

This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



Contextual Semi-detached dwellings

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

-  The City
-  The public

Semi-detached dwellings

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

-  The City
-  The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Semi-detached dwellings applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

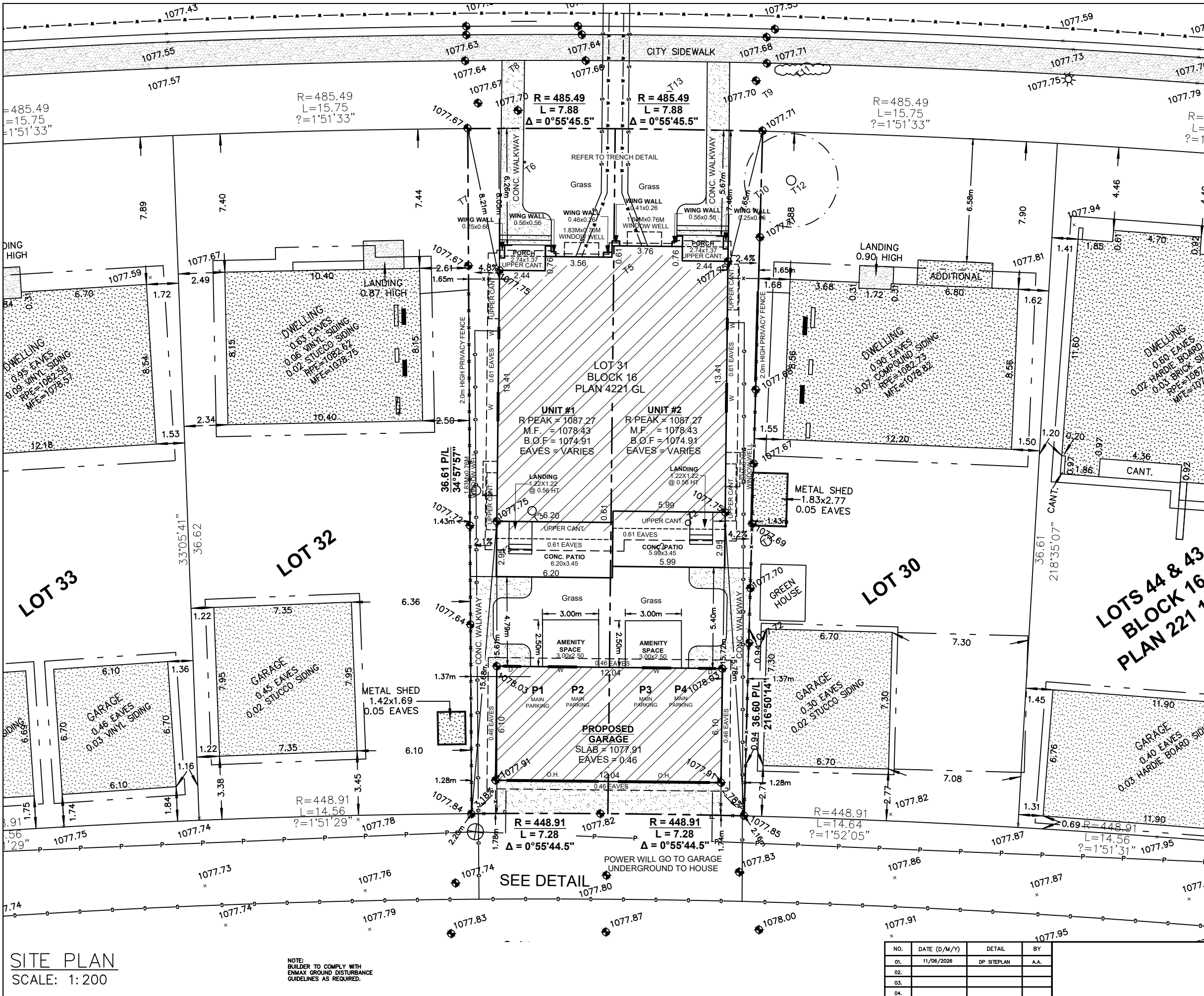
If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Semi-detached** dwellings which would allow The City and the public to comment.



The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development



SITE PLAN

LEGEND

- ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- $\bullet$ denotes Calculation points
 - $\boxtimes$ denotes Water Valve
 - $\blacklozenge$ denotes Gas Valve
 - $\odot$ denotes Manhole
 - $\odot$ denotes Tree
 - $\bullet$ denotes Power Pole
 - $\triangle$ denotes Sign
 - $\odot$ denotes Light Standard
 - $\times$ denotes Fence
 - ---S--- denotes Sanitary Line
 - ---ST--- denotes Storm Line
 - ---W--- denotes Water Line
 - ---G--- denotes Gas Line
 - --- denotes Electrical Line
 - --- denotes A.G.T. Line
 - --- denotes Utility Right of Way Line
 - --- denotes Property Line
 - --- denotes Door
 - --- denotes Main Floor Windows
 - --- denotes Second Floor Windows
 - --- denotes Basement Floor Windows
 - --- denotes Shed Hatch
 - --- denotes Detached Garage Hatch
 - --- denotes Main Building Hatch
 - --- denotes Concrete and Asphalt Hatch
 - --- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

LOT 31
BLOCK 16
PLAN 4221 GL
MUNICIPAL ADDRESS:
1115 RADNOR AVENUE N.E.
Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 554.409 SQ M HOUSE SIZE: 168.991 SQ M COVERED PORCH: 3.664 SQ M CANT.: 0.00 SQ M GARAGE: 73.392 SQ M WING WALL: 1.029 SQ M	LOT SIZE: 278.705 SQ M HOUSE SIZE: 84.496 SQ M COVERED PORCH: 1.832 SQ M CANT.: 0.00 SQ M GARAGE: 36.696 SQ M WING WALL: 0.547 SQ M	LOT SIZE: 278.705 SQ M HOUSE SIZE: 84.496 SQ M COVERED PORCH: 1.832 SQ M CANT.: 0.00 SQ M GARAGE: 36.696 SQ M WING WALL: 0.482 SQ M
= 2547.076/554.409 = 44.57%	= 123.571/278.705 = 44.34%	= 123.506/278.705 = 44.31%

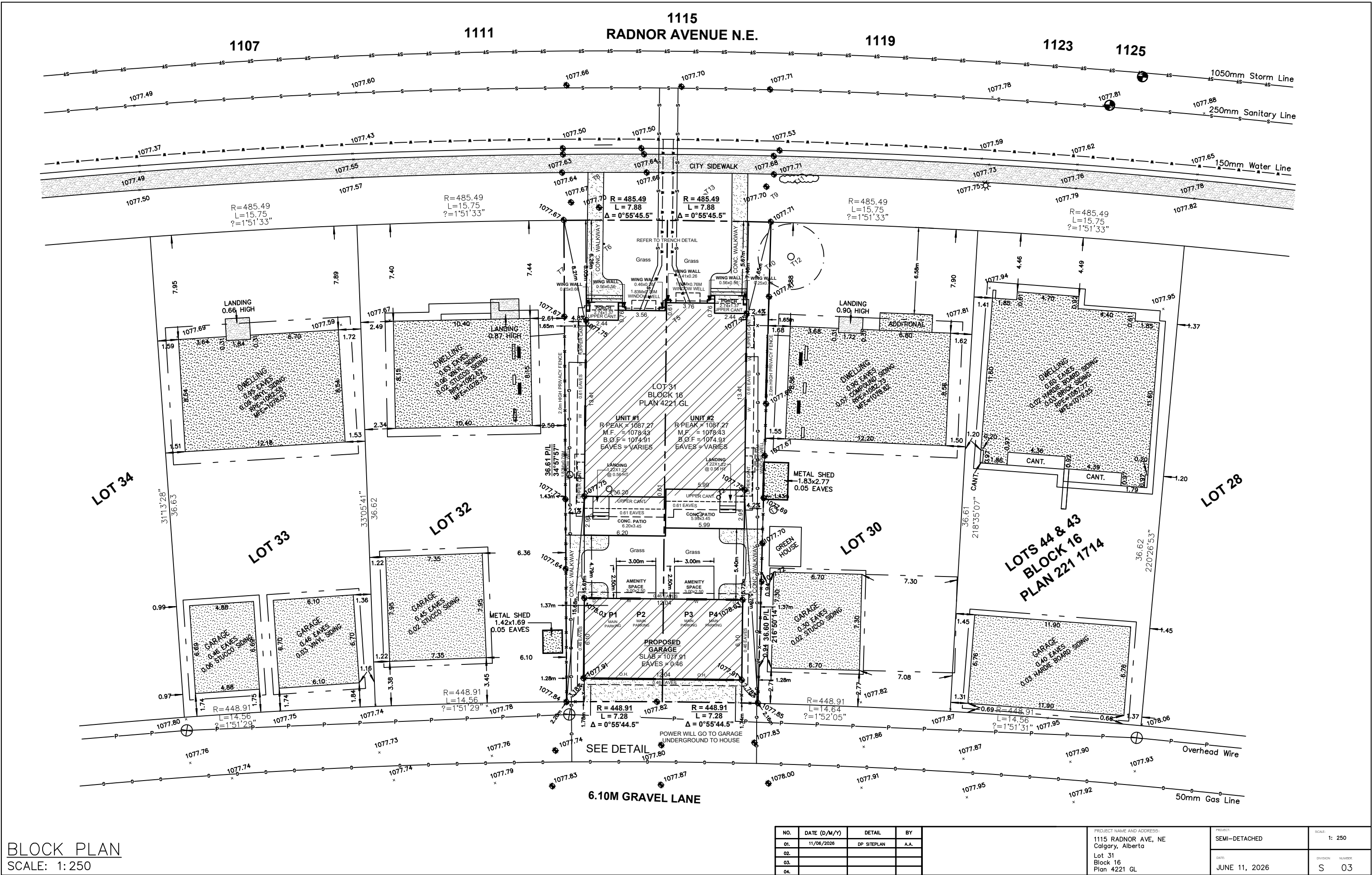
NO.	DATE (D/M/Y)	DETAIL	BY
01.	11/06/2026	DP SITEPLAN	A.A.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS: 1115 RADNOR AVE, NE Calgary, Alberta Lot 31 Block 16 Plan 4221 GL	PROJECT: SEMI-DETACHED DATE: JUNE 11, 2026	SCALE: 1: 200 DIVISION NUMBER: S 01
--	---	--

SITE PLAN

SCALE: 1:200

NOTE:
BUILDER TO COMPLY WITH
ENMAX GROUND DISTURBANCE
GUIDELINES AS REQUIRED.





FLOOR AREA - UNIT #1	
BASEMENT	= 930.67 SQ. FT.
MAIN	= 910.67 SQ. FT.
UPPER	= 1023.67 SQ. FT.
TOTAL	= 1934.34 SQ. FT.

FLOOR AREA - UNIT #2	
BASEMENT	= 930.67 SQ. FT.
MAIN	= 910.67 SQ. FT.
UPPER	= 1023.67 SQ. FT.
TOTAL	= 1934.34 SQ. FT.

LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
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AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/06/2026	DP PLANS	A.A.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED	
STATUS: -	
SIGNATURES: X _____	
PRINTED: 2026-06-16 9:55:48 AM	
PROJECT NAME: 1115 Radnor Ave NE CALGARY, ALBERTA	
DESIGNER: JT	JOB #: 303 - 26
SCALE: AS SHOWN	SHEET: A-0.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	SMOOTH STUCCO - IVORY	7	CAST IN PLACE CONCRETE
2	8" ALUMNIMUM FASCIA	5	BOARD & BATTEN - BLACK	8	CONC. PARGING
3	STUCCO SIDING - WHITE	6	STONE FINISH - GRAY		

NOTE*

-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED
TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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PROJECT:

SEMI DETACHED

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-06-16 9:55:53 AM

PROJECT NAME:

1115 Radnor Ave NE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

303 - 26

SCALE:

AS SHOWN

SHEET:

A-2.0

FRONT ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	SMOOTH STUCCO - IVORY	7	CAST IN PLACE CONCRETE
2	8" ALUMNMIMUM FASCIA	5	BOARD & BATTEN - BLACK	8	CONC. PARGING
3	STUCCO SIDING - WHITE	6	STONE FINISH - GRAY		

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PROJECT:

SEMI DETACHED

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-06-16 9:55:55 AM

PROJECT NAME:

1115 Radnor Ave NE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

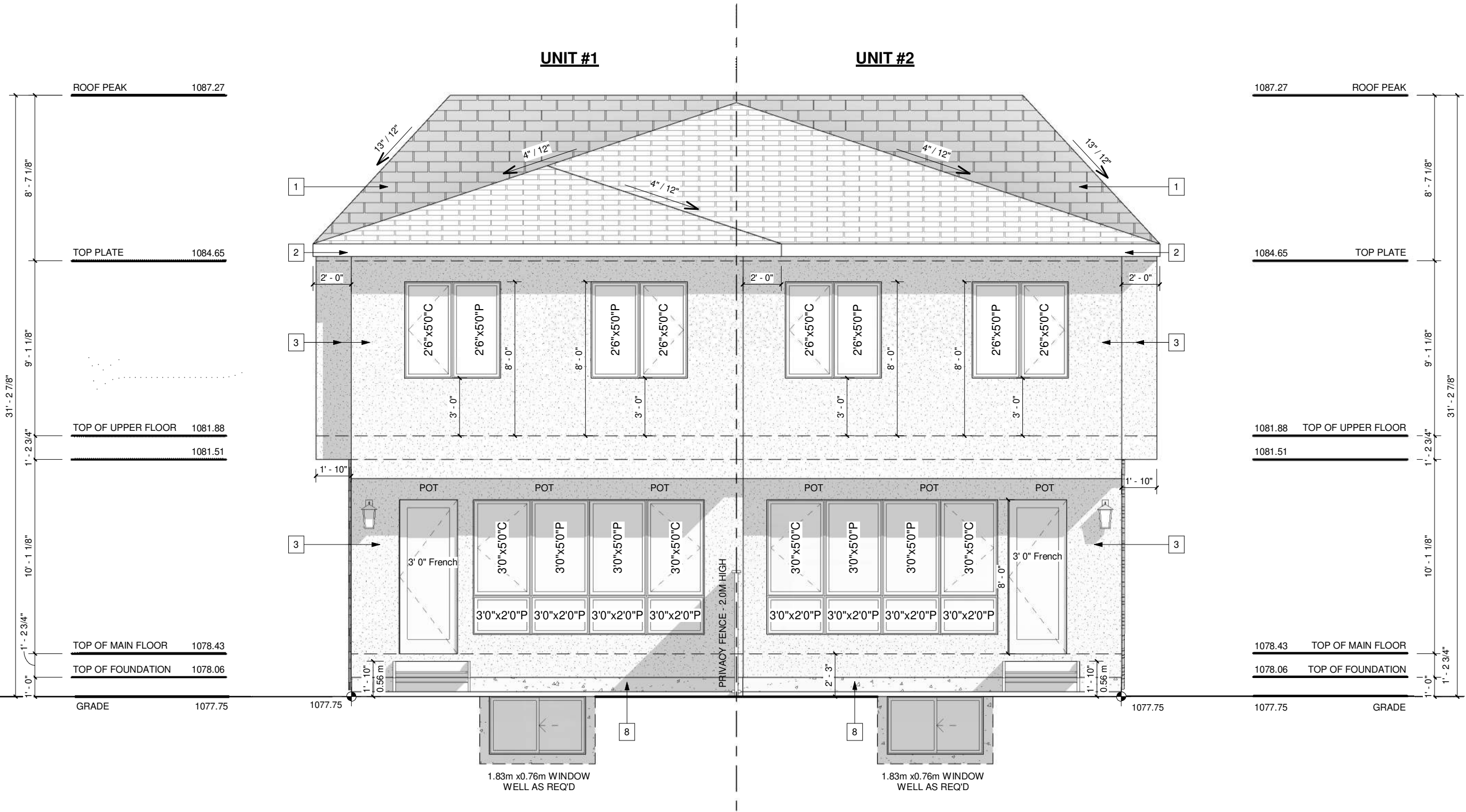
303 - 26

SCALE:

AS SHOWN

SHEET:

A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	SMOOTH STUCCO - IVORY	7	CAST IN PLACE CONCRETE
2	8" ALUMNNIMUM FASCIA	5	BOARD & BATTEN - BLACK	8	CONC. PARGING
3	STUCCO SIDING - WHITE	6	STONE FINISH - GRAY		

WINDOW CALCULATION
WALL AREA= 1049.78 SQ. FT.
WINDOW AREA = 43.58 SQ. FT.
TOTAL: 43.78 / 1049.78 = 4.15%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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PROJECT:
SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

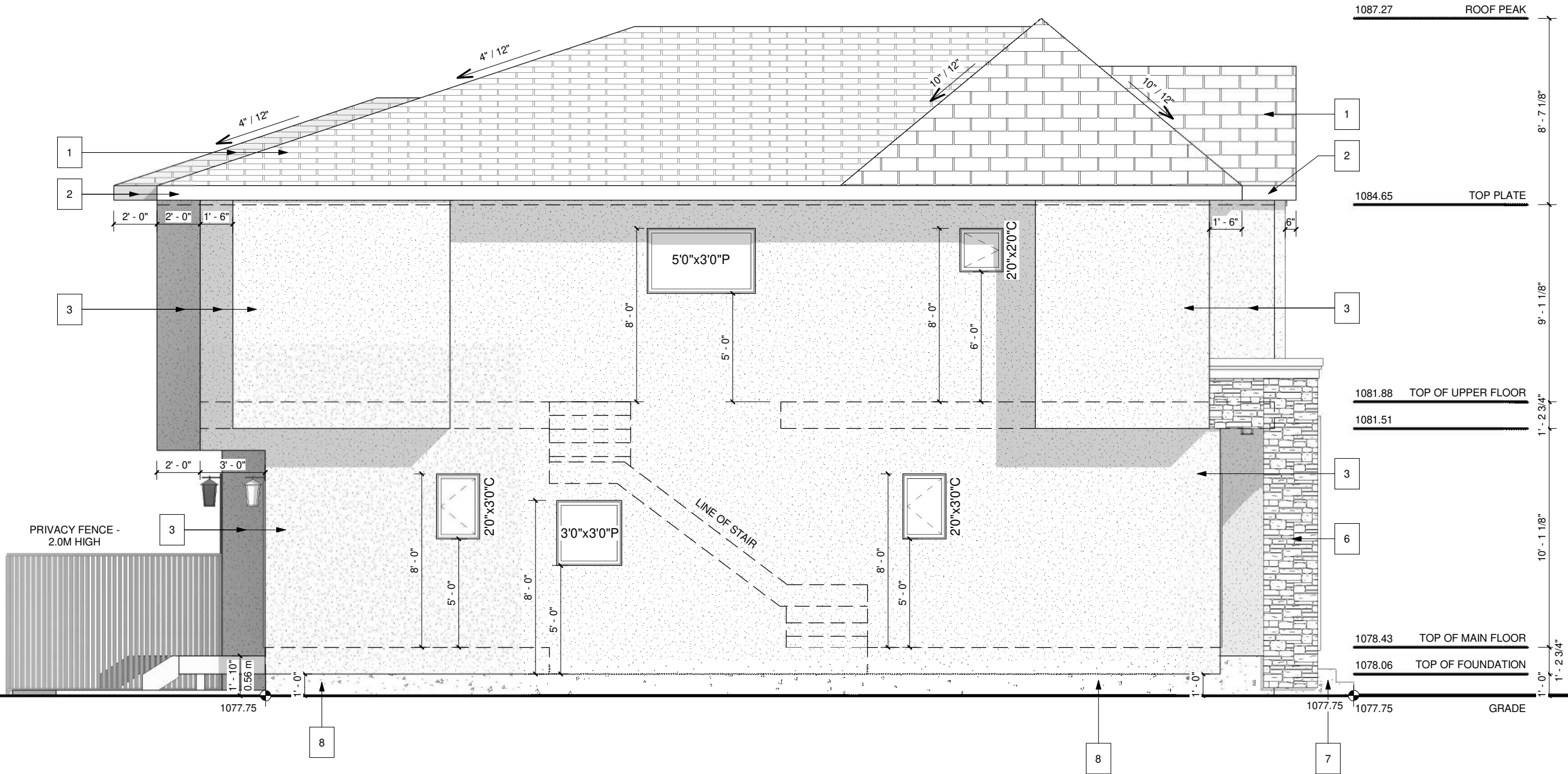
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PROJECT NAME:
1115 Radnor Ave NE
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 303 - 26

SCALE: AS SHOWN
SHEET: A-2.2

UNIT #2



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	SMOOTH STUCCO - IVORY	7	CAST IN PLACE CONCRETE
2	8" ALUMNIMUM FASCIA	5	BOARD & BATTEN - BLACK	8	CONC. PARGING
3	STUCCO SIDING - WHITE	6	STONE FINISH - GRAY		

WINDOW CALCULATION
WALL AREA= 1067.66 SQ. FT.
WINDOW AREA = 40.70 SQ. FT.
TOTAL: 40.70 / 1034.69 = 4.08%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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PROJECT:
SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

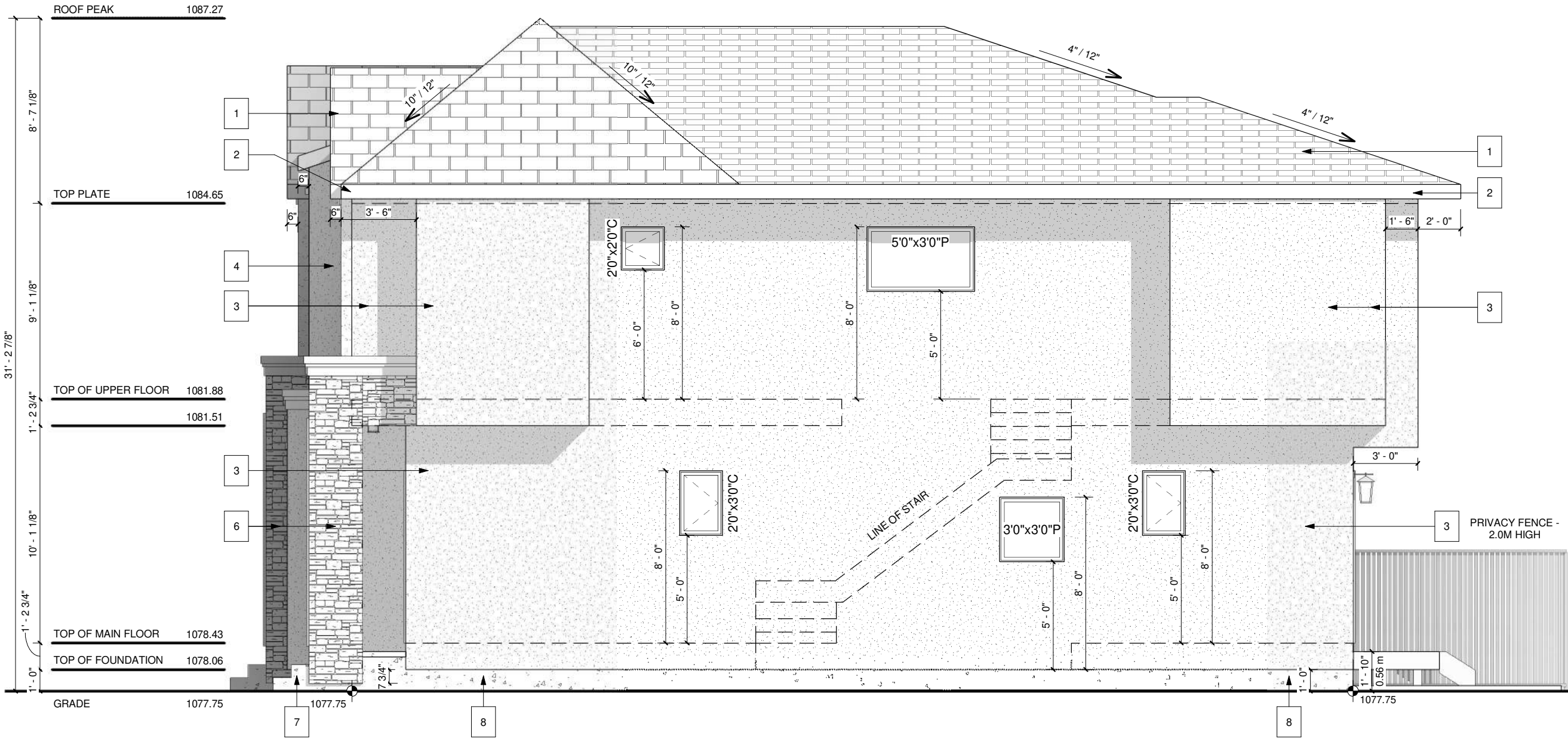
PRINTED: 2026-06-16 9:56:00 AM

PROJECT NAME:
1115 Radnor Ave NE
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 303 - 26

SCALE: AS SHOWN
SHEET: A-2.3

UNIT #1



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

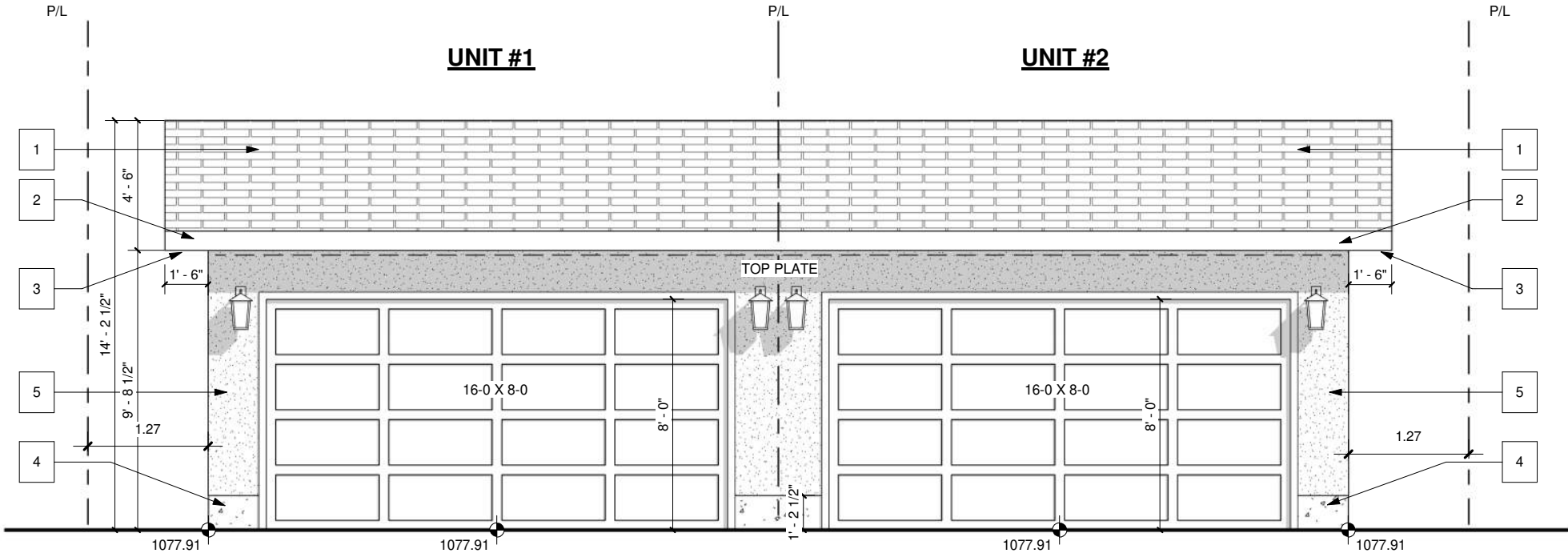
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

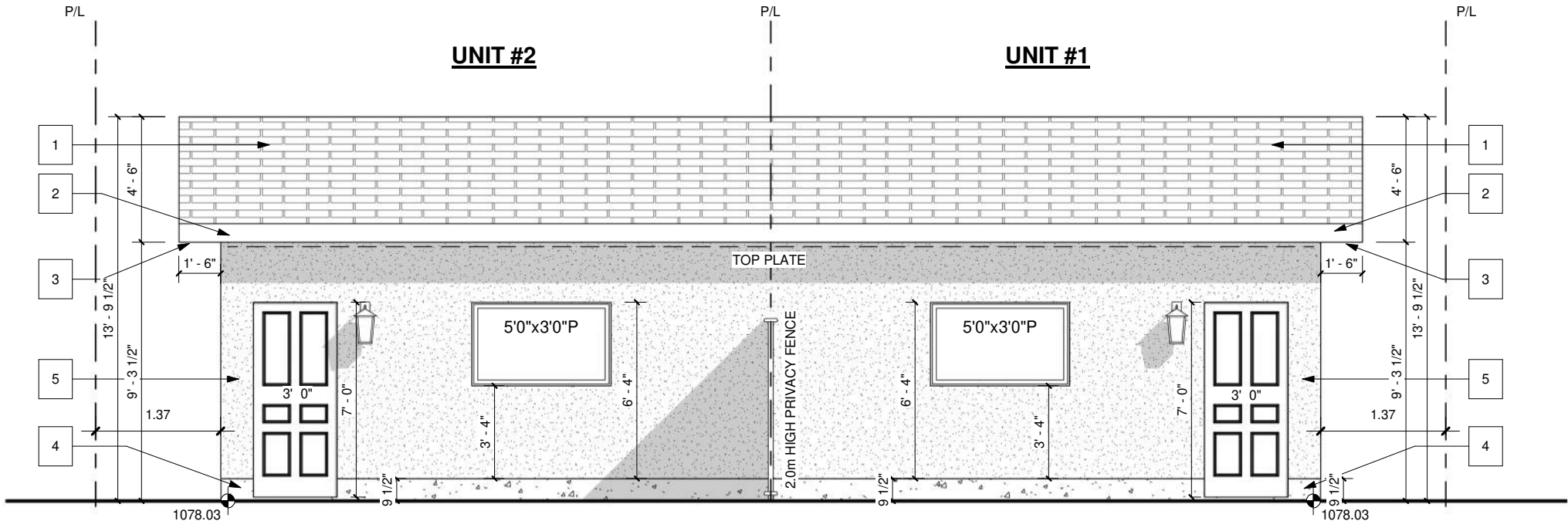
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

STUCCO FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-06-16 9:56:01 AM

PROJECT NAME:
1115 Radnor Ave NE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 303 - 26

SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

- 1

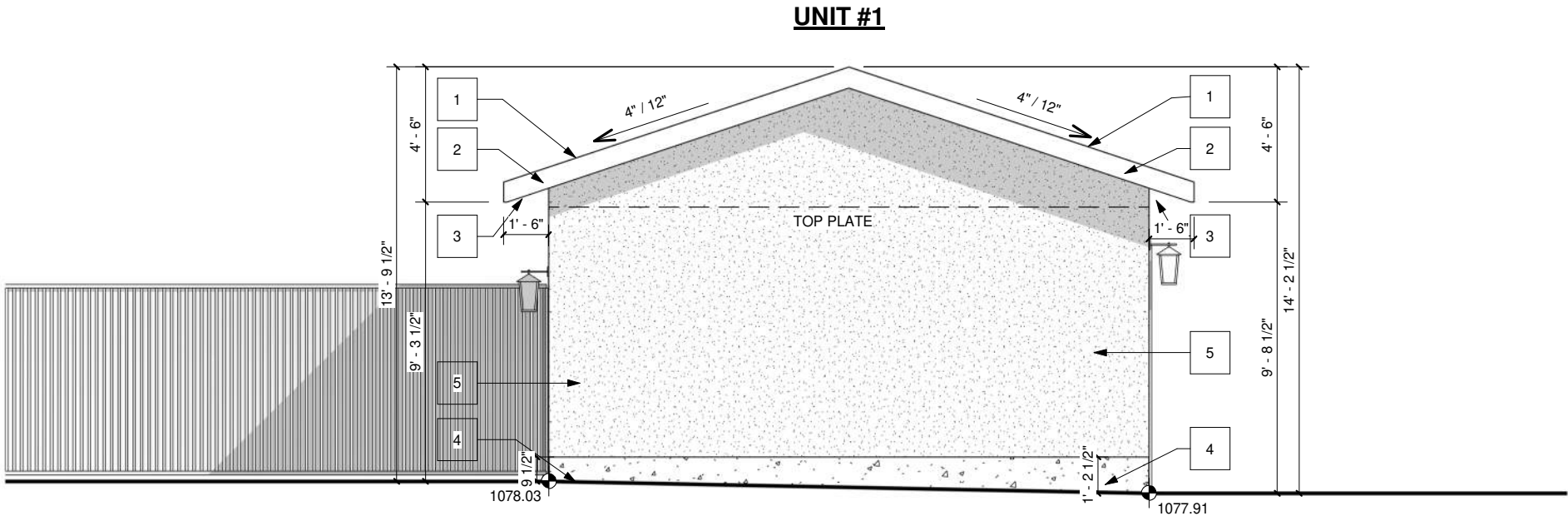
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

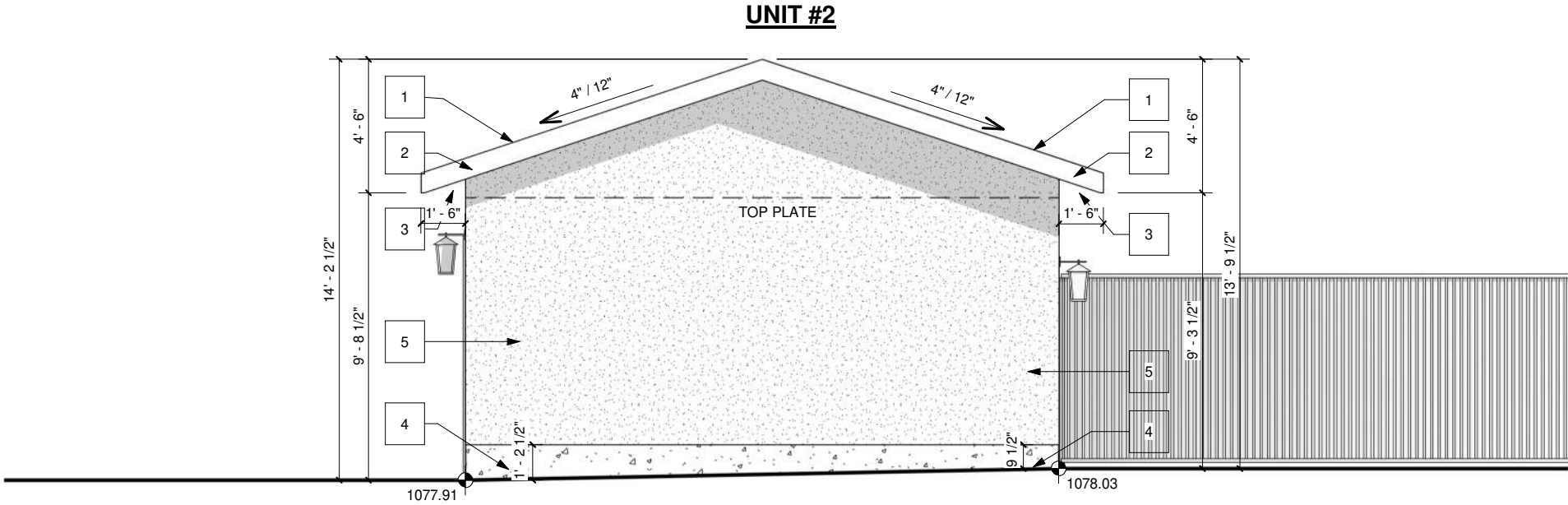
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

STUCCO FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-06-16 9:56:02 AM

PROJECT NAME:
1115 Radnor Ave NE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 303 - 26

SCALE: AS SHOWN SHEET: A-3.2