



SCOHAL
DESIGN GROUP

PLANS PREPARED FOR:

INFILL DUPLEX

CAMBRIAN HEIGHTS

924 31 AVENUE NW

CALGARY, ALBERTA

LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ



SHEET LIST

SHEET #	SHEET NAME	SHEET ISSUE DATE	REVISION DATE	REVISED PAGES	DRAWN BY
0	COVER PAGE	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
1	EXTERIOR 3D PERSPECTIVE VIEW	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
2	INTERIOR 3D PERSPECTIVE VIEWS	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
3	EXTERIOR COLOR CHART	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
4	FRONT ELEVATION	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
5	REAR ELEVATION	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
6	LEFT ELEVATION	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
7	RIGHT ELEVATION	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
8	FIRST FLOOR PLAN	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
9	FIRST FLOOR ELECTRICAL LAYOUT	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
10	SECOND FLOOR PLAN	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
11	SECOND FLOOR ELECTRICAL LAYOUT	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
12	THIRD FLOOR PLAN	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
13	THIRD FLOOR ELECTRICAL LAYOUT	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
14	FOUNDATION PLAN (OVERALL)	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
15	FOUNDATION ELECTRICAL & ROUGH INS	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
16	BASEMENT DEVELOPMENT PLAN	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
17	BASEMENT DEVELOPMENT ELECTRICAL LAYOUT	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
18	CROSS SECTION (FRONT-BACK)	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
19	CROSS SECTION (RIGHT-LEFT)	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
20	ROOF PLAN	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
21	BUILDING ASSEMBLY DETAILS	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
22	ENERGY CODE & RADON DETAILS	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
23	PARTY WALL & INSULATION DETAILS	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
24	WINDOW FLASHING DETAILS	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
25	ADDITIONAL DETAILS & SCHEDULES	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS
26	GENERAL NOTES	-- -- --	06-12-2026	DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES)	SS

-IN ADDITION TO ALL INFORMATION INSIDE THIS PLAN SET, ENSURE TO REFER TO THE FOLLOWING EXTERNAL DOCUMENTS FOR ALL RELEVANT INFORMATION :

- PLOT PLAN & GRADING DESIGN PROVIDED BY : VISTA GEOMATICS
- STRUCTURAL ENGINEERING PROVIDED BY : BLUELINE ENGINEERING
- ROOF TRUSS LAYOUTS PROVIDED BY : SUNDER LUMBER
- FLOOR JOIST LAYOUTS PROVIDED BY : SUNDER LUMBER
- ENERGY COMPLIANCE REPORT PROVIDED BY : ENERGY TECHNO
- EXTERIOR WINDOW/DOOR ROUGH OPENINGS PROVIDED BY : INSERT COMPANY NAME

-ENSURE TO REVIEW & FOLLOW ALL DEVELOPMENT & BUILDING PERMIT CONDITIONS. CONTRACTOR/BUILDING IS RESPONSIBLE TO CALL FOR ALL INSPECTIONS AT APPROPRIATE TIME.

--PLAN ISSUANCE DATES--

ISSUED FOR DEVELOPMENT PERMIT

ISSUED - MAY 28, 2026

ISSUED FOR BUILDING PERMIT

NOT ISSUED - INSERT DATE

ISSUED FOR CONSTRUCTION

NOT ISSUED - INSERT DATE

-- LATEST REVISION DATE -- JUNE 12, 2026 --



EXTERIOR 3D PERSPECTIVE VIEW

- ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION -

Address:	924 31 AVENUE NW, CALGARY, ALBERTA LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ			
Model:	CAMBRIAN HEIGHTS - INFILL DUPLEX			
Scale:	3/16" = 1'-0" (UNLESS NOTED OTHERWISE)			
Date:	2026-06-12 8:59:51 AM			
Drawn By:	ScoHal (SS & DA)			



ScoHAL

DESIGN GROUP

1st FLOOR	2nd FLOOR	3rd FLOOR	SUNROOM	TOTAL
1046 Sq. Ft.	997 Sq. Ft.	692 Sq. Ft.	274 Sq. Ft.	3009 Sq. Ft.
1046 Sq. Ft.	997 Sq. Ft.	692 Sq. Ft.	274 Sq. Ft.	3009 Sq. Ft.
Sq. Footage includes stairwell on Main Floor and is not inc. on Upper Floor.				

1 - ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION. SEE MANUFACTURER SAMPLES FOR EXACT REPRESENTATION.
2 - ALL COLORS TO BE CONFIRMED WITH OWNER PRIOR TO ORDER/INSTALLATION.



FRONT COLOR ELEVATION

-- EXTERIOR COLOR CHART --

MATERIAL	MANUFACTURER/SUPPLIER	COLOR NAME
ACRYLIC STUCCO	ADEX ARCHITECTURAL COATINGS	1120-1W
ALUMINUM WOODGRAIN SIDING	LUX ARCHITECTURAL PRODUCTS	KONA
MANUFACTURED BRICK	IXL - INTERSTATE THIN BRICK	ALMOND
STANDING SEAM METAL SIDING	AMT METAL ROOFING	BLACK
ALUMINUM FASCIA	ROYAL	BLACK
ALUMINUM SOFFIT	ROYAL	BLACK
ALUMINUM BATTEN	ROYAL	BLACK
FIBERGLASS FRONT DOOR	PAINTED TO MATCH - ROYAL	BLACK
FIEBRGLASS REAR DOOR	PAINTED TO MATCH - ROYAL	BLACK
WINDOW & DOOR JAMBS	TO BE DETERMINED	BLACK
ALUMINUM GARAGE DOOR	PAINTED TO MATCH - ROYAL	BLACK
ALUMINUM RAILING	HOME RAIL	BLACK
PRECAST CONCRETE STEPS	TO BE DETERMINED	EXPOSED AGGREGATE

Address:	924 31 AVENUE NW, CALGARY, ALBERTA LOT 10, 11 & 12 / BLOCK 34 / PLAN 606DAJ
Model:	CAMBRIAN HEIGHTS - INFILL DUPLEX
Scale:	3/16" = 1'-0" (UNLESS NOTED OTHERWISE)
Date:	2026-06-12 8:59:52 AM
Drawn By:	ScoHal (SS & DA)



SCOHAL

DESIGN GROUP

1st FLOOR	1046 Sq.Ft.	1046 Sq.Ft.	1046 Sq.Ft.
2nd FLOOR	997 Sq.Ft.	997 Sq.Ft.	997 Sq.Ft.
3rd FLOOR	692 Sq.Ft.	692 Sq.Ft.	692 Sq.Ft.
SUNROOM	274 Sq. Ft.	274 Sq. Ft.	274 Sq. Ft.
TOTAL	3009 Sq.Ft.	3009 Sq.Ft.	3009 Sq.Ft.

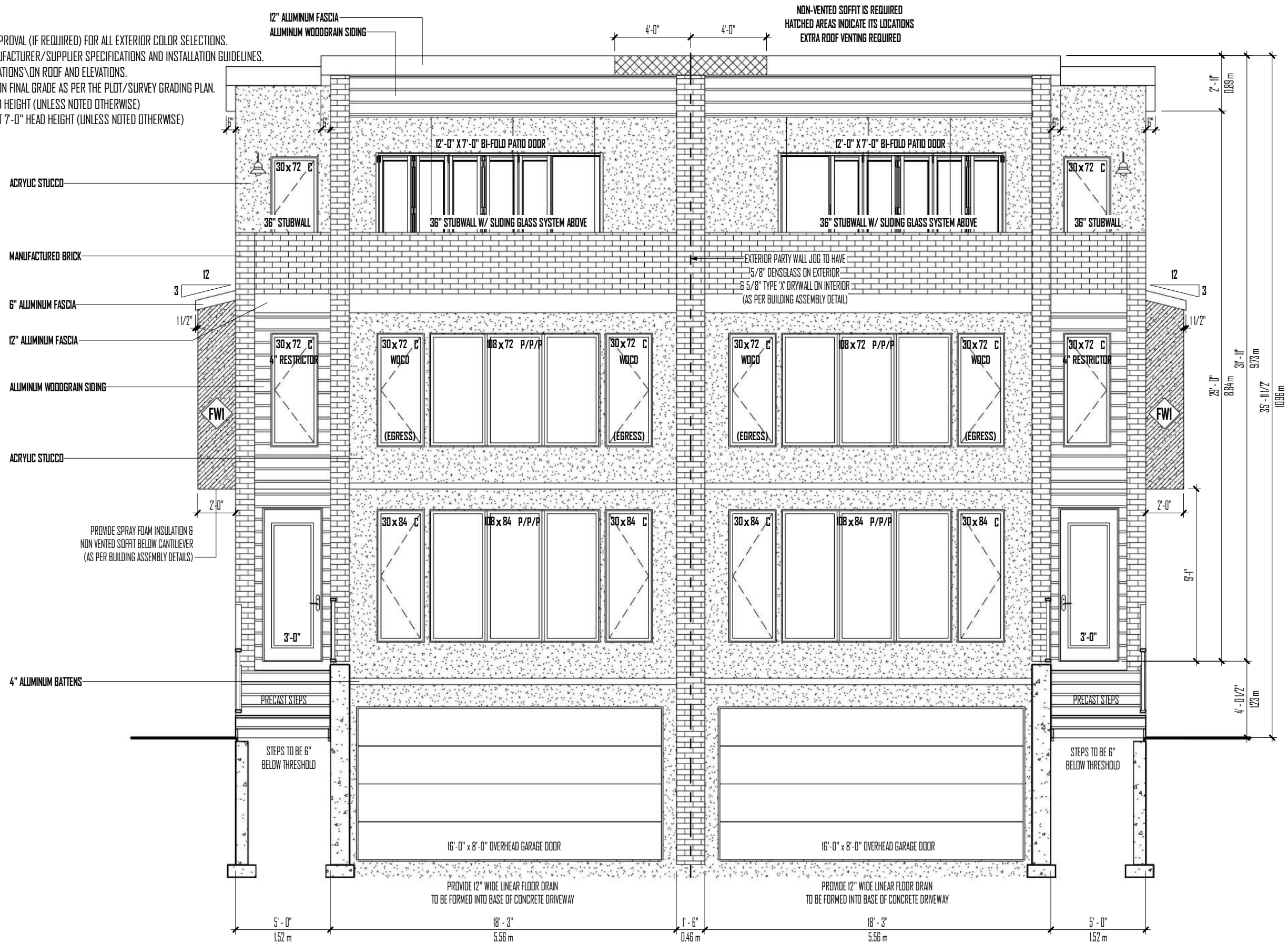
Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.

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- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES.
(COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR S
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTA
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADIN
- 11- ALL FIRST FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL SECOND & THIRD FLOOR WINDOWS TO BE FRAMED AT 7'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)

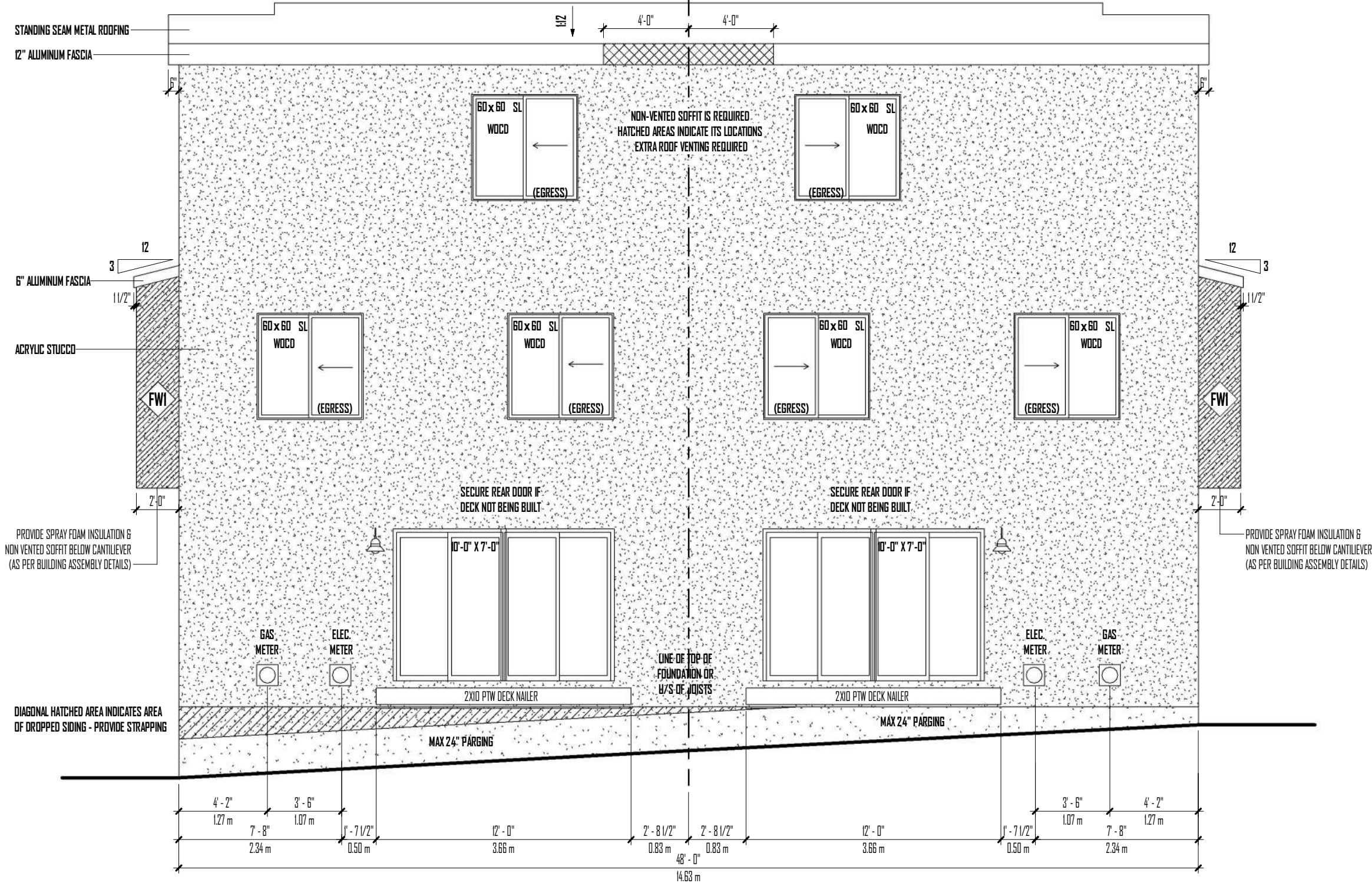


MODERN ELEVATION

Address:		9274 31 AVENUE NW, CALGARY, ALBERTA LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ	
Model:		CAMBRIAN HEIGHTS - INFILL DUPLEX	
Scale:		3/16" = 1'-0" (UNLESS NOTED OTHERWISE)	
Date:		2026-06-12 8:59:53 AM	
Drawn By:		ScoHal (SS & DA)	

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL FIRST FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
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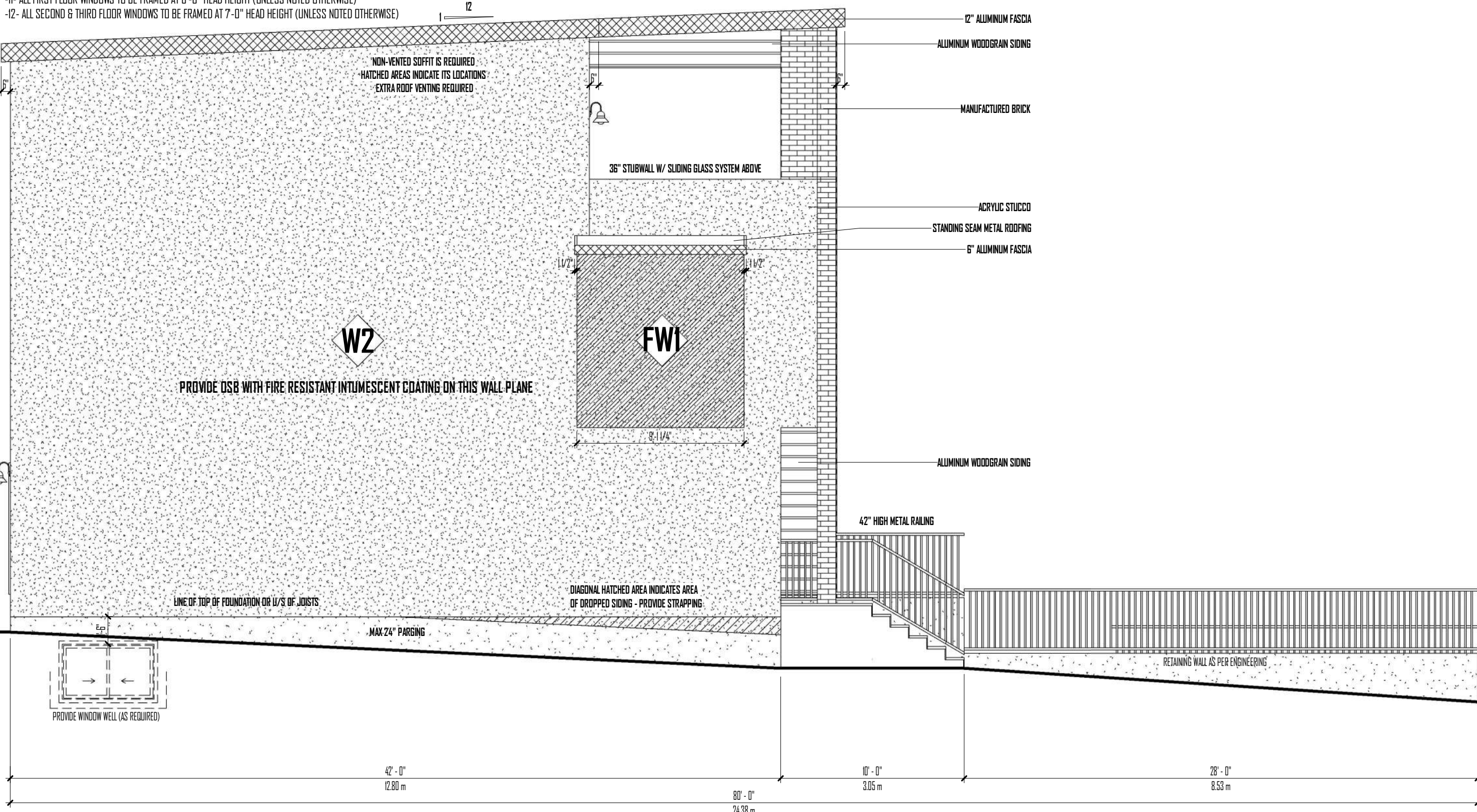
REAR ELEVATION

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Address:	924 31 AVENUE NW, CALGARY, ALBERTA LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ	Model:	CAMBRIAN HEIGHTS - INFILL DUPLEX	Scale:	3/16" = 1'-0" (UNLESS NOTED OTHERWISE)
Date:	2026-06-12 8:59:53 AM	Drawn By:	ScoHal (SS & DA)	Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.	
1st FLOOR		1046 Sq.Ft.	1046 Sq.Ft.	692 Sq.Ft.	274 Sq. Ft.
2nd FLOOR		997 Sq.Ft.	997 Sq.Ft.	692 Sq.Ft.	3009 Sq.Ft.
3rd FLOOR		692 Sq.Ft.	692 Sq.Ft.	274 Sq. Ft.	3009 Sq.Ft.
SUNROOM		274 Sq. Ft.	274 Sq. Ft.	3009 Sq.Ft.	3009 Sq.Ft.
TOTAL		3009 Sq.Ft.	3009 Sq.Ft.	274 Sq. Ft.	3009 Sq.Ft.



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LEFT ELEVATION

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Sq. Footage includes stairwell on Main Floor and is not inc. on Upper Floor.



**924 31 AVENUE NW, CALGARY, ALBERTA
LOT 10, 11 & 12 / BLOCK 34 / PLAN 6067A-J**

CAMBRIAN HEIGHTS - INFILL DUPLEX

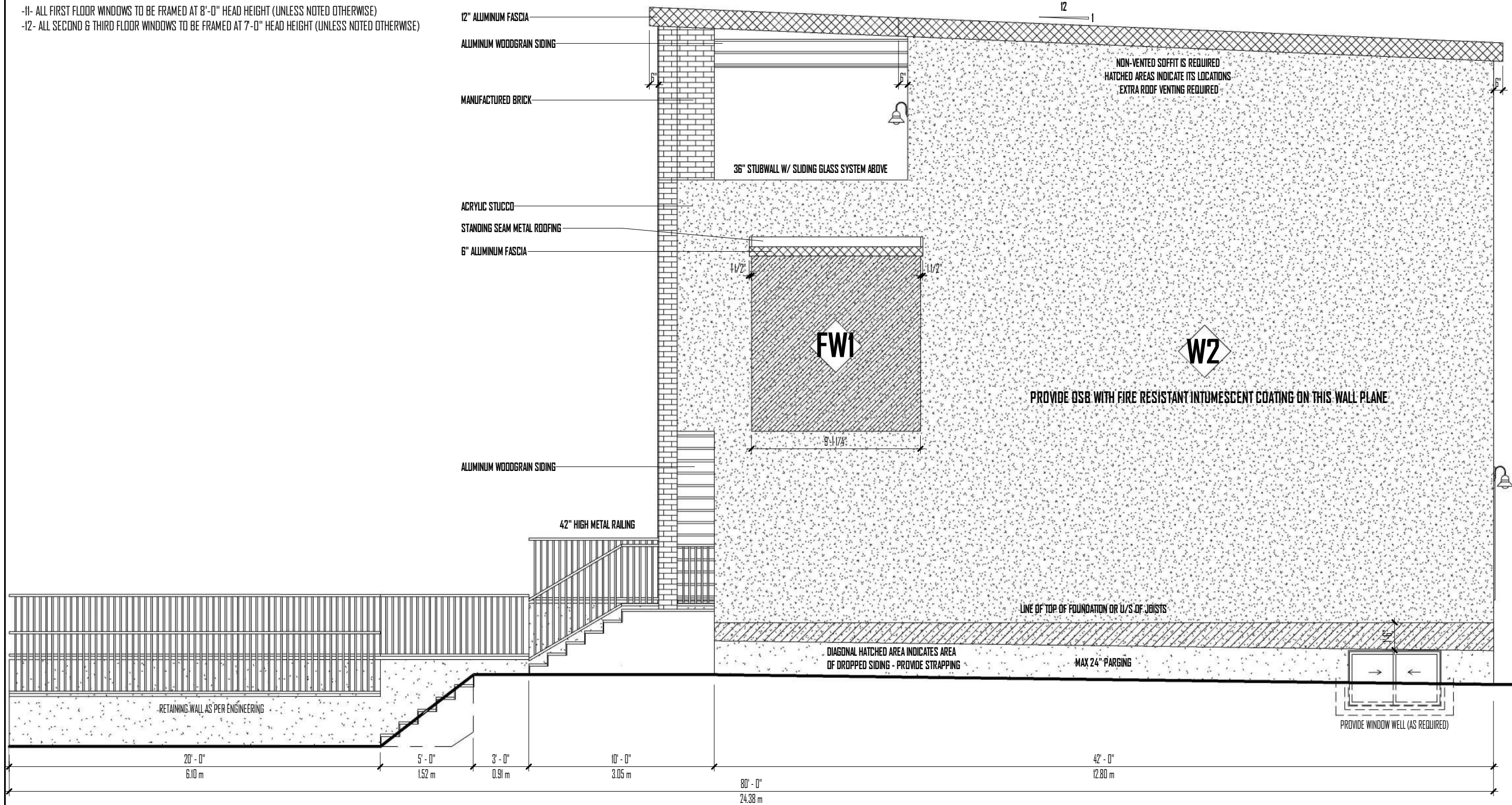
3/16" = 1'-0" (UNLESS NOTED OTHERWISE)

2026-06-12 8:59:54 AM

ScoHal (SS & DA)

-- GENERAL EXTERIOR ELEVATION NOTES --

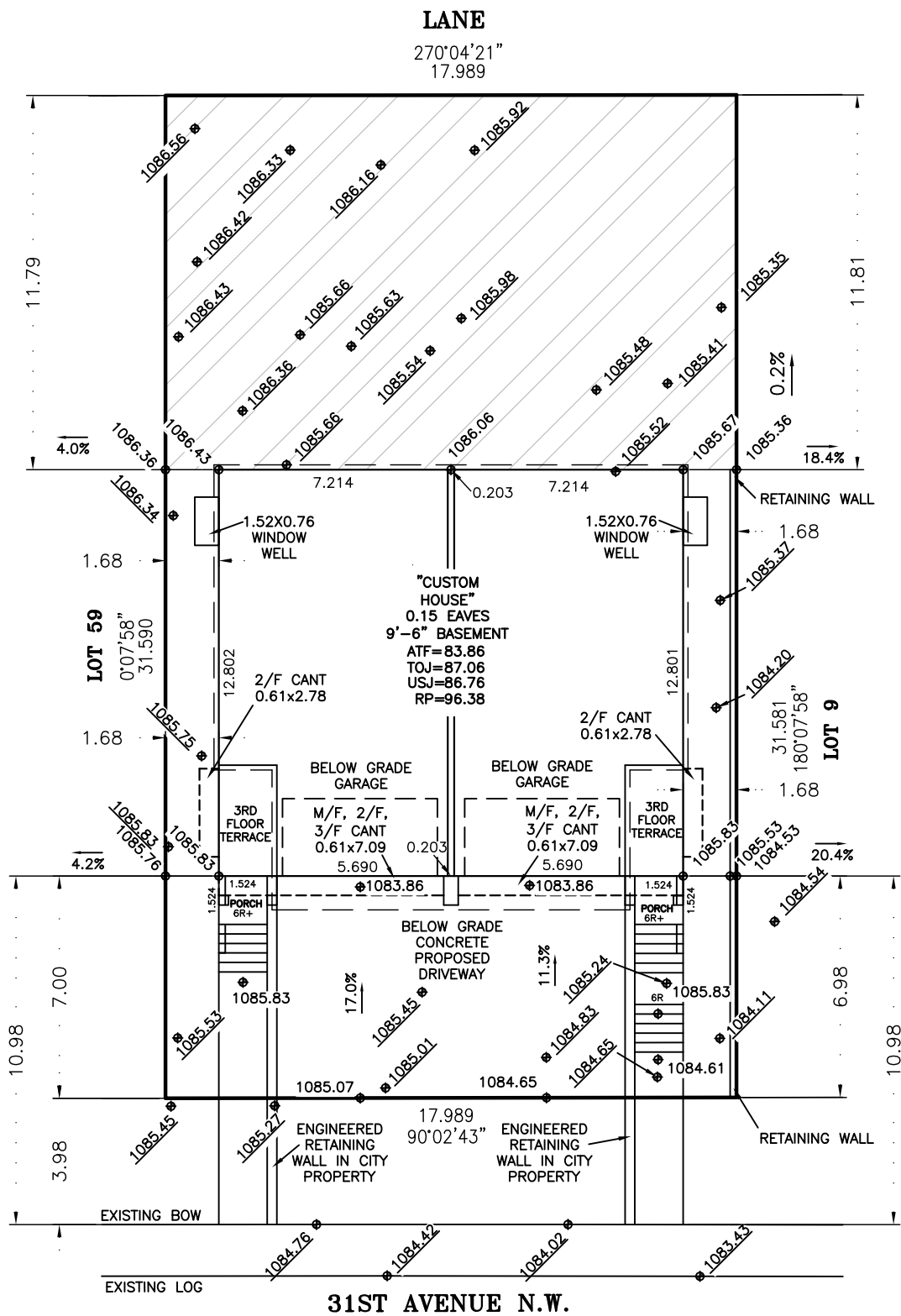
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RIGHT ELEVATION

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Address:	Model:	Scale:	Date:	Drawn By:	
924 31 AVENUE NW, CALGARY, ALBERTA LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ	CAMBRIAN HEIGHTS - INFILL DUPLEX	3/16" = 1'-0" (UNLESS NOTED OTHERWISE)	2026-06-12 8:59:54 AM	ScoHal (SS & DA)	
1st FLOOR	2nd FLOOR	3rd FLOOR	SUNROOM	TOTAL	Sq. Footage includes stairwell on Main Floor and is not inc. on Upper Floor.
1046 Sq.Ft.	997 Sq.Ft.	692 Sq.Ft.	274 Sq. Ft.	3009 Sq.Ft.	

LOT: 10,11,12 BLOCK: 34 PLAN: 6060 AJ
ADDRESS: 924-31 AVENUE N.W.



LEGEND

EXISTING GRADE 00.00

PROPOSED GRADE 00.00

AMENITY SPACE = 212.2 m²

SUGGESTED GRADE (FG):
SUGGESTED GRADE (RG):
LOWEST TOP OF FOOTING (LTF):
ACTUAL TOP OF FOOTING (ATF): 83.86
TOP OF MAIN FLOOR JOIST (TOJ): 87.06
UNDERSIDE OF MAIN FLOOR JOIST (USJ): 86.76
ROOF PEAK (RP): 96.38
STORM SEWER:
SANITARY SEWER:
WATER LINE:

NOTES:

1. GRADES AND BUILDING LAYOUT ARE SUGGESTED ONLY AND ARE SUBJECT TO CHANGE AND APPROVAL.
2. BUILDER MUST ENSURE ALL OPENINGS ARE CONSTRUCTED ABOVE ANY RG/MG GRADES.
3. PLOT PLAN MUST BE APPROVED BY DEVELOPER AND THE APPROVAL MUNICIPALITY PRIOR TO TAKEOUT. BUILDER ASSUMES ALL RESPONSIBILITY IF FAILURE TO DO SO.



DATE: 2026-06-03