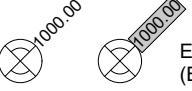
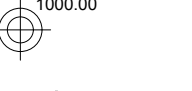
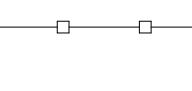
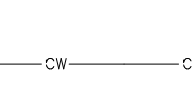
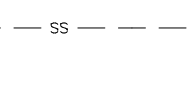
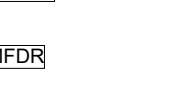
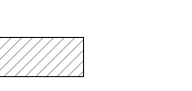
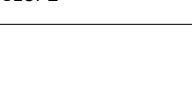
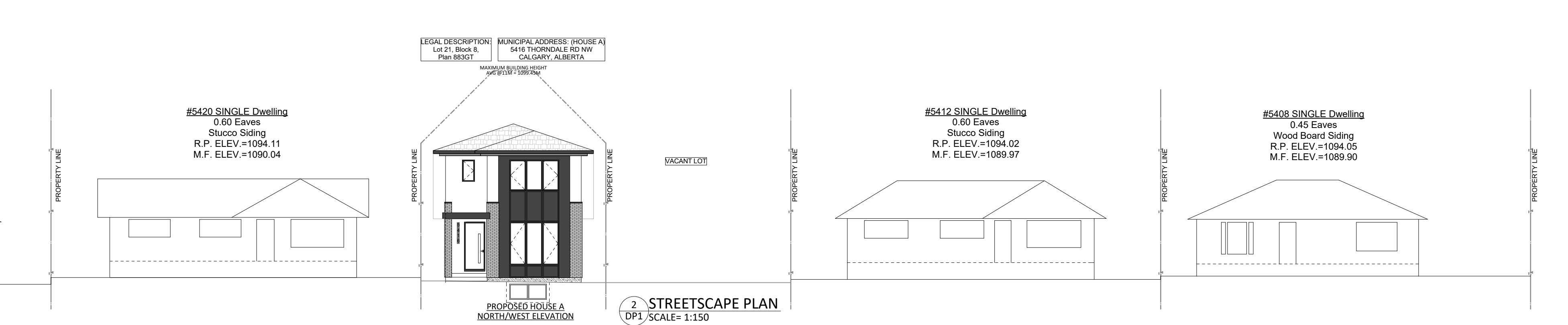
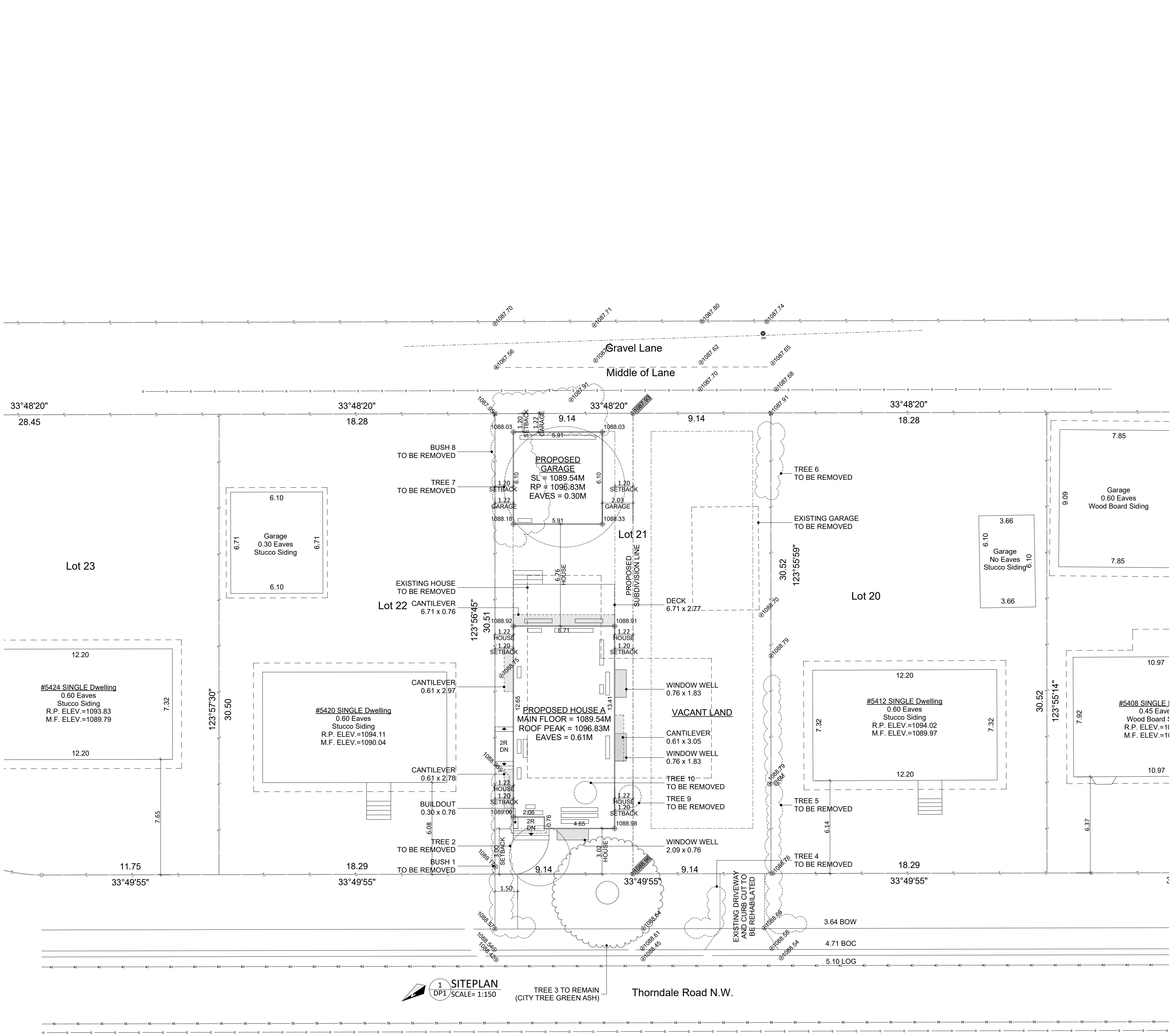


 SITE PLAN SCALE = 1:150	PARKING PROTOCOL PARKING WILL BE ASSIGNED TO EACH UNIT AND WILL BE LOCATED IN THE PARKING PAD AREA OR GARAGE WITH DESIGNATED STALLS. IF APPLICABLE, SURFACE VISITOR PARKING IS LOCATED AT THE REAR. ACCESS FROM THE LANE. WILL BE BASED ON FIRST COME BASIS.
DISCLAIMER: THE GAS LINE INFORMATION SHOWN ON THIS SHEET IS COMPILED FROM RECORDS MAINTAINED BY PROVINCE OF ALBERTA. NO WARRANTY OR GUARANTEE IS GIVEN AS TO ACCURACY OR COMPLETENESS OF THOSE RECORDS. SERVICE LINES, WATER LINES, STORM LINES, SANITARY LINES, ELECTRICAL LINES AND CABLE LINES AS SHOWN ARE SCHEMATIC REPRESENTATION ONLY, AND DO NOT INDICATED THE ACTUAL LOCATION OR LENGTH OF THE SERVICE LINES. CONTRACTOR TO REQUEST DIAL-BEFORE YOU DIG SERVICES SHOULD BE UTILIZED BEFORE COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION. CONTRACTOR TO CONFIRM SERVICE LINES WITH CITY GRADE SLIP PRIOR TO ANY EXCAVATION OR CONSTRUCTION	WASTE AND RECYCLING PROTOCOL SERVICES WILL BE BY PRIVATE PICKUP OR BY MUNICIPAL SERVICE. STORAGE OF RESIDENT WASTE & RECYCLING CARTS TO BE LOCATED IN ONE OF THE PARKING AREAS (IF APPLICABLE) OR UNIT REAR YARD. RESIDENTS TO PULL CARTS TO CURBSIDE ON DESIGNATED PICKUP DAYS.
	LIGHTING AND ELECTRICAL INFORMATION 1. ALL EXTERIOR LIGHTING TO BE SHIELDED WALL SCONCE @2.34m AFF, 100 WATT INCANDESCENT OR EQUIVALENT MAX (TYP.) 2. A MINIMUM OF 40 AMPS, 240V CIRCUIT AND WIRING ARE TO BE PROVIDED TO PARKING AREAS FOR AN ELECTRICAL VEHICLE CHARGING STATION. EXACT LOCATION TBD PENDING ON-SITE CONDITIONS.
COMMUNITY OF THORNCLEFFE	MISCELLANEOUS NOTES 1. ALL SOFT GRASSED LANDSCAPED AREAS TO BE INSTALLED WITH UNDERGROUND IRRIGATION SYSTEM PENDING ON-SITE CONDITIONS AND CITY APPROVAL. 2. AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE DURING EXCAVATION OF THE PROPOSED SERVICING LINES AND WALKWAYS IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF PLANNED EXCAVATION. 3. DRIVEWAY CURB-CUT TO BE REMOVED AT DEVELOPER'S EXPENSE. 4. GRASS AREAS TO BE DROUGHT TOLERANT GRASS SPECIES. 5. A MINIMUM TOPSOIL DEPTH OF 600mm IS REQUIRED FOR PLANTING BEDS WITH TREES/SHRUBS AND 300mm IN ALL OTHER AREAS.
LAND USE DESIGNATION: R-CG USE	
MUNICIPAL ADDRESS: HOUSE A 5416 THORNDALE RD NW CALGARY, ALBERTA LEGAL ADDRESS: LOT 21, BLOCK 8 PLAN 883GT	
EXISTING STRUCTURES TO BE REMOVED	
EXISTING HOUSE TO BE REMOVED = 123.50m² EXISTING STRUCTURES TO BE REMOVED = 30.20m² EXISTING FENCE TO BE REMOVED = TBD BY OWNER	
SITE COVERAGE CALCULATION	
TOTAL SITE AREA = 278.95m² ALLOWABLE COVERAGE @45.00% = 125.55m² PROPOSED COVERAGE @44.56% = 124.32m² PROPOSED DENSITY (110.027895) = 35 UNITS/HA ALLOWABLE COVERAGE (@<40 UNITS/HA) = 45.00%	
FLOOR AREA SCHEDULE	REAR UNIT SIGNAGE NOTES
NAME AREA BASEMENT (DEVELOPED) = 88.39m² MAIN FLOOR = 88.39m² UPPER FLOOR = 99.97m² BELOW GRADE = 88.39m² ABOVE GRADE = 188.36m² TOTAL AREA = 276.75m²	SIGNAGE ASSISTING IN DIRECTING VISITORS TO THE REAR UNITS IS TO BE POSTED AT FRONT ELEVATION VISIBLE FROM STREETSCAPE. SIGNAGE IS TO INCLUDE REAR UNIT/SUITE DESIGNATIONS, ALONG WITH ARROW SHOWING DIRECTION OF TRAVEL TO ACCESS UNITS. ALL SIGNS MUST BE A LOW-MAINTENANCE MATERIAL.
SITE PLAN LEGEND	HOUSE GEODETIC DATA
EXISTING GRADE =  EXTRAPOLATED (BASED ON EXISTING) PROPOSED GRADE =  GAS LINE =  ELECTRICAL LINE =  FENCE =  OVERHEAD POWER LINE =  WATER LINE =  SANITARY LINE =  STORM LINE =  TREE TO BE REMOVED =  TREE TO BE REMAIN =  POWER POLE =  LOWER FLOOR WINDOW =  LOWER FLOOR DOOR =  MAIN FLOOR WINDOW =  MAIN FLOOR DOOR =  UPPER FLOOR WINDOW =  UPPER FLOOR DOOR =  PENTHOUSE WINDOW =  PENTHOUSE DOOR =  OVERHEAD (O.H.) DOOR =  CANTILEVER =  WINDOW WELL =  LANDSCAPE RETAINING WALL/CURB =  CATCH BASIN =  UTILITY BOX =  GAS METER =  ELECTRIC METER =  WATER METER =  SLOPE =	LTF = 1086.37M ATF = 1089.21M ROOF = 1096.83M BEARING CERTIFICATE IS REQUIRED ZONE 7A ASSEMBLY WALL INSULATION RSI(R) VALUE UNDER SLAB INSULATION RAI 2.10 (R-12) ATTIC INSULATION RSI 8.80 (R-50) UNDER AIR TIGHTNESS ACH 3.5 CHANGES/HOUR PIPE RUN CHASE FOR CONNECTION AIR BARRIER TO BE CONT. THROUGHOUT EXT. BUILDING ENVELOPE THERMAL CHARACTERISTICS OF FENESTRATION DOORS AND SKYLIGHTS (AS PER MINIMUM EFFECTIVE DIAGRAM) COMPONENT MAXIMUM U-VALUE, W(KxM²) WINDOWS AND DOORS USI 1.40 (R-4.06) SKYLIGHTS USI 2.40 (R-2.40) VALUES AS PER THE NBC 2023 (AE), TABLE 9.36.2.7.A AND TABLE 9.36.2.7.B. PLEASE REFER TO NBC 2023 (AE) FOR DETAILS. SELECTED ASSEMBLIES MUST MEET OR EXCEED MINIMUM REQUIRED U-VALUE. INSTALLATION TO BE IN ACCORDANCE WITH CURRENT NBC.



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DEVELOPMENT PERMIT SET	
ISSUED FOR:	DATE: (D/M/Y)
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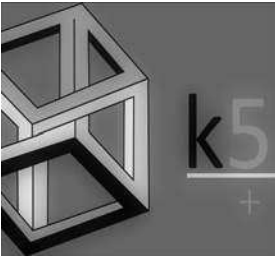
CONTRACTOR
ENGINEER CONSULTANT
CLIENT:

PROJECT NAME & ADDRESS:

5416 THORNDALE RD NW
CALGARY, ALBERTA

DRAWING TITLE:
SITE PLAN / BLOCK PLAN / NOTES
PROJECT #: K26-0603
DATE: 2026-06-17
SCALE: AS SHOWN
DRAWN BY: KN
DRAWING #:

DP1



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ENGINEER CONSULTANT

CLIENT:

PROJECT NAME & ADDRESS:

5416 THORNDALE
RD NW
CALGARY, ALBERTA

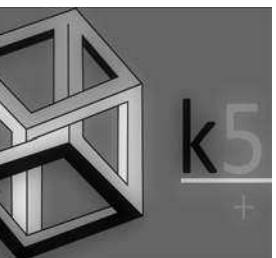
DRAWING TITLE:

FRONT/REAR ELEVATIONS

PROJECT #:	K26-0603
DATE:	2026-06-17
SCALE:	AS SHOWN
DRAWN BY:	KN

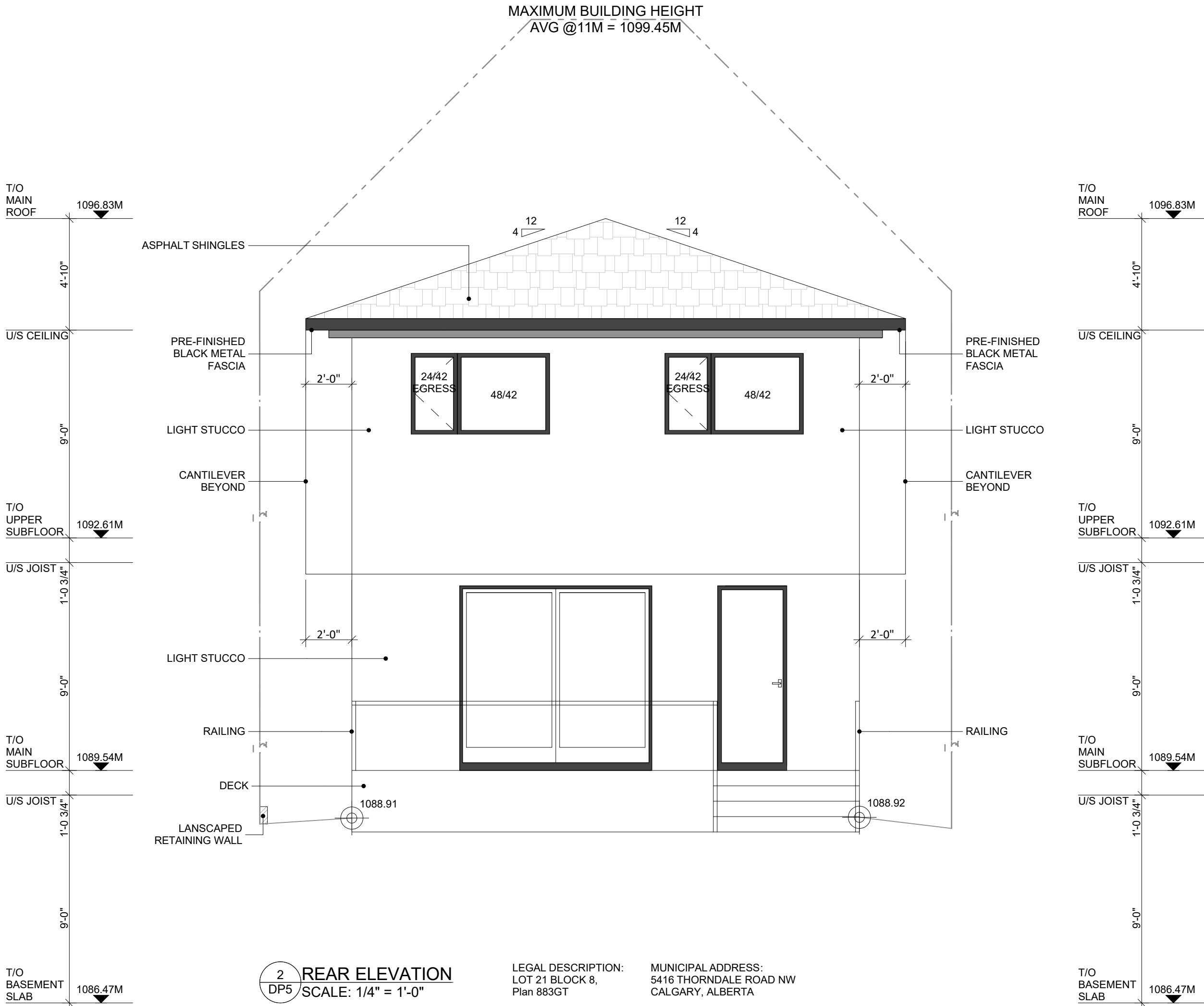
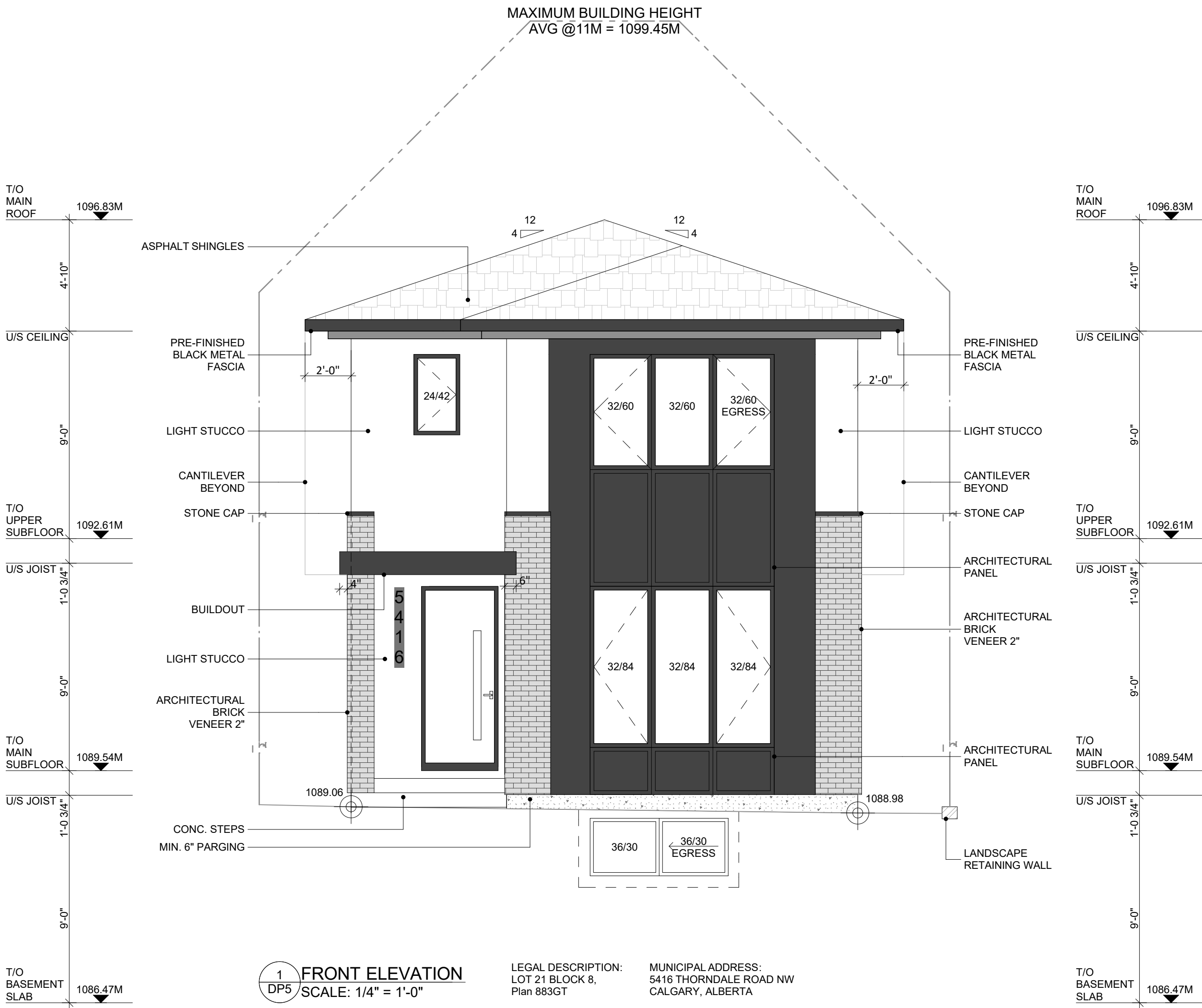
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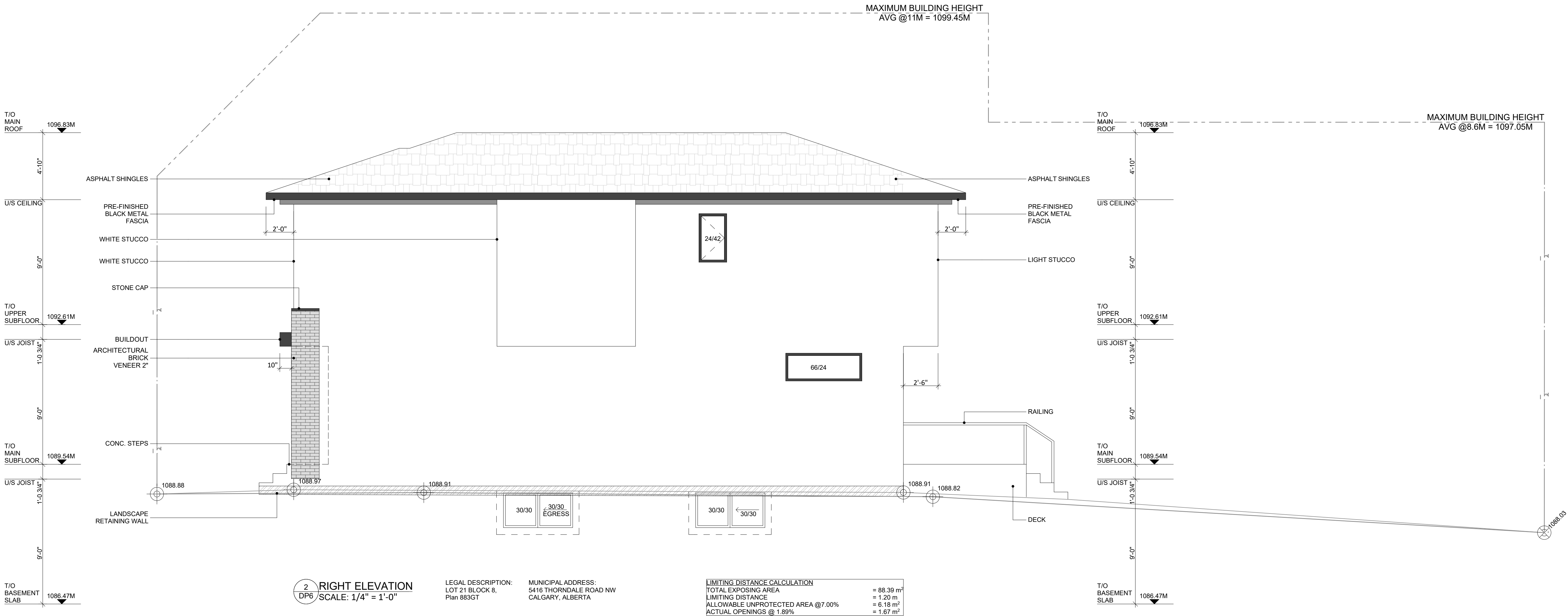
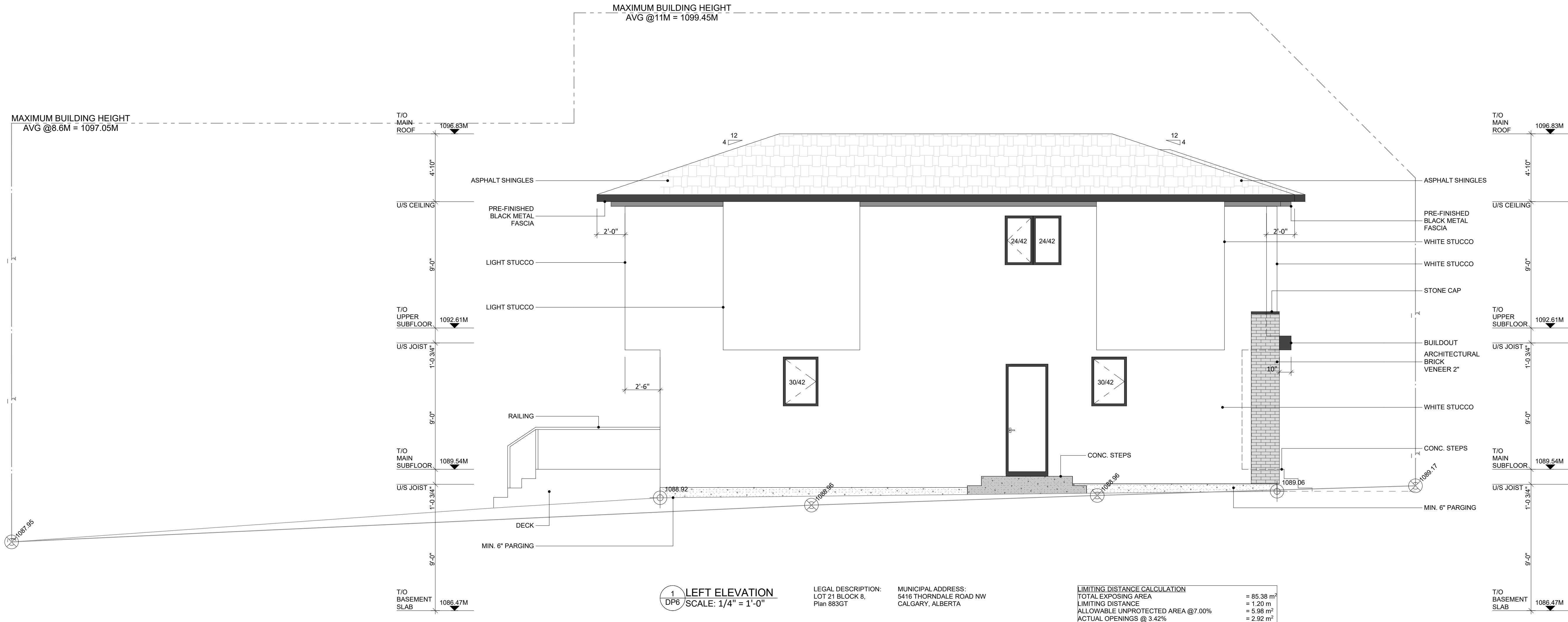
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REVISION:	DATE: (D/M/Y)
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4.	

CONTRACTOR

ENGINEER CONSULTANT

CLIENT:

PROJECT NAME & ADDRESS:

5416 THORNDALE
RD NW
CALGARY, ALBERTA

DRAWING TITLE:

LEFT/RIGHT ELEVATIONS

PROJECT #: K26-0603

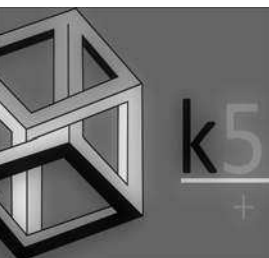
DATE: 2026-06-17

SCALE: AS SHOWN

DRAWN BY: KN

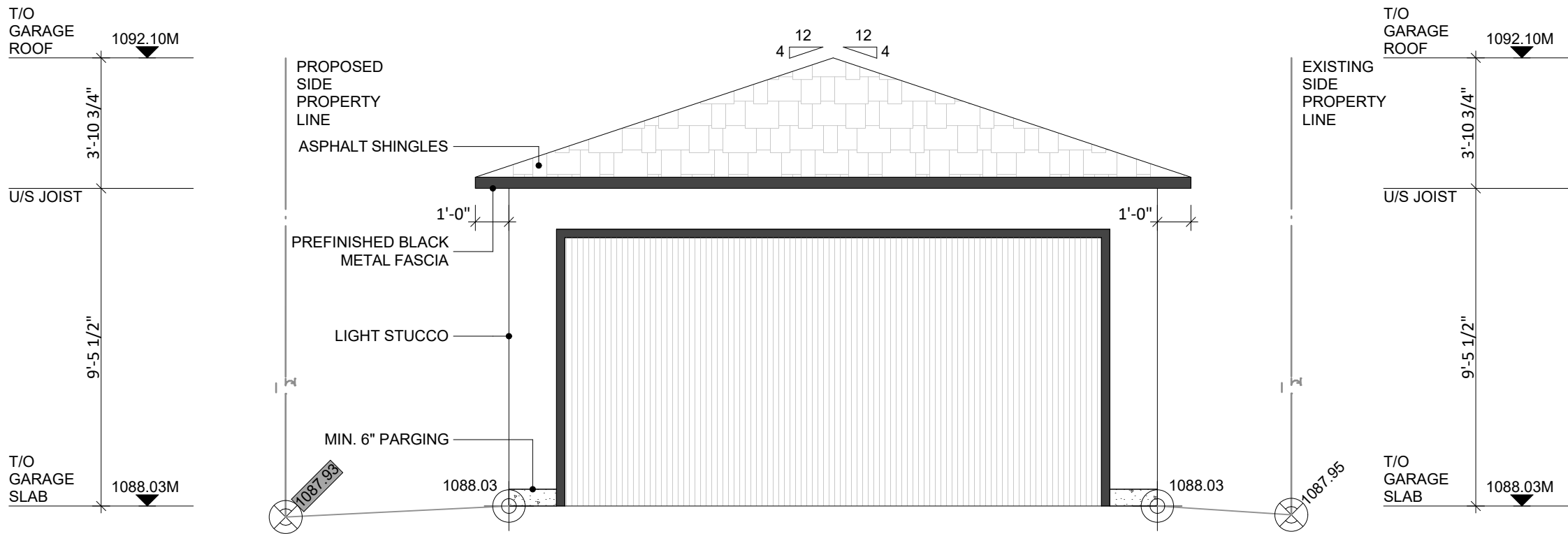
DRAWING #:

DP6



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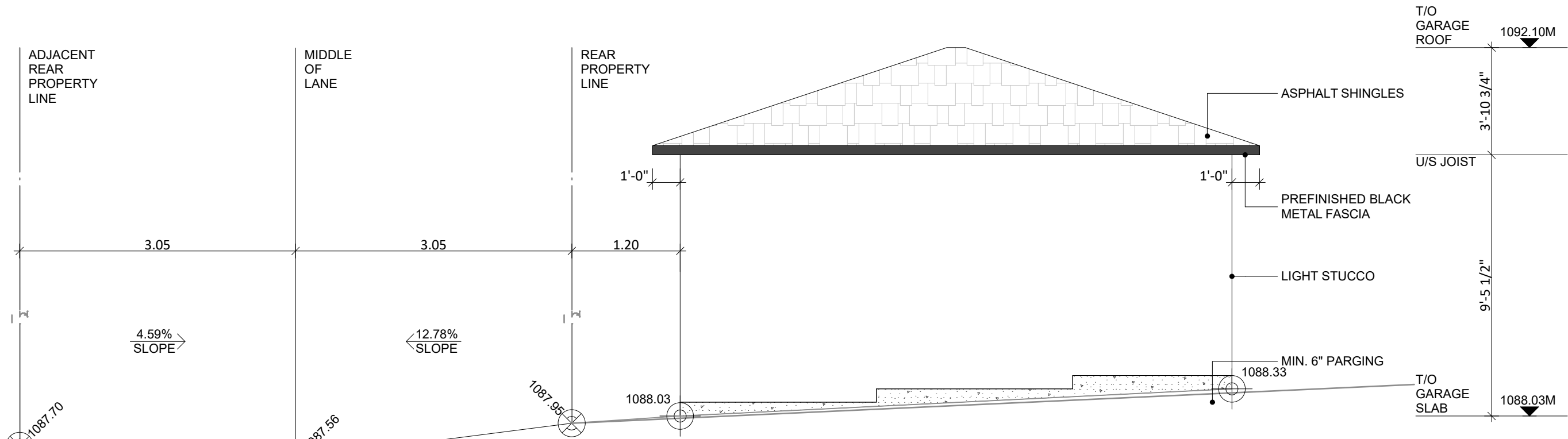
PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.



1 FRONT ELEVATION
DP8 / SCALE: 1/4" = 1'-0"

LEGAL DESCRIPTION:
LOT 21 BLOCK 8,
Plan 883GT

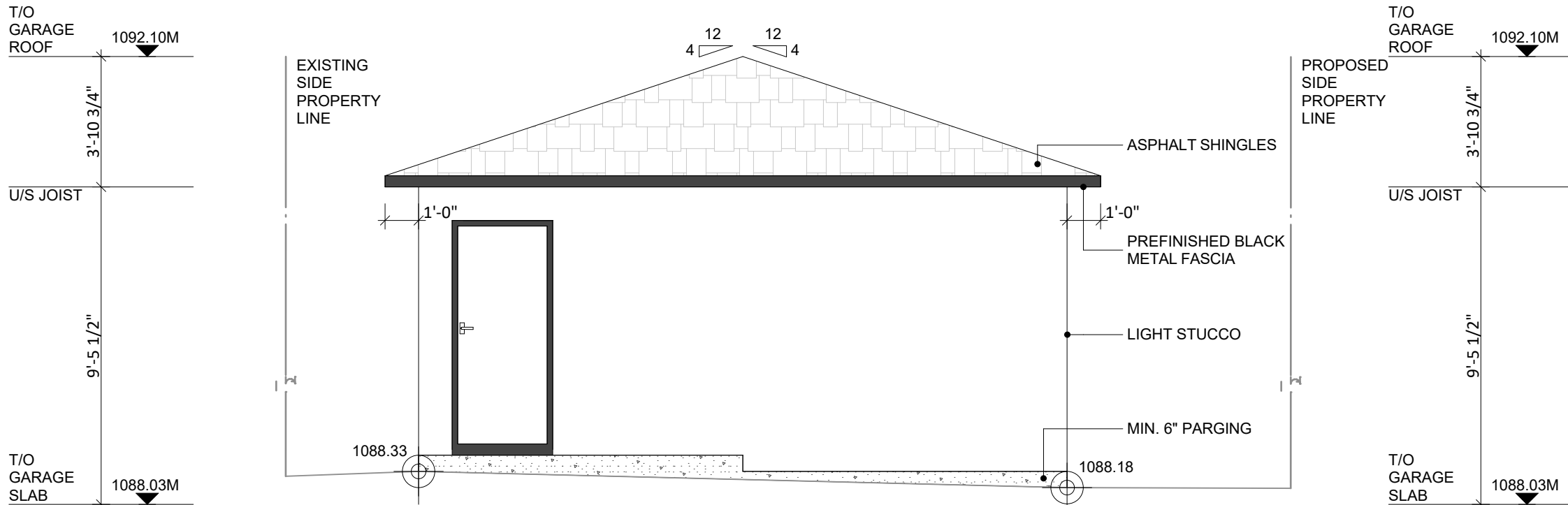
MUNICIPAL ADDRESS:
5416 THORNDALE ROAD NW
CALGARY, ALBERTA



2 RIGHT ELEVATION
DP8 / SCALE: 1/4" = 1'-0"

LEGAL DESCRIPTION:
LOT 21 BLOCK 8,
Plan 883GT

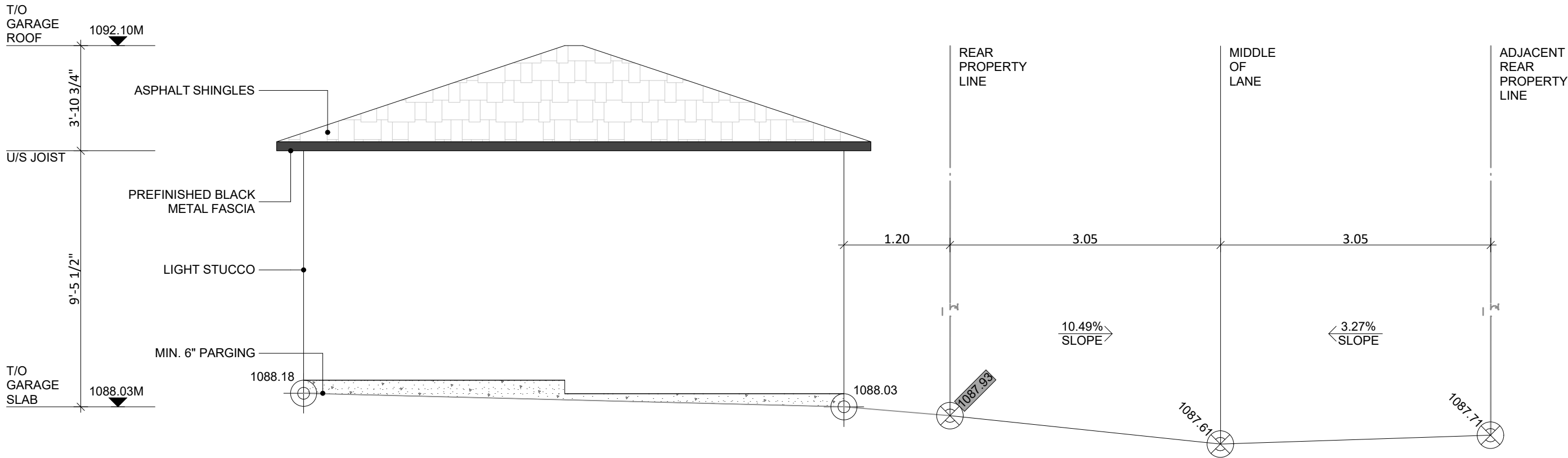
MUNICIPAL ADDRESS:
5416 THORNDALE ROAD NW
CALGARY, ALBERTA



3 REAR ELEVATION
DP8 / SCALE: 1/4" = 1'-0"

LEGAL DESCRIPTION:
LOT 21 BLOCK 8,
Plan 883GT

MUNICIPAL ADDRESS:
5416 THORNDALE ROAD NW
CALGARY, ALBERTA



4 LEFT ELEVATION
DP8 / SCALE: 1/4" = 1'-0"

LEGAL DESCRIPTION:
LOT 21 BLOCK 8,
Plan 883GT

MUNICIPAL ADDRESS:
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CALGARY, ALBERTA

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ENGINEER CONSULTANT

CLIENT:

PROJECT NAME & ADDRESS:

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RD NW
CALGARY, ALBERTA

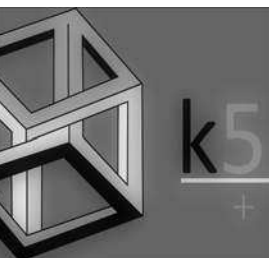
DRAWING TITLE:

GARAGE ELEVATIONS

PROJECT #:	K26-0603
DATE:	2026-06-17
SCALE:	AS SHOWN
DRAWN BY:	KN

DRAWING #:

DP8



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