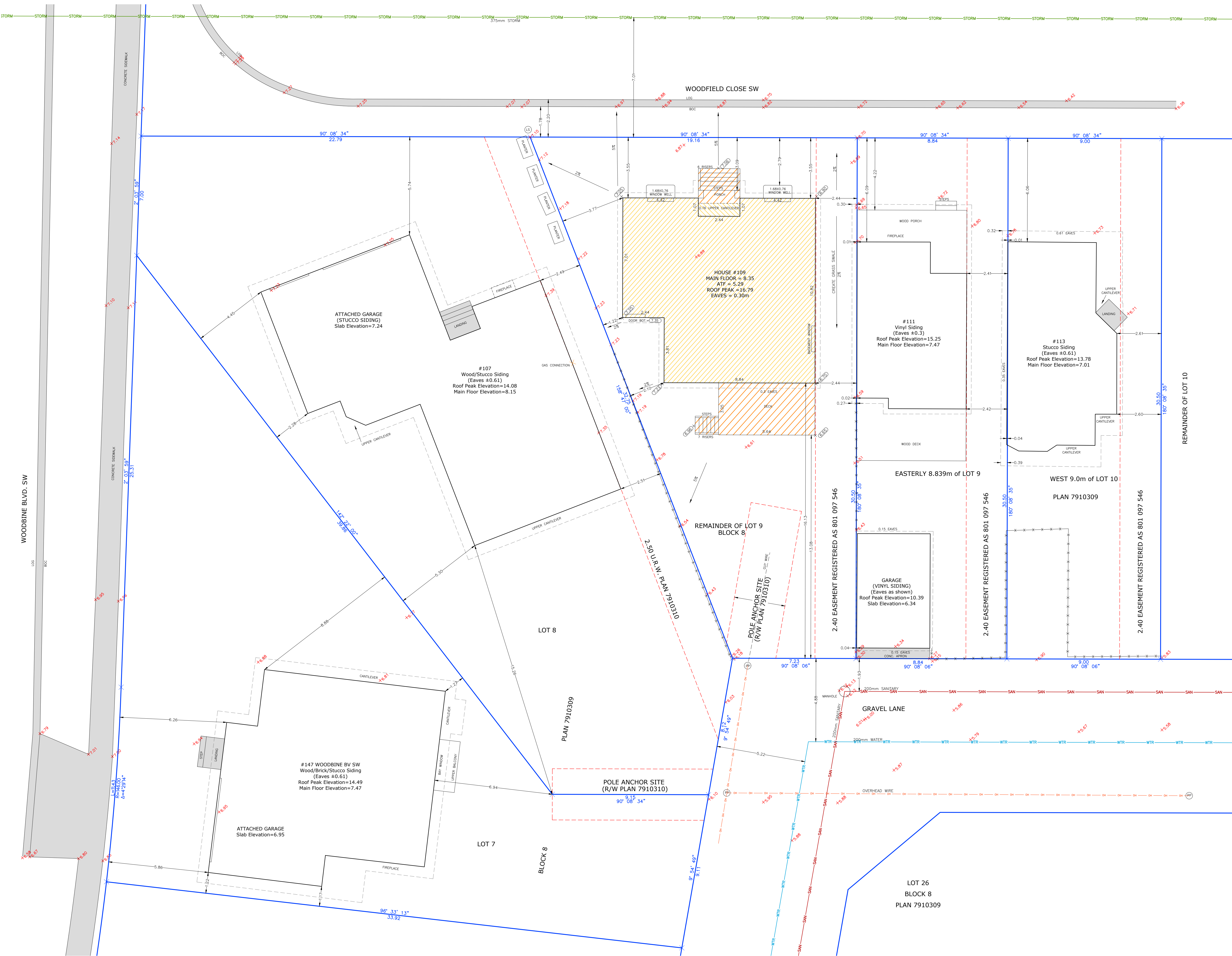


0 3 6
Meters
SCALE 1:100



MUNICIPAL ADDRESS:
109 WOODFIELD CL SW
CALGARY, AB

LEGAL ADDRESS:
WEST PORTION OF LOT 9, BLOCK 8, PLAN 7910309.
Survey was performed between:
February 12 and 13, 2026.

Client:
Schoal Design Group.
Calgary, AB.

LAND USE DISTRICT: R-CG Residential
PARCEL AREA: 402.41m²
BUILDING AREA: 112.02m²
PARCEL COVERAGE = 28%
Porches and deck are not included in building
area calculations.

LEGEND
Property Lines and dimensions: 91' 14' 32"
Right of Way Lines: 54.41'
Statutory Iron Posts Found:
Fences: (6.00)
Proposed Grades: (6.00)
Existing Grades: (42.88)

This plan represents the best available
information at the time of survey. Alpha
Geomatics Inc. and its employees take
no responsibility for the location of any
underground utilities shown or omitted
from this plan. All underground utilities
should be located by respective
authorities prior to any ground
disturbance.

CALL ALBERTA ONE
1800 242 3447

Spot Elevations are shown thus: $\times 42.88$
and are based on ASCM 46250 with Geodetic
elevation of 1107.547m.
Add 1100 to shown elevations to obtain
actual Geodetic elevation.
Bearings are derived from Plan 7910309.
All Distances are in meters and decimals
thereof at ground level.
Main Floor Elevations are observed at bottom
of Main entrance door.

Datum: NAD 83, Projection: 3TM Reference
Meridian: 114°
Combined Scale Factor: 0.999730
Title to the Property has not been examined
for any registrations.

PROPOSED SITE PLAN

Date Drawn: June 4, 2026
Scale: 1:100 File No.:
Drawn by: K.S. 26-009

ALPHA GEOMATICS INC.
Ph: 403 891 2252
email: info@alphageomatics.ca
© COPYRIGHT ALPHA GEOMATICS INC. 2026

EXTERIOR 3D PERSPECTIVE VIEWS

- ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION -



Address:	109 WOODFIELD CLOSE SW, CALGARY, ALBERTA LOT 09 / BLOCK 08 / PLAN 791-0309
Model:	TWO STORY INFILL DWELLING
Scale:	3/16" = 1'-0" (UNLESS NOTED OTHERWISE)
Date:	2026-06-09 1:33:27 PM
Drawn By:	C.C



Plans Prepared For: [REDACTED]		-PAGE-
MAIN	1186 Sq.Ft.	1 22
UPPER	917 Sq. Ft.	
TOTAL	2103 Sq.Ft.	
Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.		

--GENERAL EXTERIOR COLOR NOTES--
1 - ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION. SEE MANUFACTURER SAMPLES FOR EXACT REPRESENTATION.
2 - ALL COLORS TO BE CONFIRMED WITH OWNER PRIOR TO ORDER/INSTALLATION.



FRONT COLOR ELEVATION



REAR COLOR ELEVATION



RIGHT COLOR ELEVATION



LEFT COLOR ELEVATION

-- EXTERIOR COLOR CHART --		
MATERIAL	MANUFACTURER/SUPPLIER	COLOR NAME
VINYL SIDING	ROYAL	ESTATE GRAY
VINYL BOARD & BATTEN	ROYAL	TOASTED ALMOND
3" VINYL CORNERS	ROYAL	ESTATE GRAY
3" VINYL CORNERS (SECONDARY COLOR)	ROYAL	TOASTED ALMOND
ASPHALT SHINGLES	IKO	DRIFTWOOD
ALUMINUM FASCIA	ROYAL	COMMERCIAL BROWN
ALUMINUM SOFFIT	ROYAL	COMMERCIAL BROWN
ALUMINUM TRIMS	ROYAL	COMMERCIAL BROWN
ALUMINUM BATTEN	ROYAL	COMMERCIAL BROWN
VERANDA POSTS	PAINTED TO MATCH - ROYAL	COMMERCIAL BROWN
FIBERGLASS FRONT DOOR	PAINTED TO MATCH - CLOVERDALE	FONDUE (CA072)
FIBERGLASS REAR DOOR	PAINTED TO MATCH - CLOVERDALE	MOCCASIN (CA071)
SIDEYARD DOOR	PAINTED TO MATCH -CLOVERDALE	FONDUE (CA072)
ALUMINUM RAILING	HOME RAIL	COMMERCIAL BROWN
MANUFACTURED BRICK VENEER	IXL - METROBRICK	507 EMPIRE
EXTERIOR GRADE WOOD VERANDAH	PAINTED TO MACH - ROYAL	COMMERCIAL BROWN

Plans Prepared For:

109 WOODFIELD CLOSE SW, CALGARY, ALBERTA
LOT 09 / BLOCK 08 / PLAN 791-0309

Model:

TWO STORY INFILL DWELLING

Scale:

3/16" = 1'-0" (UNLESS NOTED OTHERWISE)

Date:

2026-06-09 1:33:29 PM

Drawn By:

C.C

-PAGE-

3

22

1186 Sq.Ft.

917 Sq. Ft.

2103 Sq.Ft.

MAIN

UPPER

TOTAL

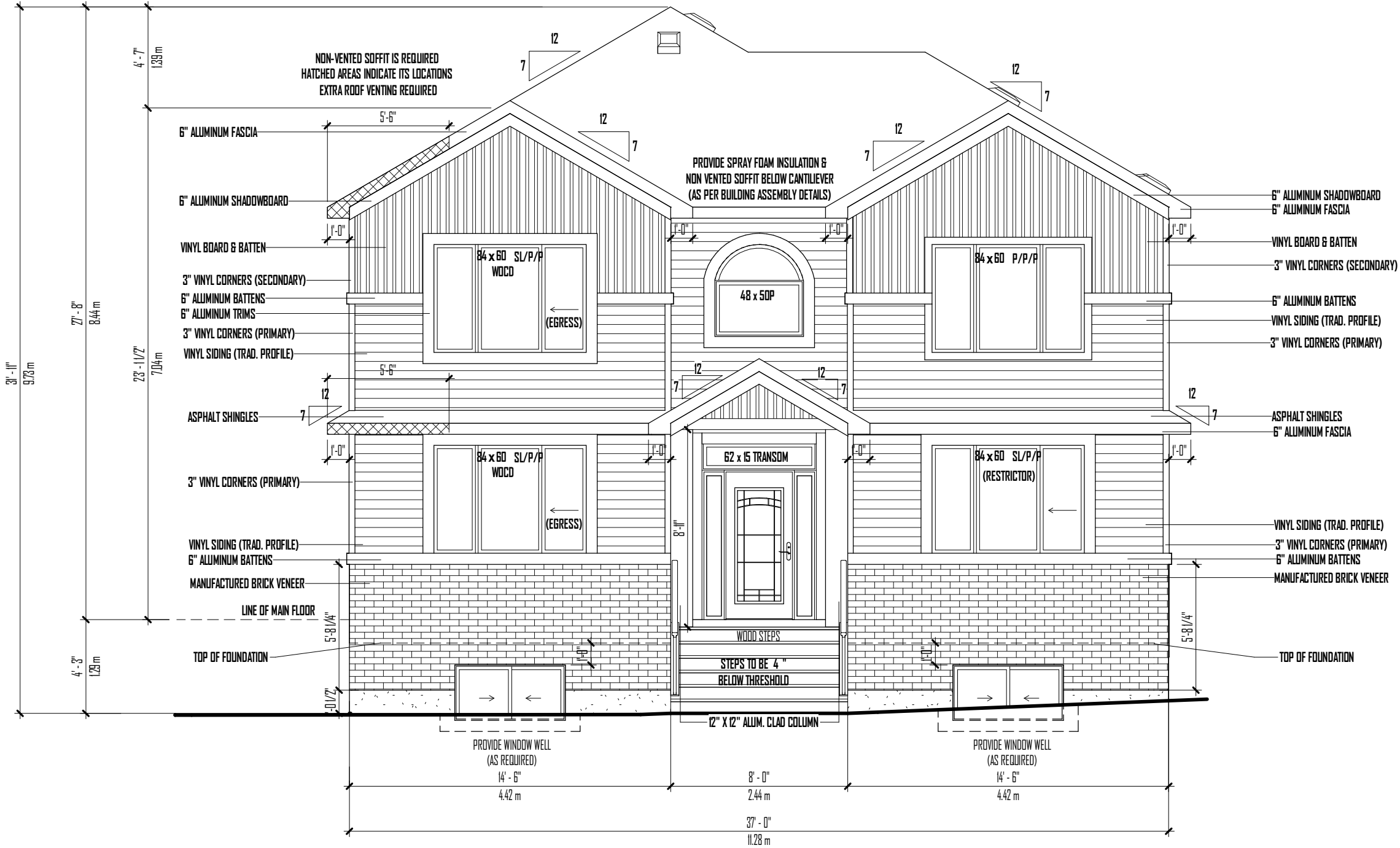
Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.

SCOHAL

DESIGN GROUP

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL MAIN FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL UPPER FLOOR WINDOWS TO BE FRAMED AT 6'-11 1/4" HEAD HEIGHT (UNLESS NOTED OTHERWISE)



FRONT ELEVATION

MODERN CRAFTSMAN ELEVATION

Address:	109 WOODFIELD CLOSE SW, CALGARY, ALBERTA LOT 09 / BLOCK 08 / PLAN 791-0309			
	Model:	TWO STORY INFILL DWELLING		
	Scale:	3/16" = 1'-0" (UNLESS NOTED OTHERWISE)		
	Date:	2026-06-09 1:33:30 PM		
Drawn By:	C.C			



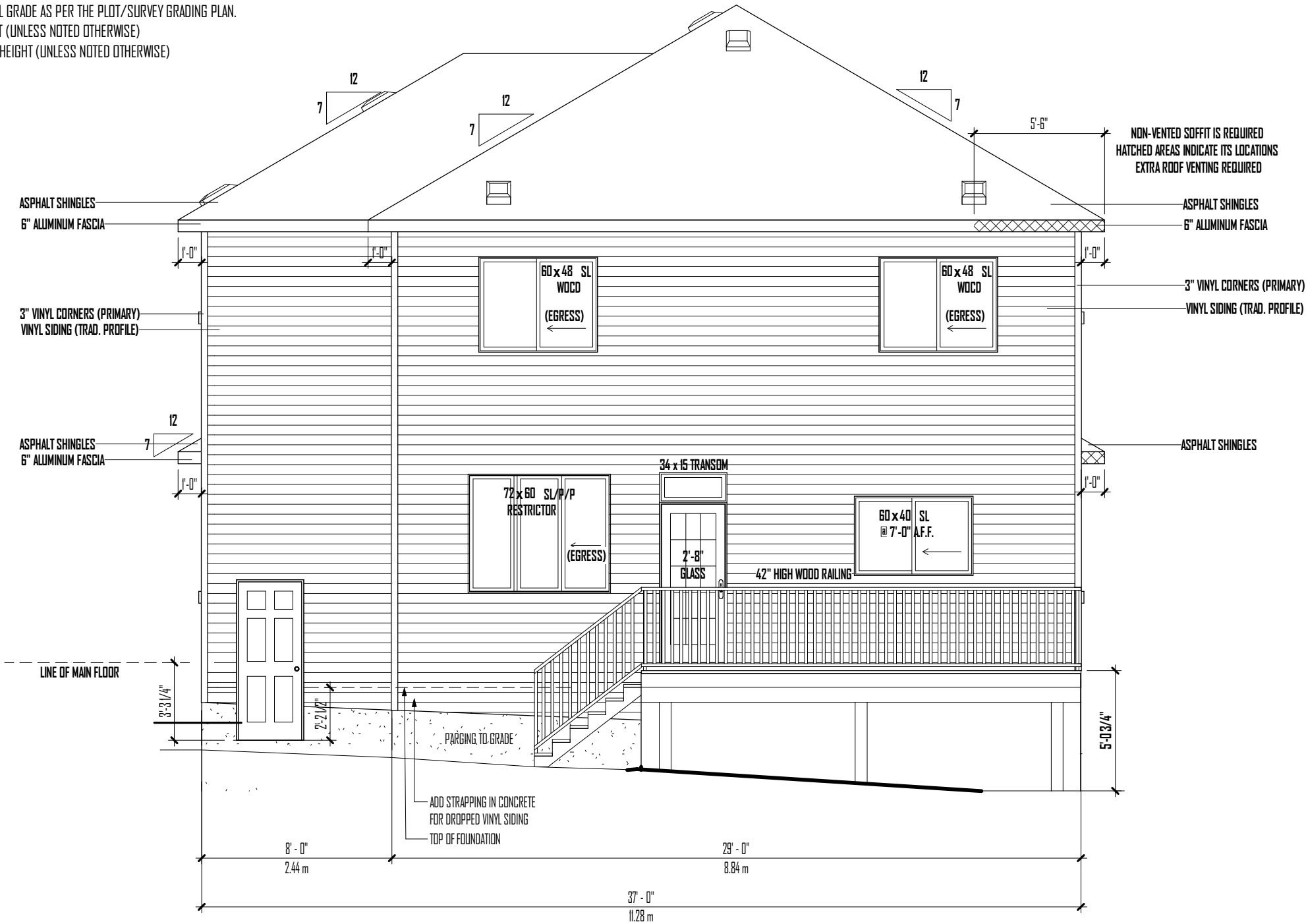
SCOHAL
DESIGN GROUP

Plans Prepared For:

			-PAGE-
MAIN	1186 Sq.Ft.	4	22
UPPER	917 Sq. Ft.		
TOTAL	2103 Sq.Ft.		
Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.			

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL MAIN FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL UPPER FLOOR WINDOWS TO BE FRAMED AT 6'-11 1/4" HEAD HEIGHT (UNLESS NOTED OTHERWISE)

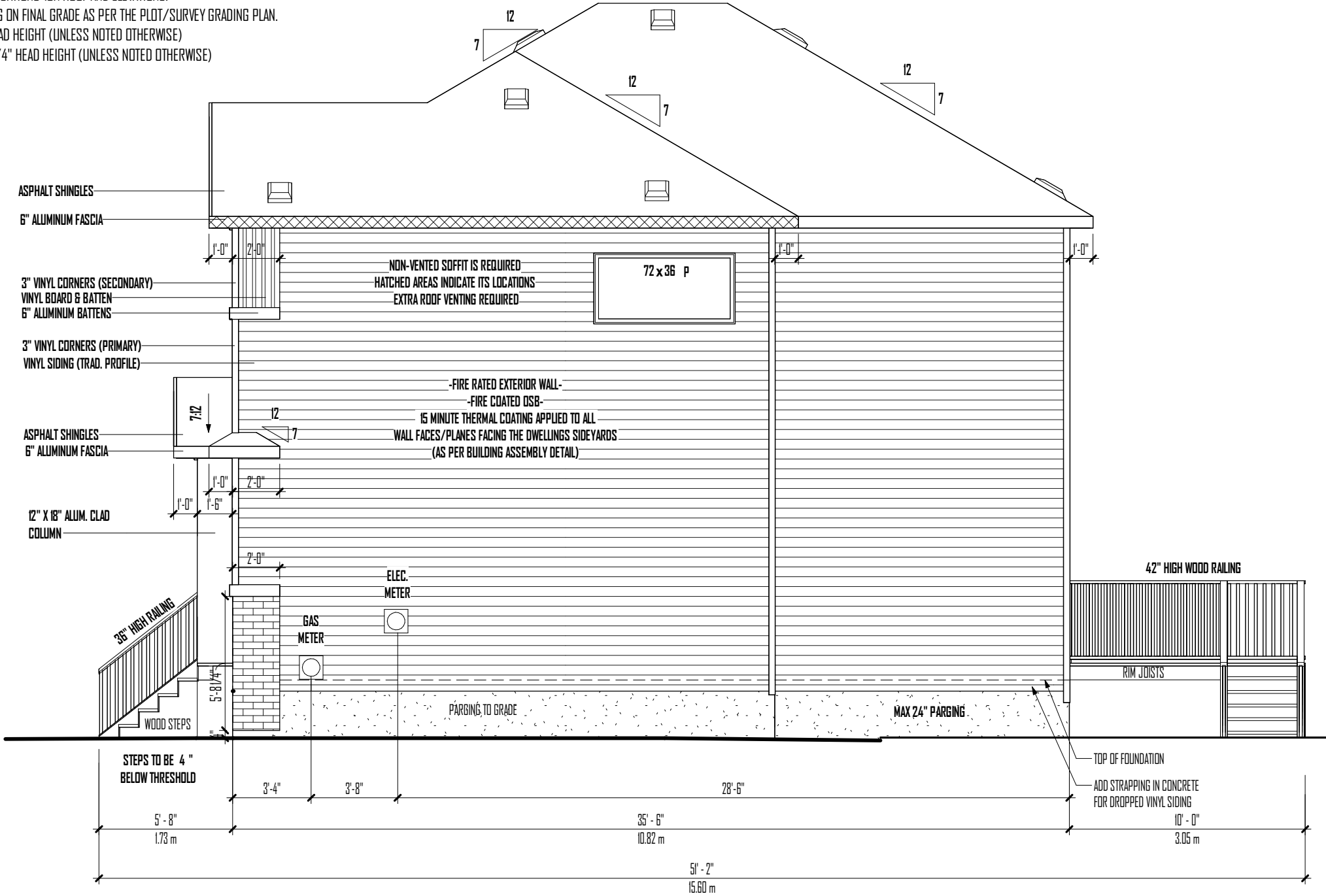


REAR ELEVATION

109 WOODFIELD CLOSE SW, CALGARY, ALBERTA LOT 09 / BLOCK 08 / PLAN 791-0309		 SCOHAL DESIGN GROUP			Plans Prepared For:			-PAGE-	
Address:		TWO STORY INFILL DWELLING		MAIN		1186 Sq.Ft.		5	
Model:				UPPER		917 Sq. Ft.			
Scale:		3/16" = 1'-0" (UNLESS NOTED OTHERWISE)		TOTAL		2103 Sq.Ft.			
Date:		2026-06-09 1:33:31 PM							
Drawn By:		C.C						22	
Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.									

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL MAIN FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL UPPER FLOOR WINDOWS TO BE FRAMED AT 6'-11 1/4" HEAD HEIGHT (UNLESS NOTED OTHERWISE)

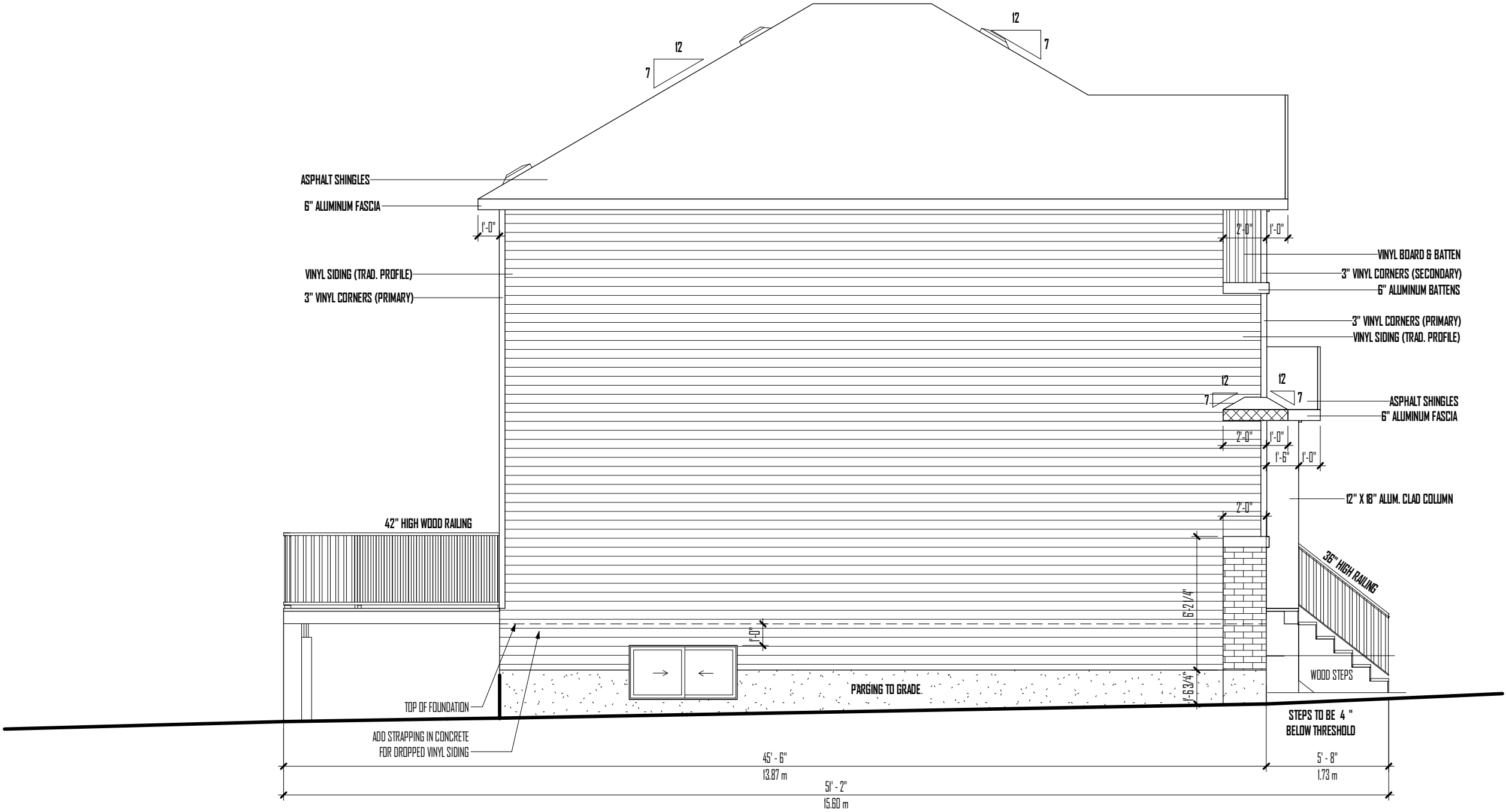


RIGHT ELEVATION

109 WOODFIELD CLOSE SW, CALGARY, ALBERTA LOT 09 / BLOCK 08 / PLAN 791-0309		 SCOHAL DESIGN GROUP		Plans Prepared For:		-PAGE-
Model:						
Scale:				MAIN 1186 Sq.Ft.		
Date:				UPPER 917 Sq. Ft.		
Drawn By:				TOTAL 2103 Sq.Ft.		
				Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.		

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL MAIN FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL UPPER FLOOR WINDOWS TO BE FRAMED AT 6'-11 1/4" HEAD HEIGHT (UNLESS NOTED OTHERWISE)



LEFT ELEVATION

109 WOODFIELD CLOSE SW, CALGARY, ALBERTA LOT 09 / BLOCK 08 / PLAN 791-0309		 SCOHAL DESIGN GROUP		Plans Prepared For:		-PAGE-	
Model: TWO STORY INFILL DWELLING							
Scale: 3/16" = 1'-0" (UNLESS NOTED OTHERWISE)				MAIN		1186 Sq.Ft.	
Date: 2026-06-09 1:33:31 PM				UPPER		917 Sq. Ft.	
Drawn By: C.C				TOTAL		2103 Sq.Ft.	
						Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.	
						7 / 22	