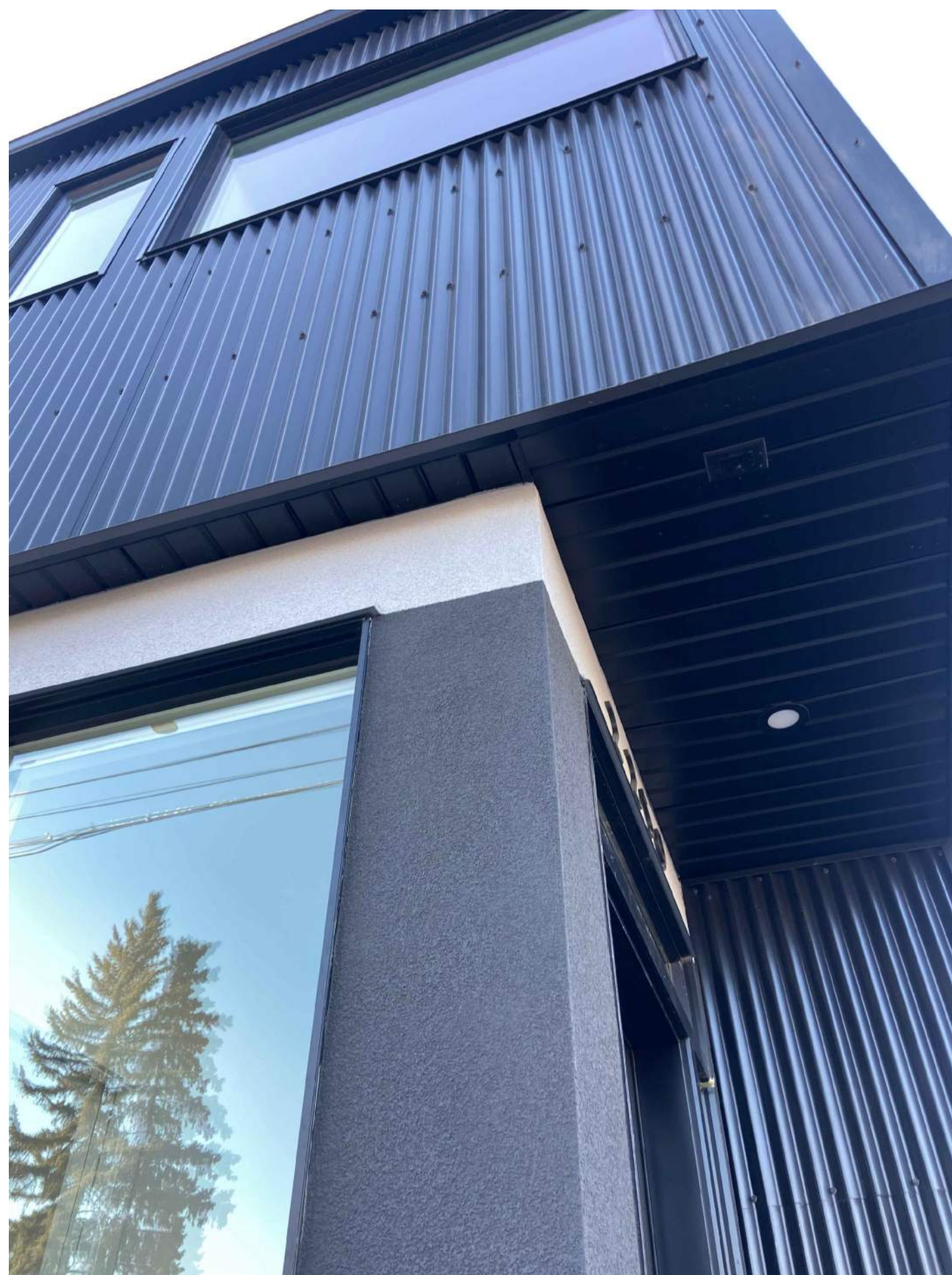
BLOCK PLAN

DRAWING NUMBER

DP.001

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT





SHEET LEGEND

	EXISTING GRADE
	PROPOSED GRADE
	EXISTING GEODETIC ELEVATION
	PROPOSED GEODETIC ELEVATION

RELEASER

NO.	DESCRIPTION	DATE
06	ISSUED FOR RP 2	07.16.2026
05	ISSUED FOR REVISED PLANS	11.06.2025
04	PTR RESPONSE	05.17.2024
03	DR 2 RESPONSE	02.09.2024
02	DTR 1 RESPONSE	12.01.2023
01	ISSUED FOR DP	09.13.2023

2416 37 STREET S.W.

MUNICIPAL ADDRESS
2416 37 Street S.W.

TEL: 27 & 28 B: 11E P: 4367 X

PROJECT NO.
23.30_ECC_2416

FORM	CHECKED
AZO / SW	DP

DATE	SCALE
DEC.01.2023	AS NOTED

DRAWING TITLE

DP.002

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

06	ISSUED FOR RP 2	07.16.2026
06	ISSUED FOR REVISED PLANS	11.06.2025
04	PTR RESPONSE	05.17.2024
03	DR 2 RESPONSE	02.09.2024
02	DTR 1 RESPONSE	12.01.2023
01	ISSUED FOR DP	09.13.2023

2416 37 STREET S.W.

2416 37 Street S.W.

PROJECT NO.
23.30_ECC_2416

OPINN	CHECKED
AZO / SW	DP

DATE	SCALE
DEC.01.2023	AS NOTED

SITE PLAN

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



GENERAL NOTES

- A. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
- B. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
- C. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
- D. EXTERIOR LIGHTING IN FRONT ENTRY AREA, WALL MOUNTED. MOUNTING HEIGHT @7'-6" ABOVE ADJACENT FLOOR.
- E. HOUSING NUMBER MOUNTED ON EXTERIOR WALL @5FT ABOVE ADJACENT FLOOR.
- F. REFERRING TO SHEET NOTE N.14: POTENTIAL OPTIONS FOR SOLAR PV READY DETAILS: AT LEAST 2.5 CM (1" NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, ELECTRICAL METALLIC TUBING OR CABLES WITH A METAL ARMOUR OR METAL SHEATH. ALTERNATIVELY, A 2" VACUUM TUBE WITH TWINE PULLED THROUGH AND CARD ON EACH END TO ACCOMMODATE FUTURE INSTALLATION.
- G. REFERRING TO SHEET NOTE N.15: A MINIMUM OF 40 AMPS, 240-VOLT CIRCUIT AND WIRING TO BE PROVIDED TO THIS LOCATION FOR AN ELECTRICAL VEHICLE CHARGER.

 EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

[illegible]

06	ISSUED FOR RP 2	07.16.2026
06	ISSUED FOR REVISED PLANS	11.06.2025
04	PTR RESPONSE	05.17.2024
03	DR 2 RESPONSE	02.09.2024
02	DTR 1 RESPONSE	12.01.2023
01	ISSUED FOR DP	09.13.2023

PROJECT NAME

2416 37 STREET S.W.

UNIVERSAL ADDED

2416 37 Street S.W.

L: 27 & 28 B: 11E P: 4367 X

PROJECT NO. 23 30 ECC 2416

DRYAN	CHECKED
A30 / SIM	DR

DATE	SCALE
1999.01.01	1.0

DRAWING TITLE

LANDSCAPE PLAN

(FORMER) MEMBER

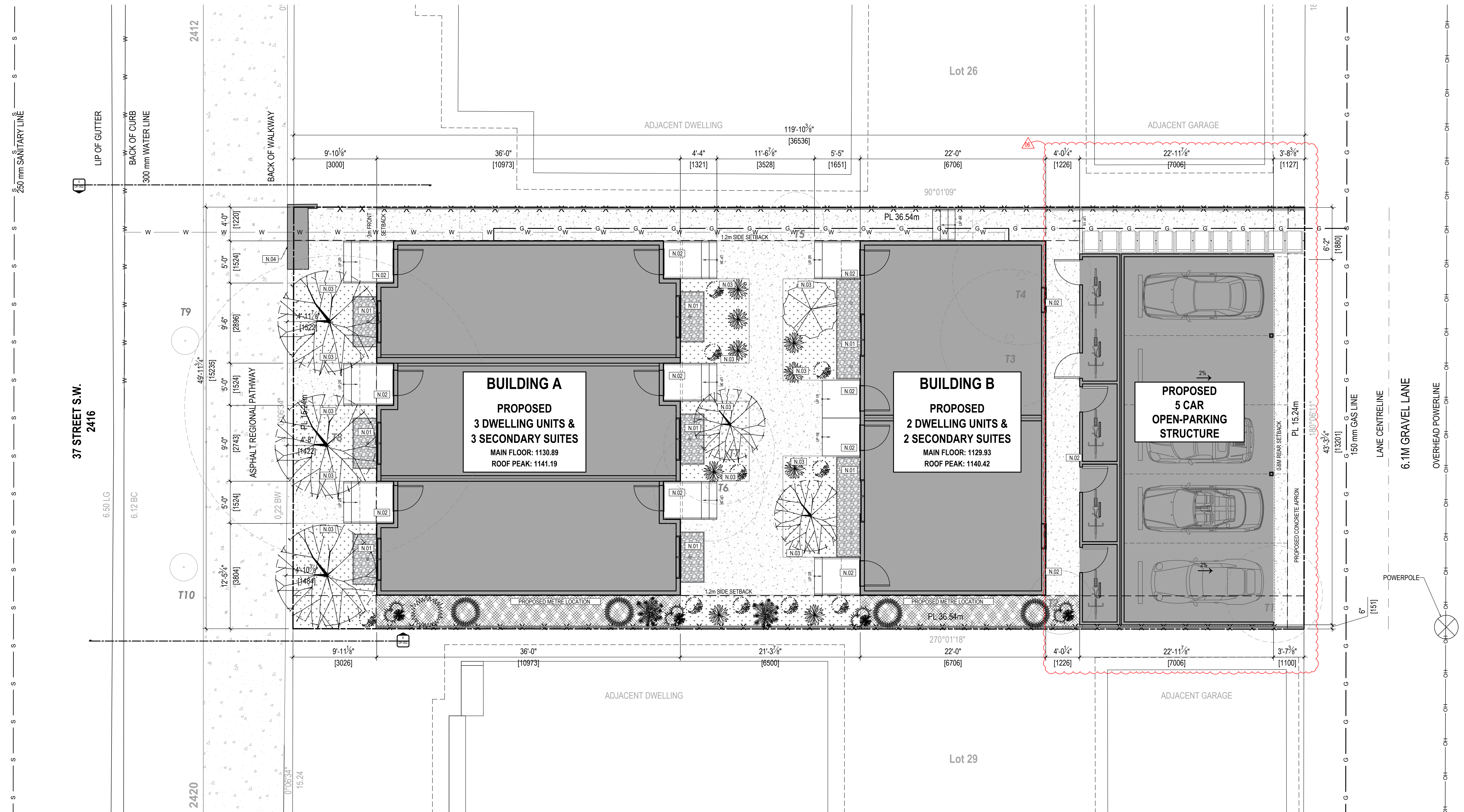
DB 101

DP.40

— — — — —

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE LOANED OR REPRODUCED WITHOUT

AND MAY NOT BE USED OR REPRODUCED WITHOUT
PRIOR WRITTEN CONSENT.



PROPOSED PLANTINGS							
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @ PLANTING	TYP. SPREAD	TYP. HEIGHT	REQ.	QTY.
CONFERRER TREES							
	DWARF SPRUCE	PICEA GLAUCA	2 m HIGH	7'-10"	10'-13"	LOW WATER	1
DECIDUOUS TREES							
	AMUR MAPLE	ACER GINNALA	60 mm CALLIPER			LOW WATER	5
SHRUBS							
	SAVIN JUNIPER	JUNIPERUS SABINA	0.60 m SPREAD	4'-0"	3 TO 5'	LOW WATER	9
	MUGO PINE	PINUS MUGO	0.60m SPREAD			LOW WATER	2
	LILAC	SYRINGA SPP.	0.60m SPREAD			LOW WATER	11
GRASSES & FLOWERS							
	ROCKY MOUNTAIN FESCUE	FESTUCA SAXIMONTANA	0.60m SPREAD		4" TO 20"	LOW WATER	5
	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	0.60m SPREAD		UP TO 7'	LOW WATER	6
	ROCKY MOUNTAIN BROOMRAPE	CLEOME SERRULATA	0.60m SPREAD		12" TO 48"	LOW WATER	5

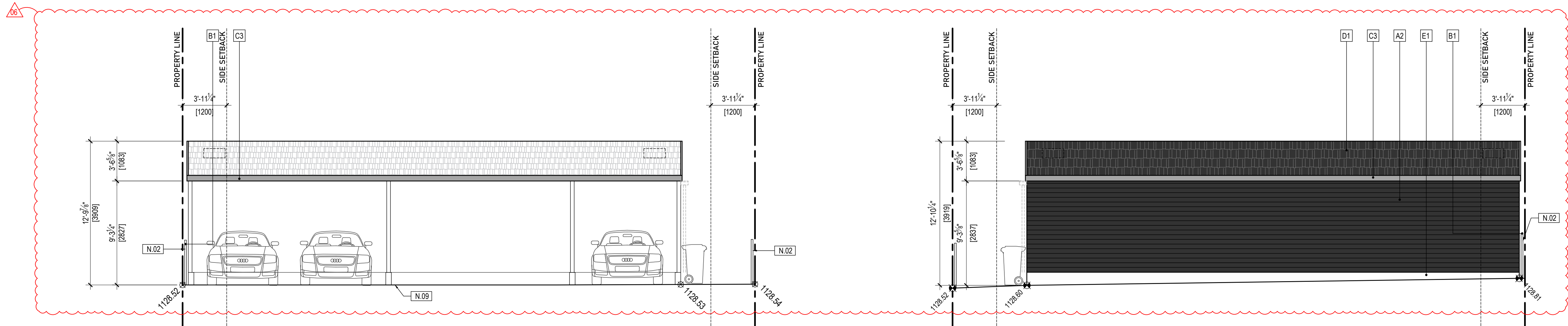
LANDSCAPING INFORMATION	
LANDSCAPING LEGEND	
CODE	ITEM
	MULCH GROUND COVER
	LAWN (GRASS)
	CONCRETE (APRON)
	SANDBLASTED CONCRETE (WALKWAY)
	GRAVEL (WINDOW WELL)
	ASPHALT
EXISTING TREES	
	TO REMAIN
	TO BE REMOVED

EXISTING PLANTINGS					
NO.	SPECIES	TRUNK (±)	CANOPY (±)	HEIGHT (m)	NOTES
T1	DECIDUOUS	0.15	3.50	8.00	TO BE REMOVED
T2	BUSH	-	2.30	3.50	TO BE REMOVED
T3	DECIDUOUS	0.30	5.00	10.00	TO BE REMOVED
T4	CONIFEROUS	0.30	5.00	10.00	TO BE REMOVED
T5	BUSH	-	2.00	3.00	TO BE REMOVED
T6	DECIDUOUS	0.20	4.00	4.00	TO BE REMOVED
T7	DECIDUOUS	0.20	4.00	4.00	TO BE REMOVED
T8	DECIDUOUS	0.90	11.00	9.00	TO BE REMOVED
T9	DECIDUOUS	0.05	1.00	2.00	TO REMAIN IN CITY PROPERTY
T10	DECIDUOUS	0.05	1.00	2.00	TO REMAIN IN CITY PROPERTY

SHEET NOTES	
N.01	WINDOW WELL
N.02	PROPOSED EXTERIOR LIGHTING (REF DP.002)
N.03	PROPOSED PATHWAY LIGHTING (REF DP.002)
N.04	EXISTING CONCRETE RETAINING WALL TO BE REMOVED

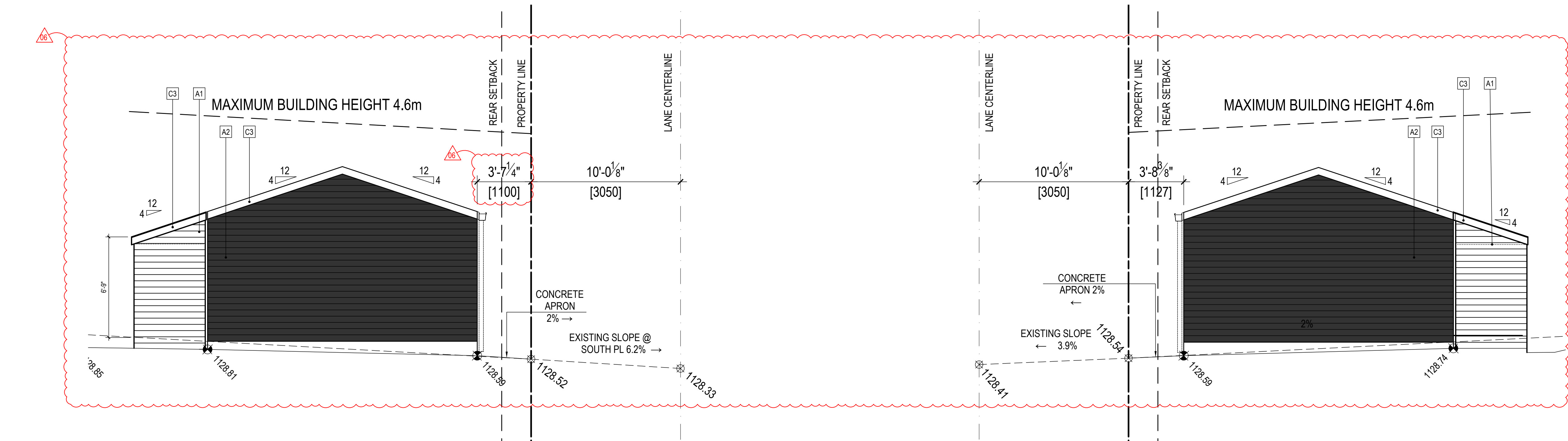
GENERAL NOTES

- A. LANDSCAPED AREA
= 202.23 SQ.M / 2176.74 SQ.FT PROVIDED
- B. BYLAW 1402 (6) MINIMUM 30% OF LANDSCAPED AREA MUST ME SURF SURFACE LANDSCAPING = 80.52 SQ.M / 866.76 SQ.FT PROVIDED
(39.82 %)
- C. BYLAW 1404 (2) 1 TREE AND 3 SHRUBS REQUIRED PER 110 sq.m OF PARCEL AREA = 6 TREES & 16 SHRUBS.
PROVIDED 6 TREES & 32 SHRUBS
- D. LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.
- E. ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE A LOW WATER UNDERGROUND IRRIGATION SYSTEM.
- F. ALL SODED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- G. MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.



1 PARKING + MOBILITY STORAGE EAST ELEVATION
DP.108 3/16" - 1'-0"

2 MOBILITY STORAGE WEST ELEVATION
DP.108 3/16" - 1'-0"



3 SOUTH PARKING ELEVATION
DP.108 3/16" - 1'-0"

4 NORTH PARKING ELEVATION
DP.108 3/16" - 1'-0"

EXTERIOR FINISHES LEGEND

A - FIBRE CEMENT

A1 HARDIE LAP SIDING
- COLOUR: IRON GRAY

A2 HARDIE LAP SIDING
- COLOUR: PEARL GRAY

A3 HARDIE LAP SIDING
- COLOUR: WOOD-LIKE
- FINISH: CEDAR

A4 HARDIE PANEL
- COLOUR: IRON GRAY

A5 HARDIE TRIM
- COLOUR: IRON GREY

B - WOOD

B1 WOOD FENCE

C - METAL CLAD

C1 METAL FRAME WINDOW
- COLOUR: BLACK

C2 PREFINISHED METAL CAP FLASHING
- COLOUR: IRON GRAY TO MATCH A4

C3 ALUMINIUM FASCIA
- COLOUR: BLACK

C4 METAL PANEL
- COLOUR: IRON GRAY TO MATCH A1

C5 ALUMINUM RAILING
- COLOUR: BLACK, POWDER COATED

D - ROOFING

D1 ASPHALT SHINGLES
- COLOUR: BLACK

E - CONCRETE

E1 PARGING

E2 CONCRETE STAIRS

F - SMART BOARD FINISH

F1 SMART BOARD FINISH
- COLOUR: WOOD-LIKE TO MATCH A3

SHEET NOTES

- N.01 PROPOSED PRIVATE WASTE, ORGANICS & RECYCLE BIN COLLECTION
- N.02 PROPOSED FENCE 6.56 FT. HIGH
- N.03 PROPOSED CONCRETE APRON
- N.04 PROPOSED PARKING STALL
- N.05 PROPOSED MOBILITY STORAGE LOCKER
- N.06 PROPOSED BIKE PARKING STALL - CLASS 1
- N.07 PROPOSED GUTTER / DOWNSPOUT LOCATION
- N.08 LINE OF GRADING AT PROPERTY LINE
- N.09 LINE OF GRADING AT LANE CENTERLINE
- EXISTING GEODETIC ELEVATION
- PROPOSED GEODETIC ELEVATION

WASTE CALCULATIONS

WASTE CAPACITY REQUIRED =
(12 UNITS) X (0.3 yd³/WEEK) / UNIT X (0.765 m³/yd³)

12 CARTS REQUIRED = TOTAL WASTE PER WEEK IN m³ / CART CAPACITY IN m³

= 2.754 m³ / WEEK / 0.246m³

= 12 CARTS PROVIDED

RELEASES

NO.	DESCRIPTION	DATE

06	ISSUED FOR RP 2	07.18.2026
05	ISSUED FOR REVISED PLANS	11.06.2025
04	1P1R RESPONSE	05.17.2024
03	DR 2 RESPONSE	02.09.2024
02	1P1R RESPONSE	12.01.2023
01	ISSUED FOR DP	08.13.2023

PROJECT NAME

2416 37 STREET S.W.

BRANCH ADDRESS

2416 37 Street S.W.

LEGAL ADDRESS

L: 27 & 28 B: 11E P: 4367 X

PROJECT NO.

23.30_ECC_2416

DRAWN

A20 / SW

CHECKED

DP

DATE

DEC.01.2023

SCALE

AS NOTED

DRAWING TITLE

PARKING + MOBILITY
STORAGE ELEVATIONS

DP.107

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT

A - FIBRE CEMENT

- A1 HARDIE LAP SIDING
- COLOUR: IRON GRAY
 - A2 HARDIE LAP SIDING
- COLOUR: PEARL GRAY
 - A3 HARDIE LAP SIDING
- COLOUR: WOOD-LIKE
- FINISH: CEDAR
 - A4 HARDIE PANEL
- COLOUR: IRON GRAY
 - A5 HARDIE TRIM
- COLOUR: IRON GREY

B - WOOD

- B1 WOOD FENCE

C - METAL CLAD

- | | |
|----|---|
| C1 | <u>METAL FRAME WINDOW</u>
- COLOUR : BLACK |
| C2 | <u>PREFINISHED METAL CAP FLASHING</u>
- COLOUR : IRON GRAY TO MATCH A4 |
| C3 | <u>ALUMINIUM FASCIA</u>
- COLOUR : BLACK |
| C4 | <u>METAL PANEL</u>
- COLOUR : IRON GRAY TO MATCH A1 |
| C5 | <u>ALUMINIUM RAILING</u>
- COLOUR : BLACK, POWDER COATED |

D - ROOFING

- D1** ASPHALT SHINGLES
- COLOUR: BLACK

E -CONCRETE

- E1 PARGING

E2 CONCRETE STAIRS

F-SMART BOARD FINISH

- F1** SMART BOARD FINISH
-COLOUR: WOOD-LIKE TO MATCH A3

SHEET NOTES

- | | |
|-------------|---------------------------------------|
| N.01 | LINE OF GRADING AT PROPERTY LINE |
| N.02 | LINE OF PROPOSED GRADING |
| N.03 | FIREWALL CLADDED WITH HARDIE
PANEL |

RELEASER

[illegible]

06	ISSUED FOR RP 2	07.16.2026
06	ISSUED FOR REVISED PLANS	11.06.2025
04	PTR RESPONSE	05.17.2024
03	DR 2 RESPONSE	02.09.2024
02	DTR 1 RESPONSE	12.01.2023
01	ISSUED FOR DP	09.13.2023

PROJECT NAME

2416 37 STREET S.W

PRINCIPAL ADDRESS

2416 37 Street S.W.

FOIA b(7)(C)

L: 27 & 28 B: 11E P: 4367 X

PROJECT NO. _____

23.30_ECC_2416

DEPIN

AZO / SW DF

(b) (5) DPP

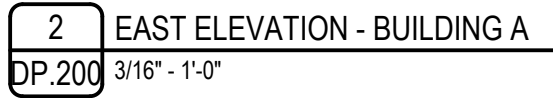
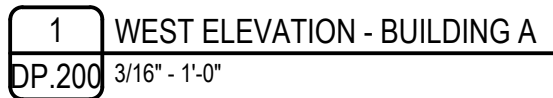
DEC.01.2023 AS NOTED

MOVING TO

ELEVATIONS

DP.200

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



EXTERIOR FINISHES LEGEND

A - FIBRE CEMENT

A1 HARDIE LAP SIDING
- COLOUR: IRON GRAY

A2 HARDIE LAP SIDING
- COLOUR: PEARL GRAY

A3 HARDIE LAP SIDING
- COLOUR: WOOD-LIKE
- FINISH: CEDAR

A4 HARDIE PANEL
- COLOUR: IRON GRAY

A5 HARDIE TRIM
- COLOUR: IRON GREY

B - WOOD

B1 WOOD FENCE

C - METAL CLAD

C1 METAL FRAME WINDOW
- COLOUR: BLACK

G2 PREFINISHED METAL CAP FLASHING
- COLOUR: IRON GRAY TO MATCH A4

C3 ALUMINIUM FASCIA
- COLOUR: BLACK

C4 METAL PANEL
- COLOUR: IRON GRAY TO MATCH A1

G4 ALUMINUM RAILING
- COLOUR: BLACK, POWDER COATED

D - ROOFING

D1 ASPHALT SHINGLES
- COLOUR: BLACK

E - CONCRETE

E1 PAVING

E2 CONCRETE STAIRS

F - SMART BOARD FINISH

F1 SMART BOARD FINISH
- COLOUR: WOOD-LIKE TO MATCH A3

SHEET NOTES

N.01 LINE OF GRADING AT PROPERTY LINE

N.02 LINE OF PROPOSED GRADING

RELEASES

NO.	DESCRIPTION	DATE

06	ISSUED FOR RP 2	07.18.2026
05	ISSUED FOR REVISED PLANS	11.09.2025
04	10% RESPONSE	05.17.2024
03	DR 2 RESPONSE	02.09.2024
02	10% RESPONSE	12.01.2023
01	ISSUED FOR DP	08.13.2023

PROJECT NAME

2416 37 STREET S.W.

BRANCH ADDRESS

2416 37 Street S.W.

LEGAL ADDRESS

L: 27 & 28 B: 11E P: 4367 X

PROJECT NO.

23.30_ECC_2416

DRAWN

AZO / SW

DATE

DEC-01-2023

DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

DP.201

SCALE

AS NOTED

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT

1 WEST ELEVATION - BUILDING B
DP.201 3/16" - 1'-0"



2 EAST ELEVATION - BUILDING B
DP.201 3/16" - 1'-0"

