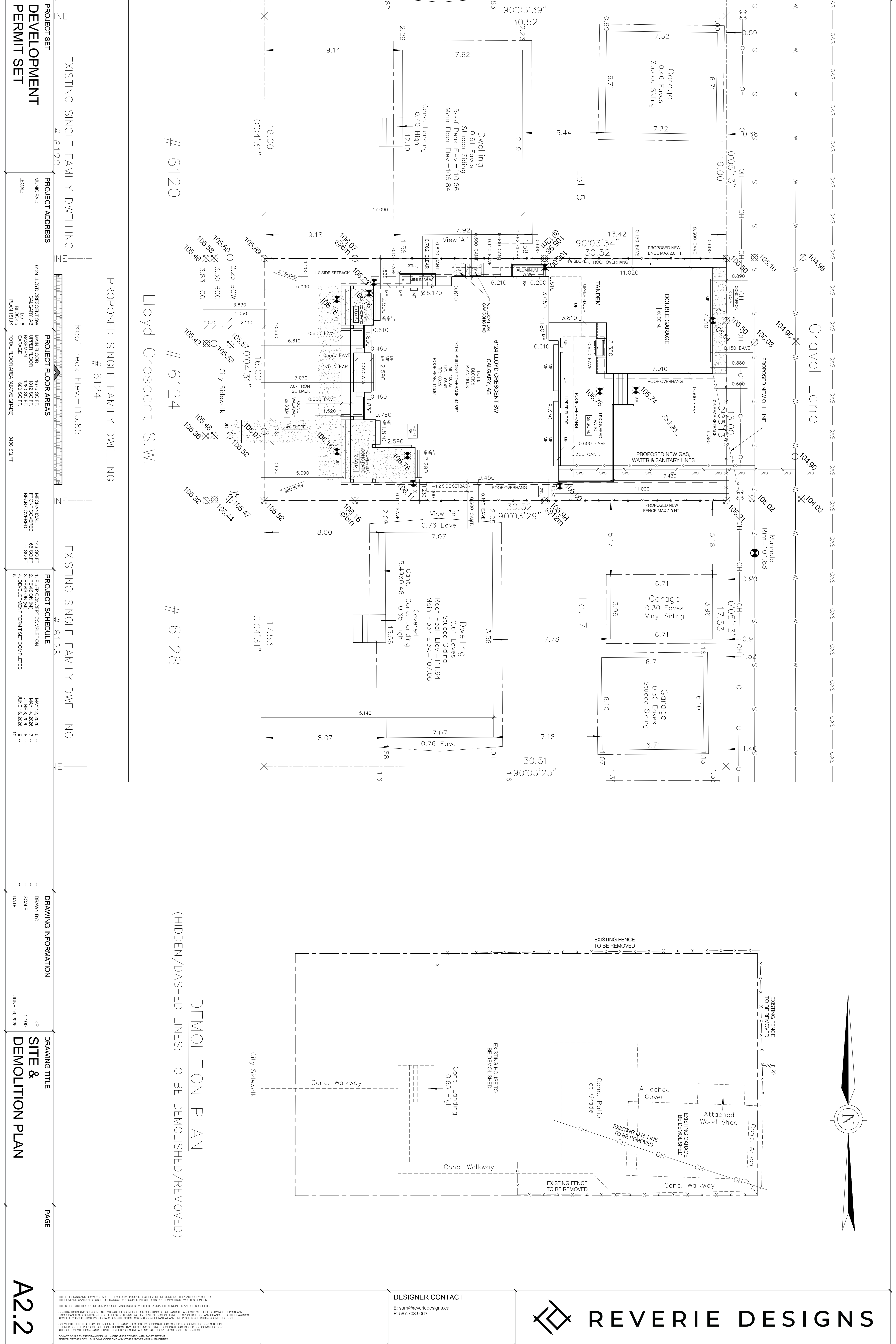




PROJECT SET

DEVELOPMENT PERMIT SET

PROJECT ADDRESS

6124 LLOYD CRESCENT SW
CALGARY, AB
LOT 6
PLAN 181UK

PROJECT FLOOR AREAS

MAIN FLOOR 4578 SQ. FT.
UPPER FLOOR 1812 SQ. FT.
BASEMENT 1280 SQ. FT.
GARAGE 690 SQ. FT.
TOTAL FLOOR AREA (ABOVE GRADE) 3488 SQ. FT.

PROJECT SCHEDULE

1. B.P.P. CONCEPT COMPLETION
2. REVISION (M)
3. REVISION (M)
4. DEVELOPMENT PERMIT SET COMPLETED
5. ...
6. ...
7. ...
8. ...
9. ...
10. ...

DRAWING INFORMATION

DRAWN BY: KR
SCALE: 1:100
DATE: JUNE 16, 2026

DRAWING TITLE

SITE & DEMOLITION PLAN

PAGE

A2.2

ROOF PEAK
115.85

9'-1"

T/O UPPER FLOOR WALL FRAMING
113.07

9'-1"

T/O UPPER FLOOR SUBFLOOR
110.30
T/O MAIN FLOOR WALL FRAMING
109.93

1'-2 3/4"

10'-1"

T/O MAIN FLOOR SUBFLOOR
106.86
U/S MAIN FLOOR SUBFLOOR
106.49

1'-2 3/4"

9'-0"

T/O BASEMENT SLAB
103.75
T/O FOOTING
103.59

6"

ROOF PEAK
115.85

9'-1"

T/O UPPER FLOOR WALL FRAMING
113.07

9'-1"

T/O UPPER FLOOR SUBFLOOR
110.30
T/O MAIN FLOOR WALL FRAMING
109.93

1'-2 3/4"

10'-1"

T/O MAIN FLOOR SUBFLOOR
106.86
U/S MAIN FLOOR SUBFLOOR
106.49

1'-2 3/4"

9'-0"

T/O BASEMENT SLAB
103.75
T/O FOOTING
103.59

6"

SOUTH ELEVATION LIMITING DISTANCE
WALL AREA: 1378.82 SQ.FT. 128.10 SQ.M.
WINDOW AREA: 12.57 SQ.FT. 1.17 SQ.M.
GLASS COVERAGE: 0.91%
(CALCULATED AT 1.2M)
ALLOWED AT 1.2M: 7%

PROJECT SET
DEVELOPMENT
PERMIT SET

PROJECT ADDRESS

MUNICIPAL: 6124 LLOYD CRESCENT SW
CALGARY, AB

LEGAL: LOT 6
BLOCK 5
PLAN 181JK

PROJECT FLOOR AREAS

MAIN FLOOR	1676 SQ.FT.
UPPER FLOOR	1812 SQ.FT.
BASEMENT	1280 SQ.FT.
GARAGE	680 SQ.FT.
TOTAL FLOOR AREA (ABOVE GRADE)	3488 SQ.FT.

MECHANICAL
FRONT COVERED
REAR COVERED

143 SQ.FT.
168 SQ.FT.
-- SQ.FT.

PROJECT SCHEDULE

1. P.U.P.F CONCEPT COMPLETION	MAY 12, 2026	6. --
2. REVISION (M)	MAY 14, 2026	7. --
3. REVISION (M)	JUNE 3, 2026	8. --
4. DEVELOPMENT PERMIT SET COMPLETED	JUNE 16, 2026	9. --
5. --	--	10. --

DRAWING INFORMATION

DRAWN BY:	KR
SCALE:	1/4" = 1'-0"
DATE:	JUNE 16, 2026

DRAWING TITLE

WEST & SOUTH
ELEVATIONS

PAGE

A3.1



WEST ELEVATION

LEGEND	
	ACRYLIC STUCCO (LIGHT)
	SMART BOARD
	BATTEN (LIGHT)
	ASPHALT SHINGLES
	STONE VENEER (LIGHT)
	PARGING
	ALUMINUM/METAL FINISH (DARK)
	COMPOSITE "TIMBER" CLAD
	STANDING SEAM METAL
	VERTICAL SIDING

ROOF PEAK
115.85

9'-1"

T/O UPPER FLOOR WALL FRAMING
113.07

9'-1"

T/O UPPER FLOOR SUBFLOOR
110.30
T/O MAIN FLOOR WALL FRAMING
109.93

1'-2 3/4"

10'-1"

T/O MAIN FLOOR SUBFLOOR
106.86
U/S MAIN FLOOR SUBFLOOR
106.49

1'-2 3/4"

9'-0"

T/O BASEMENT SLAB
103.75
T/O FOOTING
103.59

6"

ROOF PEAK
115.85

9'-1"

T/O UPPER FLOOR WALL FRAMING
113.07

9'-1"

T/O UPPER FLOOR SUBFLOOR
110.30
T/O MAIN FLOOR WALL FRAMING
109.93

1'-2 3/4"

10'-1"

T/O MAIN FLOOR SUBFLOOR
106.86
U/S MAIN FLOOR SUBFLOOR
106.49

1'-2 3/4"

9'-0"

T/O BASEMENT SLAB
103.75
T/O FOOTING
103.59

6"

T/O WALL RAISED FOR ENG HEADER

SOUTH ELEVATION

DESIGNER CONTACT

E: sarah@reverie.designs.ca
P: 507.705.8062

THESE DRAWINGS AND DRAWINGS ARE THE EXCLUSIVE PROPERTY OF REVERIE DESIGNS INC. THEY ARE COPYRIGHTED BY REVERIE DESIGNS INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF REVERIE DESIGNS INC. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS IS PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF REVERIE DESIGNS INC. IS A VIOLATION OF THE COPYRIGHT ACT AND MAY BE SUBJECT TO PROSECUTION. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF REVERIE DESIGNS INC. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF REVERIE DESIGNS INC. IS A VIOLATION OF THE COPYRIGHT ACT AND MAY BE SUBJECT TO PROSECUTION. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF REVERIE DESIGNS INC. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF REVERIE DESIGNS INC. IS A VIOLATION OF THE COPYRIGHT ACT AND MAY BE SUBJECT TO PROSECUTION.



PROJECT SET		PROJECT ADDRESS		PROJECT FLOOR AREAS		PROJECT SCHEDULE		DRAWING INFORMATION		DRAWING TITLE		PAGE	
DEVELOPMENT PERMIT SET		MUNICIPAL: 6124 LLOYD CRESCENT SW CALGARY, AB		MAIN FLOOR 1676 SQ.FT. UPPER FLOOR 1812 SQ.FT. BASEMENT 1280 SQ.FT. GARAGE 680 SQ.FT. TOTAL FLOOR AREA (ABOVE GRADE) 3488 SQ.FT.		1. P/L/P CONCEPT COMPLETION 2. REVISION (M1) 3. REVISION (M1) 4. DEVELOPMENT PERMIT SET COMPLETED 5. --		DRAWN BY: KR SCALE: 1/4" = 1'-0" DATE: JUNE 16, 2026		EAST & NORTH ELEVATIONS		A3.2	