

GENERAL NOTES

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. CONTRACTOR TO COMPLY TO ALL CURRENT ALBERTA BUILDING CODE RULES PLUS ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
5. ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION & REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THIS CONTRACT SHALL INCORPORATE AND BE PREFORMED WITH MATERIALS TO MATCH SAME AND SHALL REQUIRE FIRE RATINGS.
6. WHERE "TYPE X" GYPSUM WALL BOARD IS NOTED ON DRAWINGS, PROVIDE FIRE-RATED GYPSUM WALL BOARD WITH U.L.C. LABEL.
7. PRE-DRILLED INSERTS ARE TO BE USED WHEN ATTACHING OR FASTENING MATERIALS OR FITMENTS TO MASONRY OR CONCRETE WALLS, FLOORS, SLABS OR CEILING ASSEMBLIES.
8. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR REINFORCING AND CORE FILLING OF MASONRY WALLS AT WALL OPENINGS, CORNERS & TERMINATIONS UNLESS NOTED OTHERWISE.
9. PROVIDE SOLID BLOCKING (2"x6") IN STUD PARTITIONS BEHIND ALL RECESSED OR FLUSH MOUNTED EQUIPMENT & ACCESSORIES AT ALL ANCHOR POINTS.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OWN FORCES & HIS SUB TRADES TO ENSURE THAT HOLES CUT FOR PENETRATIONS THROUGH THE EXTERIOR WALL SYSTEMS ARE NOT OVERSIZED. AFTER INSTALLATION OF ANY PENETRATIONS, THE VOIDS BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE AIR/VAPOR BARRIER.
11. WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL INSTALLATIONS PENETRATE WALL AND/OR FLOOR ASSEMBLIES SEAL ANY SUCH PENETRATIONS WITH FIRE RATED ACOUSTIC SEALANT & MAINTAIN REQUIRED FIRE RATING & ACOUSTIC MINIMUMS.
12. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S LETTER, NOTES AND SHOP DRAWINGS AS WELL AS MECHANICAL & ELECTRICAL DRAWINGS & ROOF TRUSS/ JOIST SUPPLIER/ MANUFACTURER'S DRAWINGS.
13. ENSURE THAT ALL PRE-FINISHED METAL CAPPING TO THE WOOD FASCIAS, DECK TRIMS AND BAND BOARDS ARE COMPLETE WITH POSITIVE DRAINAGE.
14. ANY LARGE MECHANICAL GRILLE OPENINGS ON THE ELEVATIONS SHALL BE PREPARED & FINISHED IN THE SAME MANNER AS THE WINDOW ASSEMBLIES.
15. ALL GEODETIC ELEVATIONS PROVIDED TO AMAYA DESIGN INC. ARE ASSUMED TO BE ACCURATE AND REFLECT ACTUAL SITE CONDITIONS. AMAYA DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE PROVIDED TOPOGRAPHIC SURVEY.

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ARCHITECTURAL SYMBOLS	
	EXISTING GEODETIC GRADE AS PER SITE PLAN PROPOSED GEODETIC GRADE AS PER SITE PLAN
	GRID NUMBERS
	SECTION DRAWING NUMBER WHERE THE SECTION APPEARS
ROOM NAME WIDTH X DEPTH	ROOM / ROOM SIZE
	EXTERIOR FINISHES TAG NUMBER
	DETAIL TAG
	WINDOW TAG
	EXTERIOR DOOR & GARAGE DOOR TAGS
DETAIL Scale	DRAWING OR DETAIL REFERENCE SCALE
	DETAIL CALL- OUT PAGE DETAIL NUMBER
	WINDOW WELL AS REQ'D

MATERIAL LEGEND	
TAG #	MATERIAL
1	-
2	MANUFACTURED BRICK
3	STUCCO
4	SMARTBOARD - SMOOTH FINISH - AS DIM.
5	BLACK ALUMINUM WINDOWS
6	SMARTBOARD FINISHED COLUMNS AS DIM
7	CONCRETE STEPS
8	6" ALUMINUM FASCIA
9	WOOD TREATED STEPS
10	WOOD RAILING

ISSUED FOR DEVELOPEMENT PERMIT August 4, 2026

PLEASE NOTE THAT THIS IS AN ARTISTIC RENDERING FOR ILLUSTRATIVE PURPOSES ONLY.
ACTUAL COLORS MAY VARY UPON COMPLETION OF CONSTRUCTION.

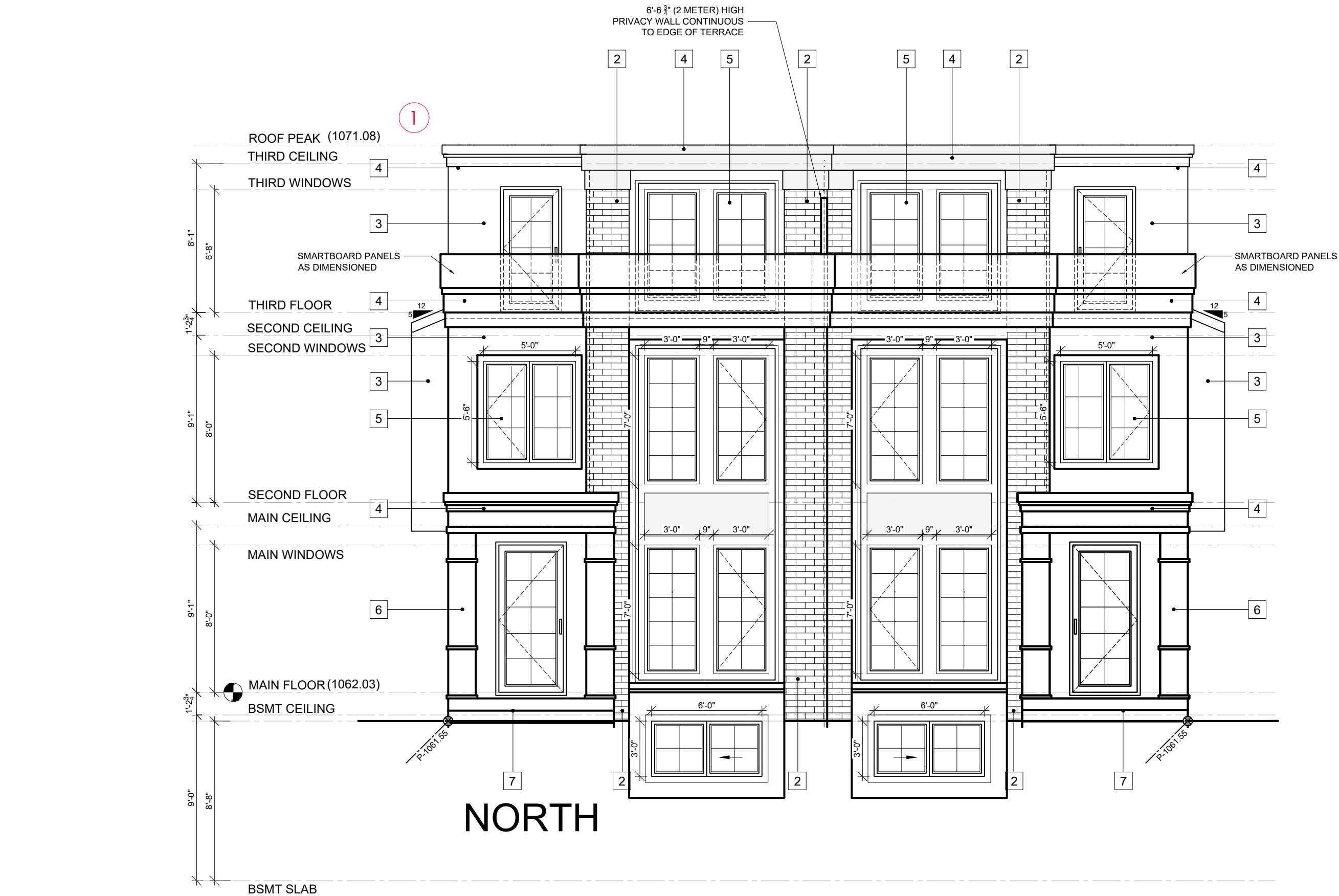


DRAWN BY: CA	
DRAWN BY: AA	
LOT: 31 & 32	BLOCK: 48
PLAN: 8321 AF	
SCALE: 3/16"=1'-0"	

FLOOR AREA UNIT 1 (SQ.FT)	
MAIN FLOOR	940
SECOND FLOOR	1050
THIRD FLOOR	832
TOTAL	2822
LOWER FLOOR	707

COVER
PAGE

PAGE
C.0
PROJECT NO. SD586



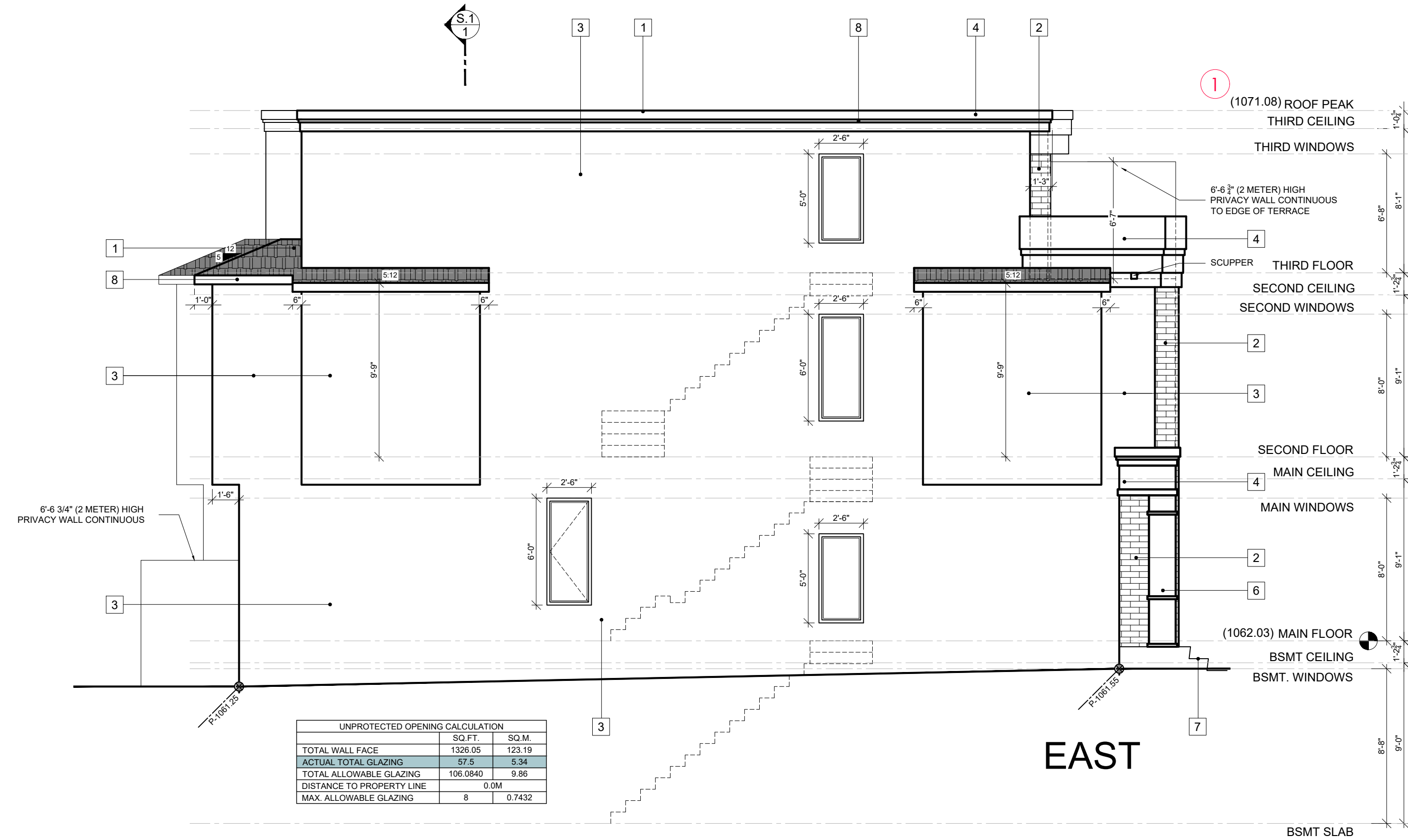
REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

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ISSUE DATE:	
August 4, 2026	
ADDRESS:	724 35A ST. NW CALGARY, AB

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UNPROTECTED OPENING CALCULATION		
REV.	SQ.FT.	SQ.M.
TOTAL WALL FACE	1326.05	123.19
ACTUAL TOTAL GLAZING	57.5	5.34
TOTAL ALLOWABLE GLAZING	106.0840	9.86
DISTANCE TO PROPERTY LINE	0.0M	
MAX. ALLOWABLE GLAZING	8	0.7432

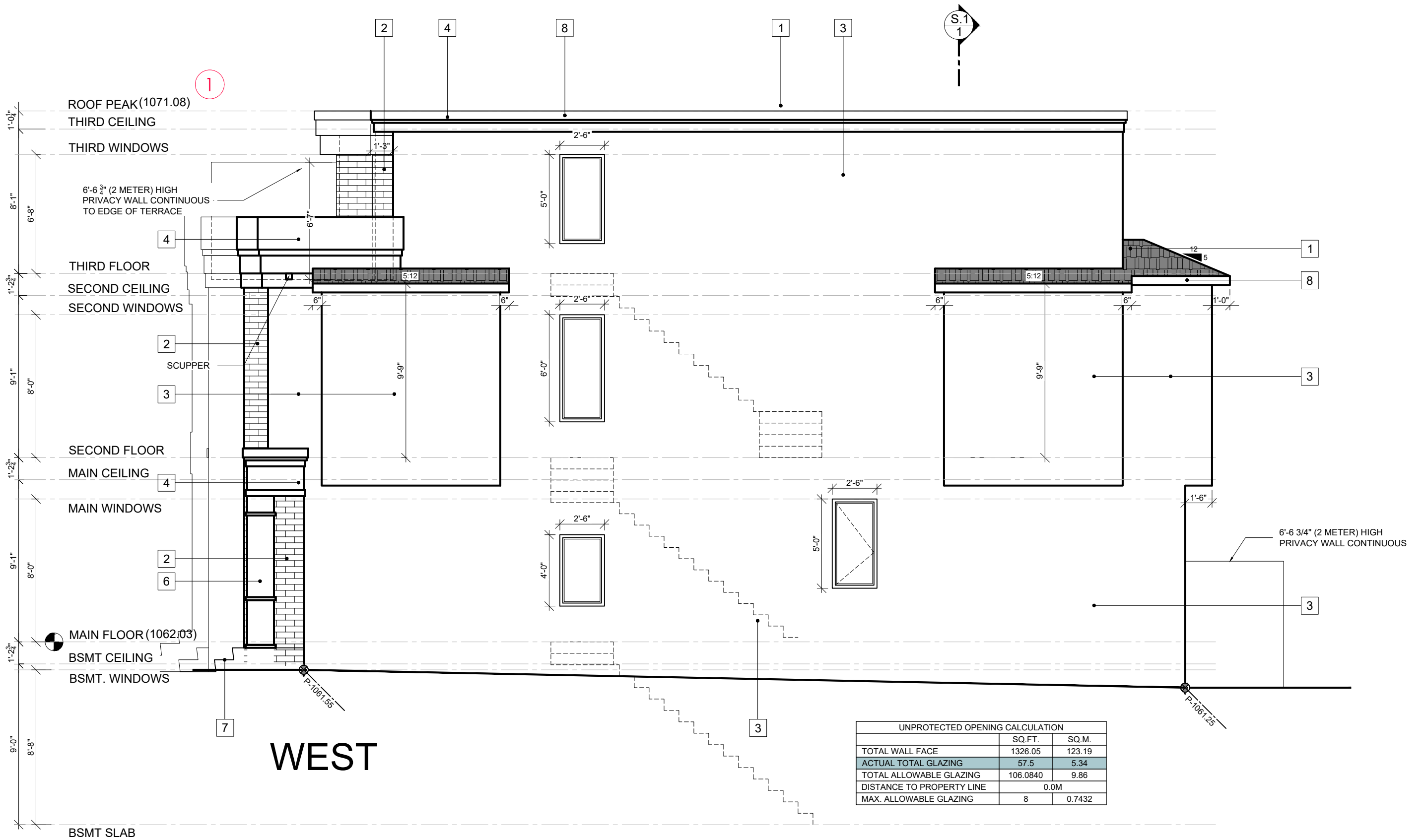
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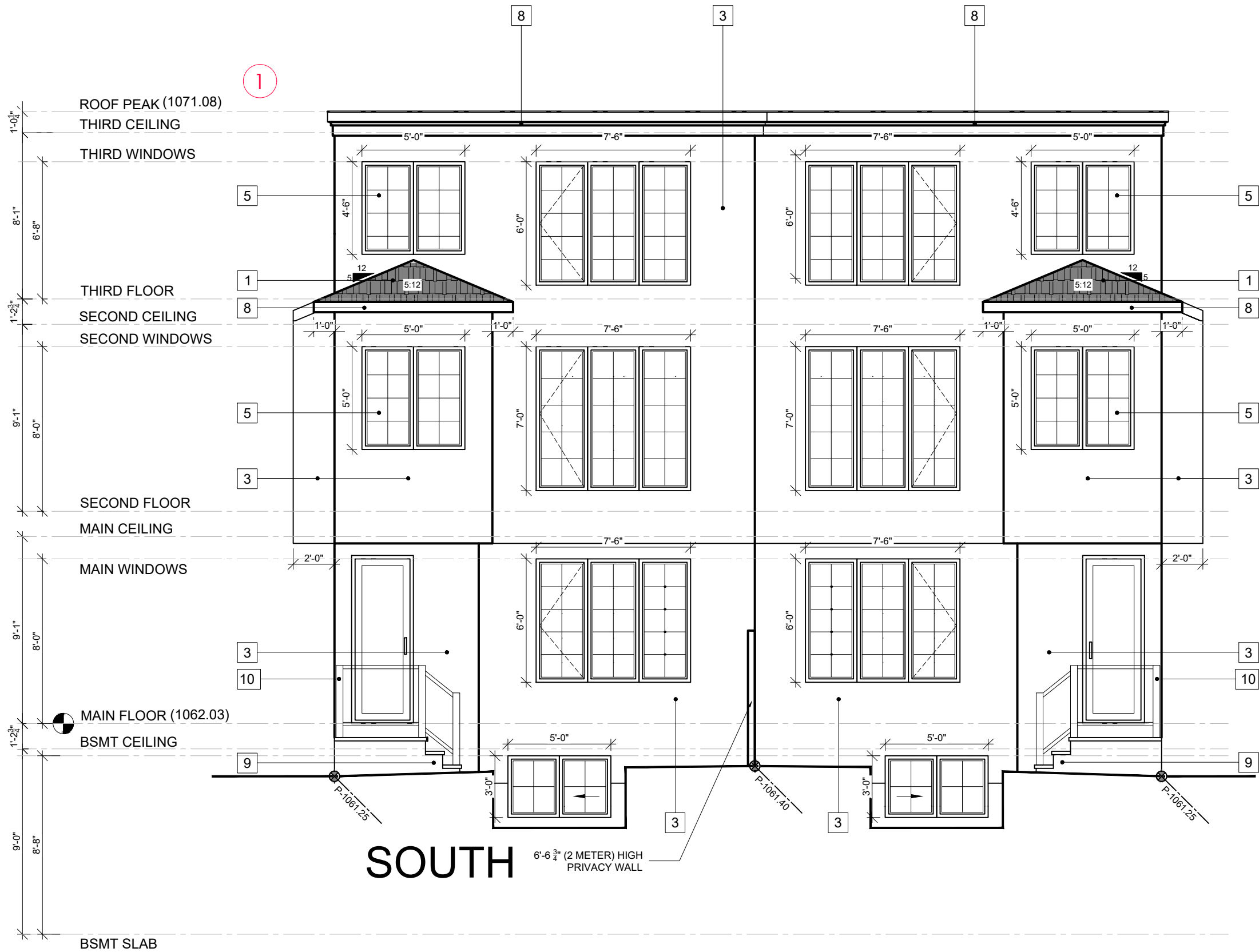
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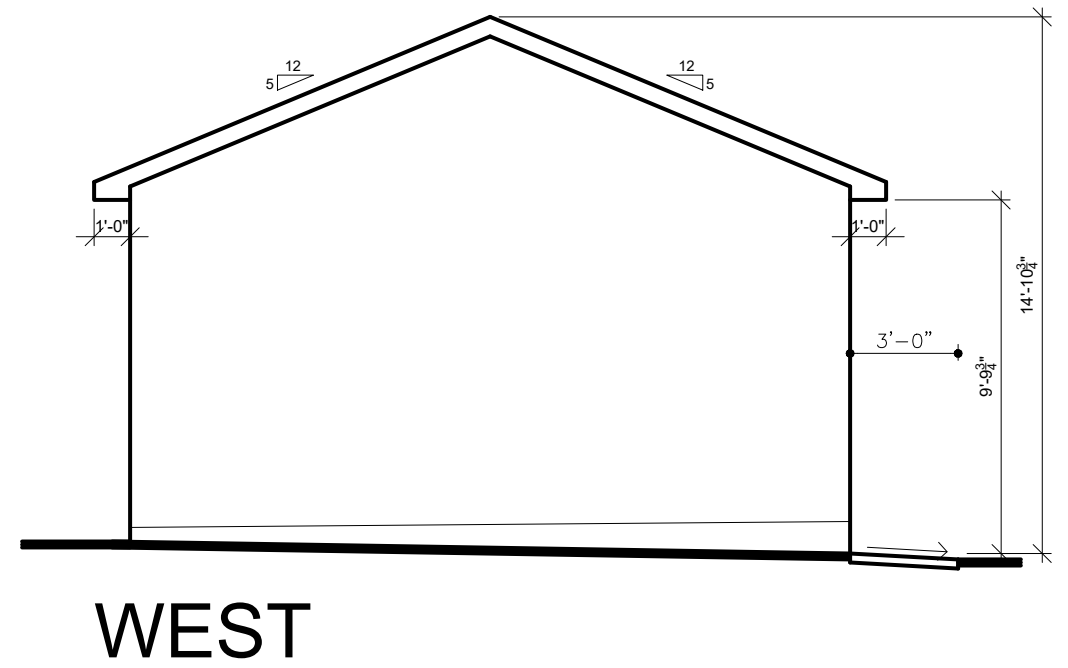
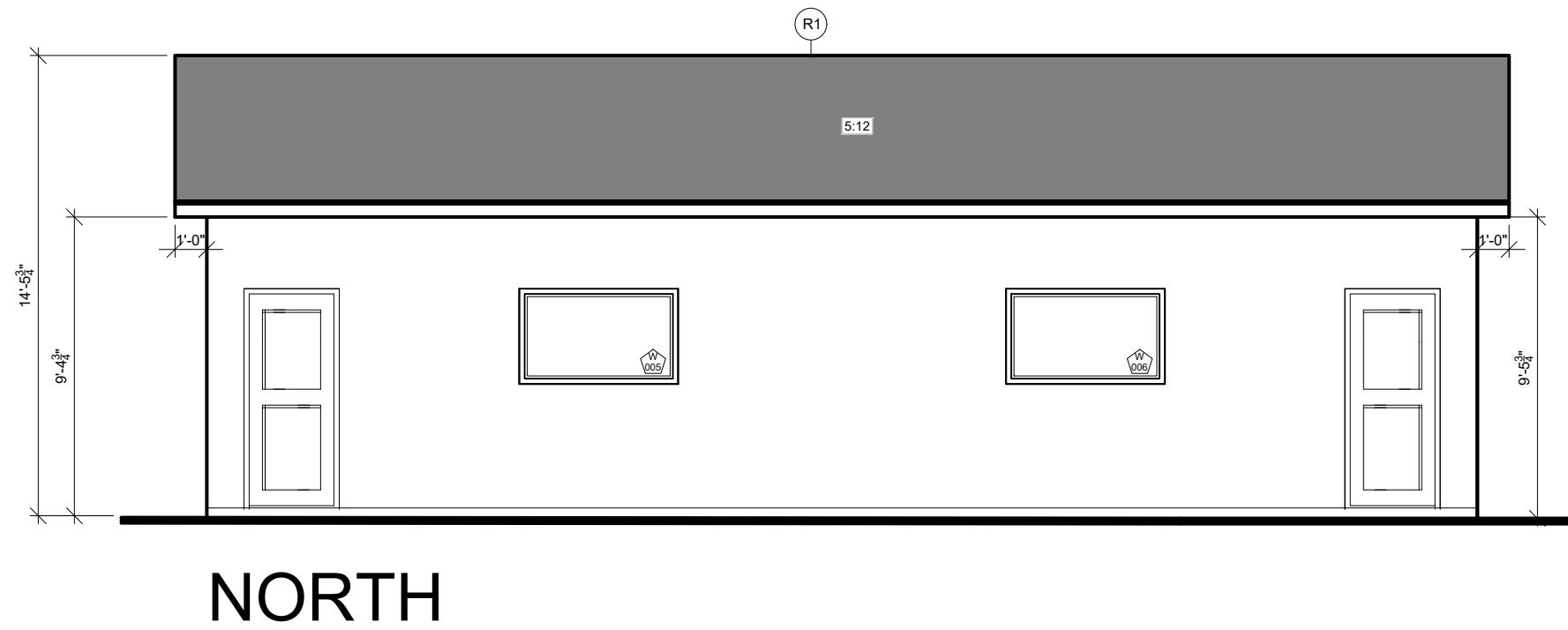
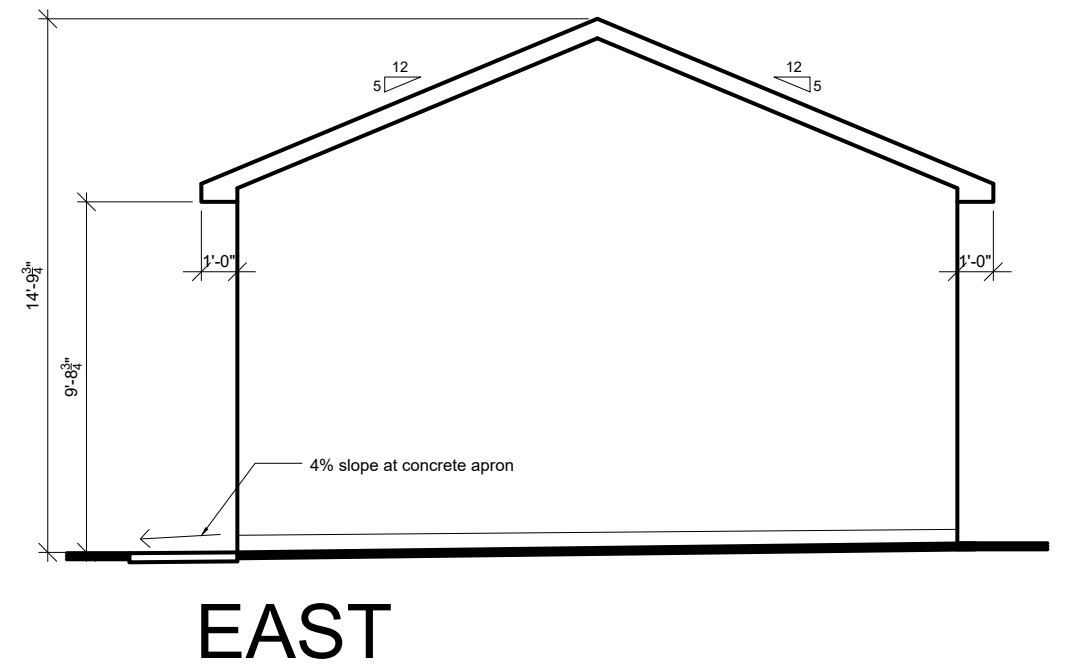
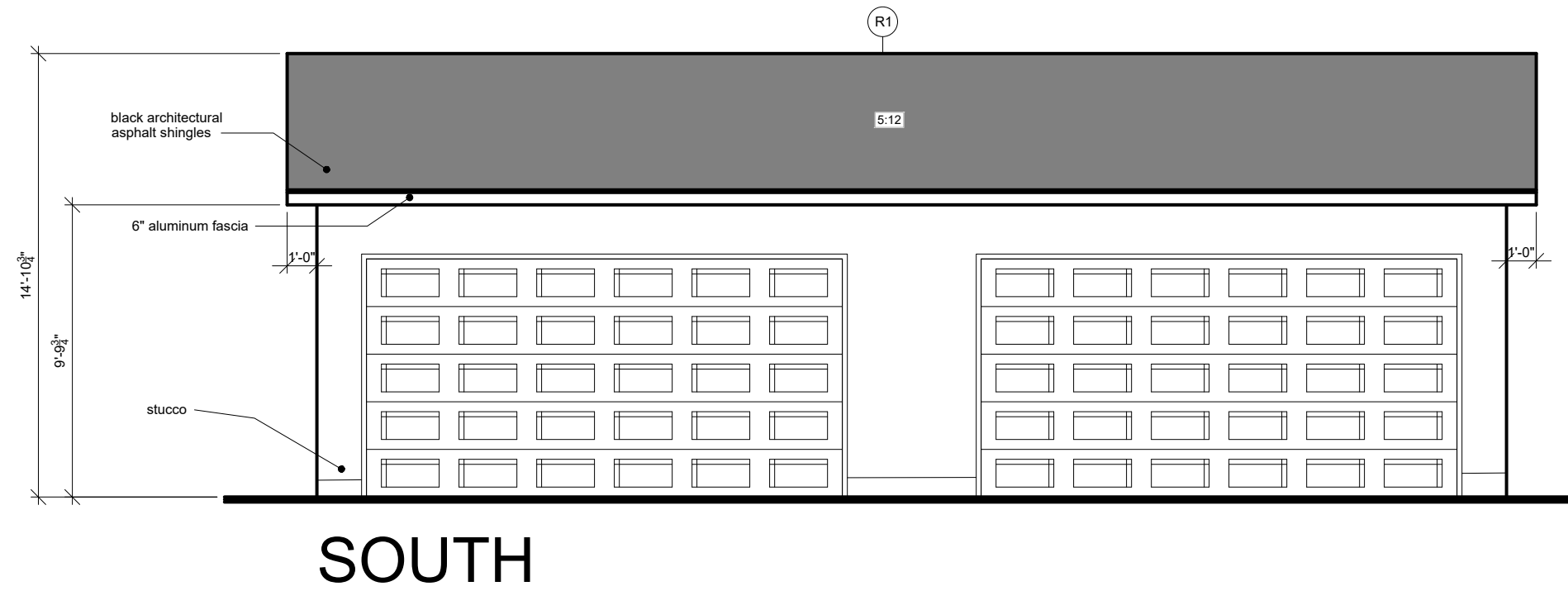
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WWW.AMAYADESIGN.CA

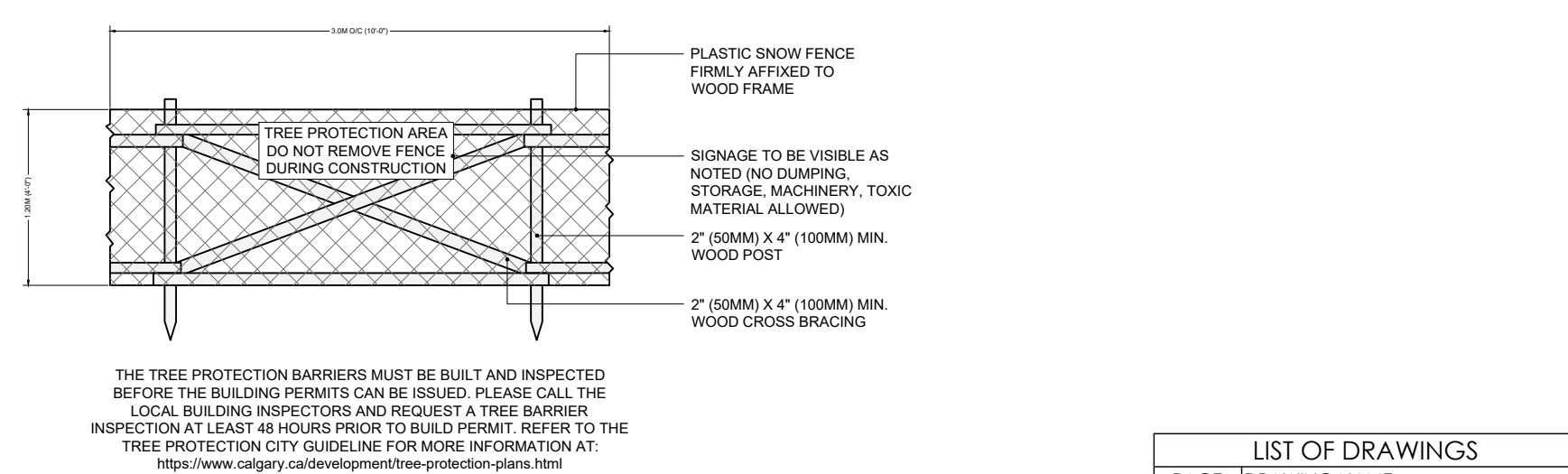
ARCHITECTURAL SYMBOLS	
UW	UPPER WINDOW
MW	MAIN WINDOW
BW	BASEMENT WINDOW
	EXISTING GRADE
	PROPOSED GRADE
BOW	BOTTOM OF RETAINING WALL
TOW	TOP OF RETAINING WALL
	DENOTES MAIN CANTILEVER
	DENOTES UPPER CANTILEVER
	DENOTES WINDOW WELL
	<u>SECTION PAGE</u> <u>SECTION NUMBER</u>
	<u>DETAIL</u> <u>SCALE</u>
	PROPERTY LINE
	OUT LINE OF FOUNDATION WALL BELOW GRADE
	BUILDING FOOTPRINT ABOVE GRADE
	LANDSCAPE RETAINING WALL
	OVERHEAD LINES
	UNDERGROUND GAS LINE
	SEWER LINE
	WATER LINE
	STORM LINE
	FENCE
	POWER POLE
	EXISTING TREES TO BE REMOVED

ISSUED FOR DEVELOPMENT PERMIT

August 4, 2026

724 35A ST. NW
CALGARY, ALBERTA
LOT 31&32 | BLOCK 48 | PLAN 8321 AF
ZONING: R-C2

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1

TREE PROTECTION FENCING

Scale: N.T.S.

PAGE	DRAWING NAME
S.0	COVER PAGE
S.1	SITE PLAN
S.2	EXISTING & NEW LANDSCAPE PLAN

1 TREE PROTECTION FENCING Scale: N.T.S.

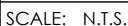
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CALGARY, AB

DESIGN BY: CA	DRAWN BY: AA	
LOT: 31&32	BLOCK: 48	PLAN: 8321 AF
COVER PAGE		

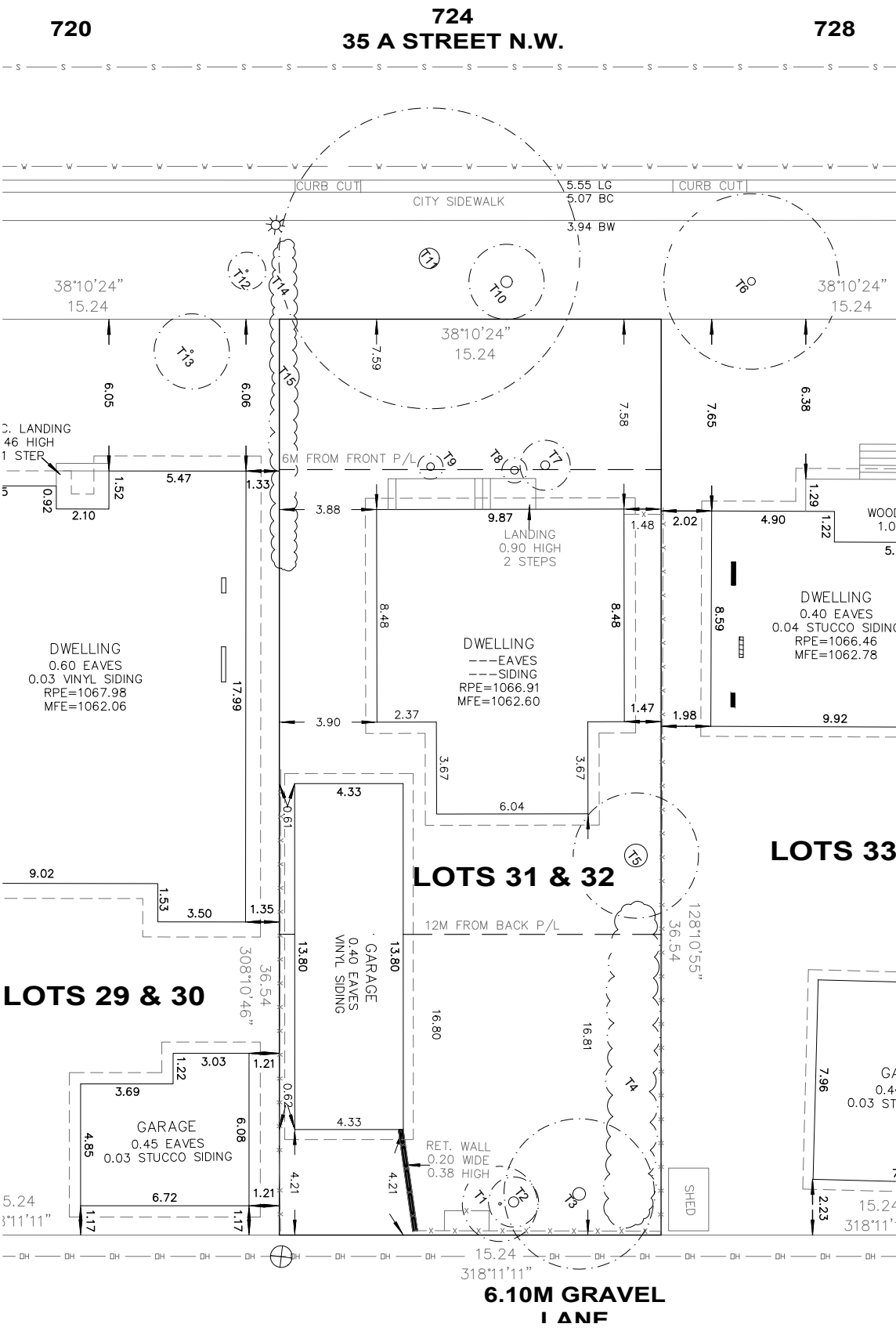
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LOT COVERAGE (SQ.M.)	
LOT	556.440
SEMI-DETACHED	175.790
COVERED PORCH	0.00
DETACHED GARAGE	74.320
TOTAL	250.110
COVERAGE (45% MAX.)	44.95%

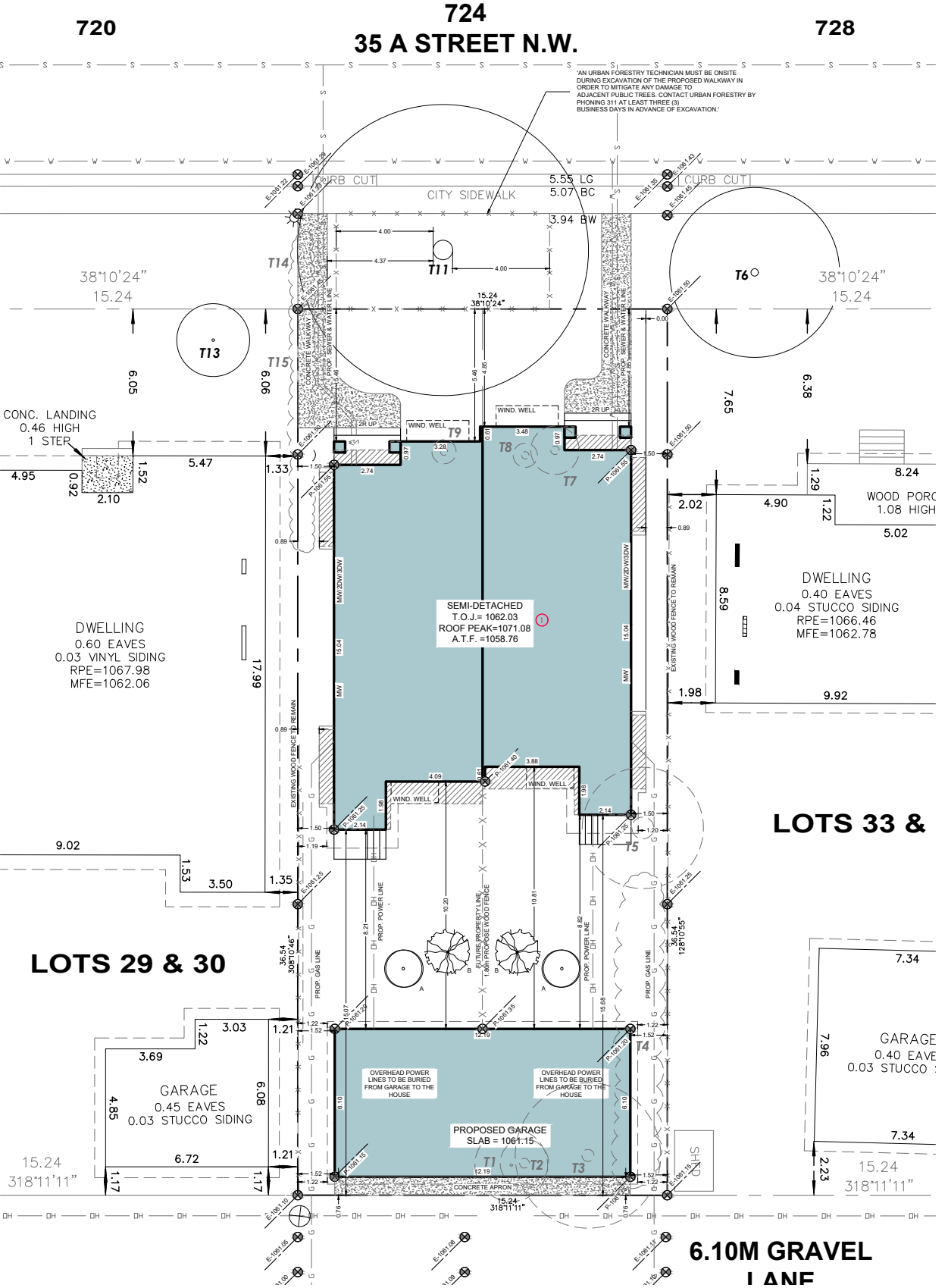
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PROJECT NO. SD586

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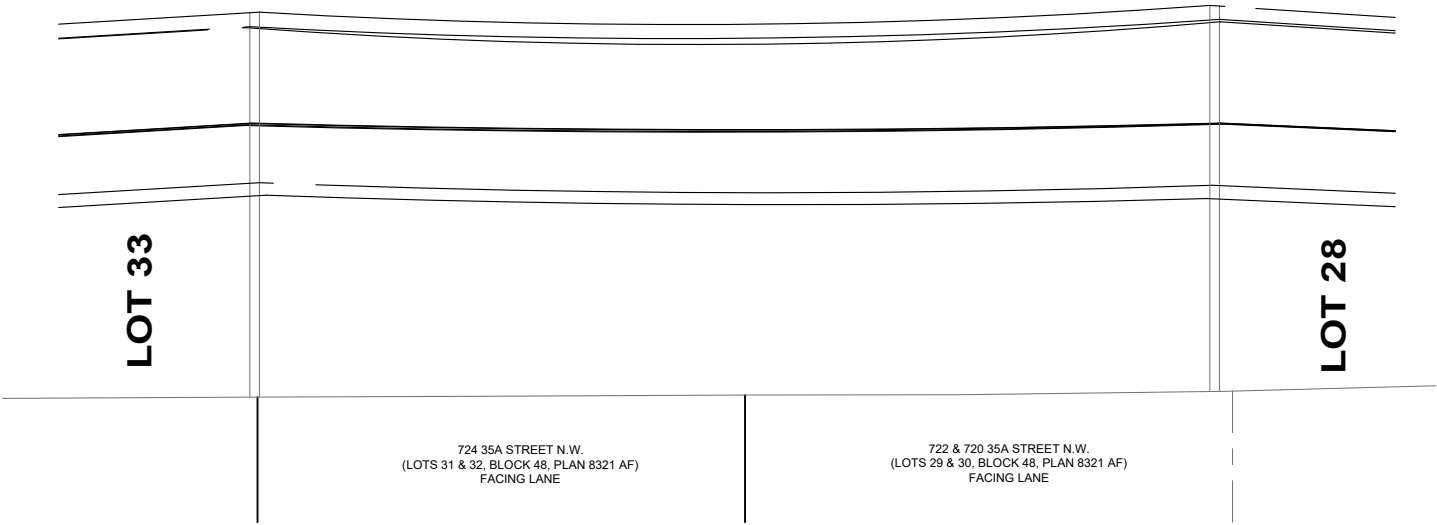
TREE SCHEDULE:						
Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Status
T1	Deciduous	0.40	2.00	2.00	In Subject Property	To be Removed
T2	Deciduous	0.10	3.00	5.00	In Subject Property	To be Removed
T3	Deciduous	0.25	6.00	6.00	In Subject Property	To be Removed
T4	Bush	-	2.00	4.50	In Subject Property	To be Removed
T5	Deciduous	0.90	5.00	7.00	In Subject Property	To be Removed
(T6) T-32106229	FRAXINUS PENNSYLVANICA	0.32	7.00	11.00	In City Property	To Remain & Protect
T7	Deciduous	0.35	2.00	2.00	In Subject Property	To be Removed
T8	Deciduous	0.30	1.00	1.50	In Subject Property	To be Removed
T9	Deciduous	0.30	1.00	1.50	In Subject Property	To be Removed
(T11) T-32106227	FRAXINUS PENNSYLVANICA	0.75	12.00	12.00	In City Property	To Remain & Protect
T13	Deciduous	0.10	3.00	5.00	In Adjacent Property	To Remain
T14	Bush	-	1.00	1.50-2.00	In Subject Property	To be Removed
T15	Bush	-	1.00	1.50-2.00	In Subject Property	To be Removed

PROPOSED TREE & LANDSCAPE TABLE		
TREE PLANTING TO ADHERE TO THE PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS, LANDSCAPE CONSTRUCTION (CURRENT EDITION).		
LANDSCAPING CALCULATION:		
A MINIMUM OF TWO TREES PER UNIT MUST BE PLANTED ON THE PARCEL FOR A TOTAL OF FOUR. THIS MAY BE ACCOMPLISHED BY PLANTING NEW TREES OR PRESERVING EXISTING TREES. THE TREES MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.		
To satisfy the requirement of one tree, the following sizes must be met: a. A deciduous tree with a minimum calliper of 50.0mm; or b. A coniferous tree with a minimum height of 2.0 metres.		
To satisfy the requirement of two trees, the following sizes must be met: a. A deciduous tree with a minimum calliper of 85.0mm; or b. A coniferous tree with a minimum height of 4.0 metres.		
The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.		
SYMBOL	TREE PLANTING PROVIDED	IMAGE
	CONIFEROUS (2) (A) Montgomery Spruce – Picea pungens 'Montgomery' SIZE: 12' High X 5' wide (3.66m X 1.53m) Coniferous trees min. height of 2.0m, at least 50.0% of the provided trees must have a min. height of 3.0m	
	DECIDUOUS (2) (B) Rosthern crabapple – Malus baccata 'Rosthern' SIZE: 15' High X 6' wide (4.57m X 1.83m) Deciduous = 1 @ 60mm calliper & 2 @ 75mm calliper Deciduous trees min. calliper of 50mm, at least 50.0% of the provided trees must have min. calliper of 75mm	
HARD LANDSCAPE		
	CONCRETE	

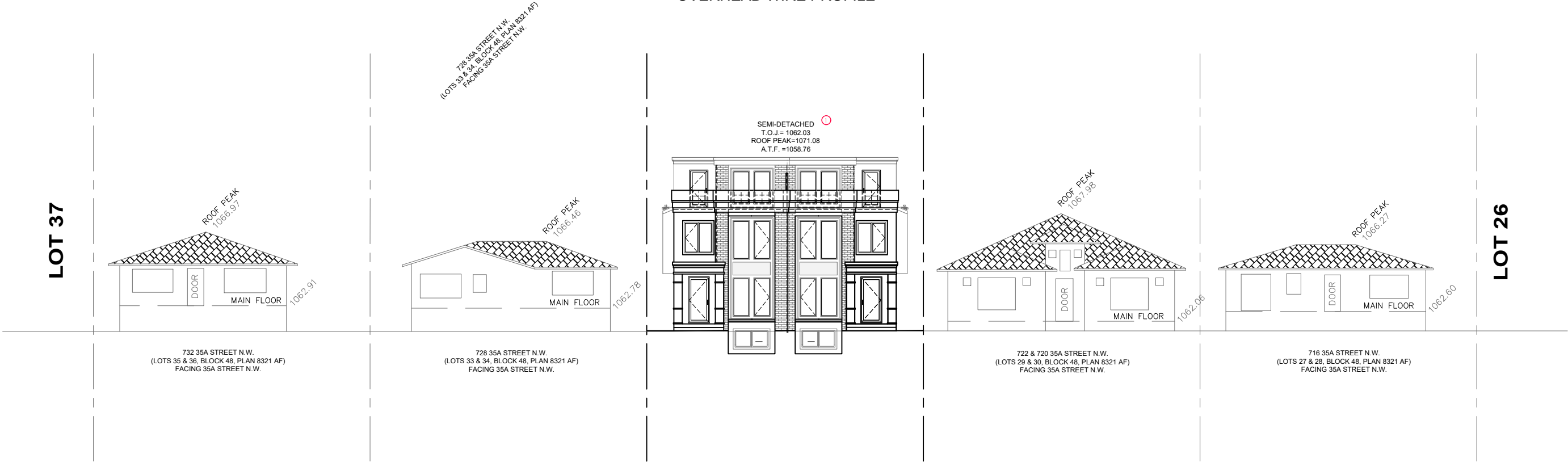


1 EXISTING LANDSCAPE PLAN
Scale: 1:6000

2 NEW LANDSCAPE PLAN
Scale: 1:6000



VIEW A
OVERHEAD WIRE PROFILE



NORTH WEST STREETSCAPE



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DATE	DESCRIPTION	DATE	DESCRIPTION

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CALGARY, AB

DESIGN BY: CA DRAWN BY: AA

LOT: 31&32 BLOCK: 48 PLAN: 8321 AF

STREETSCAPE

SCALE: 1:5000

LOT COVERAGE (SQ.M.)	
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SEMI-DETACHED	175.790
COVERED PORCH	0.00
DETACHED GARAGE	74.320
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