

Livingston South

for Rohit Developments

Development Permit

DP2026-03507



LAND USE BYLAW ANALYSIS 1P2007 / DC 238d2019

Keystone Hills ASP

TOTAL SITE AREA

- 9071.82 m² = 2.24 Acre = 0.91 ha
- [78 Units]
- NOTE: This site falls within 600m of a future LRT station

AREA STRUCTURE PLAN

- **Secondary active frontages [North & East sides]**
 - Locate buildings and building entrances close to the street.
 - Buildings may be set back from the street if utilized for outdoor cafes, pedestrian plazas or other areas that can be occupied by pedestrians
 - Provide public entrances for uses along a public street
- **Provide for individual entrances oriented towards the street for ground floor residential dwellings.**
- **Flex Zone:**
 - Residential development to be limited to low tomedium-density multi-residential developments and includes **townhouses, apartments,** and **live/work** units.
- Special Study Area
- **Urban Main Street**

LAND USE DESIGNATION

- **DC-238d2019 (MU-1)**
 - Lots to North: DC-238d2019 (MU-1)
 - Lots to South: DC-238d2019 (MU-1)
 - Lots to East: DC-238d2019 (MU-1)
 - Lots to West: R-G

PART 14: MU-1 DISTRICT

- DIV. 1: General Rules for Mixed-Use Land Use Districts
- DIV. 2: **Mixed-Use - General**

1333 PURPOSE

- 4-6 storey typically; 10-storey max
- Street-oriented design
- Defined street wall; typ. 2-6 storeys & proportional to width of street
- **building facades with multiple uses**
- at-grade entries facing commercial street
- significant glazing at grade
- residential compatible with street-oriented commercial uses
- transition to adjacent lower scale residential via loc., mass., landscaping

1366 PERMITTED USES

- **1a - Accessory Residential Building**
 - may have an amenity space (deck or patio)
 - must not be located between any building and a public street
 - max gross floor area is 75m² for storage and/or waste facilities, 100m² for private garage.
 - max height is 5.0m

1367 DISCRETIONARY USES

- **3j - Dwelling Unit**
 - Relevant point
- **3o - Live Work Unit**

DC-5 DISCRETIONARY USES

- a. Cinema;
- b. Conference and Event Facility;
- c. Dinner Theatre;
- d. Drinking Establishment – Medium;
- e. Drinking Establishment – Large;
- f. Museum;
- g. Performing Arts Centre;
- h. Place of Worship – Large;
- i. Restaurant: Food Service Only – Large; and
- j. Restaurant: Licensed – Large.

DC-14 FLOOR AREA RATIO

- Maximum FAR is 3.0

1374 / DC-12 SETBACK AREAS

- North setback is **0.00m**
- East setback is **0.00m**
- South setback is **0.00m**
- West setback is **0.00m**
- **Dwellings setback 2.5m from PLs**

DC-15 BUILDING HEIGHT

- Maximum Building Height is **16m**

1335 BUILDING SEPARATION

- broad side of balcony setback from shared PL by 4.0m [no shared PLs]

1336 WINDOW SEPARATION

- each unit requires 1 window or door with glazed area **≥1m²** with perp. outdoor view depth of **6.0m**

1337 GROUND FLOOR HEIGHT

- min. ground floor height is 4.0m (floor to ceiling) if anything other than residential units

1339 BUILDING ORIENTATION

- units & individual uses at grade with ext. wall facing a street must have:
 - individual separated direct access to grade,
 - entrance visible from the street, and
 - sidewalks that provide direct ext. access

1340 FACADES FACING A STREET

- length of facade facing commercial street min 80% of PL length
- Lobbies or entrances for upper floor uses must not occupy >20% of at grade facade facing a street

1342 COMMERCIAL FACING A STREET

- min 65% glazing between 0.6m & 2.4m
- unobscured for views of indoor space
- (does not apply to dwelling units)

1341 DWELLINGS FACING A STREET

- must be set back **2.5m** from PL
- **0.6m** min. height of main floor within **3.0m** of PL

1349 RESIDENTIAL AMENITY SPACE

- May be provided as common or private, or a combination of both
 - minimum of 50% must be provided outdoors
- Minimum area is **5.0m²/unit**
- **Private amenity space:**
 - must be in the form of a balcony, deck or patio; dimensions **≥ 2.0m**
- **Common amenity space:**
 - may be indoors and/or outdoors
 - must be accessible from all units
 - contiguous area of ≥50m²
 - dimensions **≥6.0m**
 - must provide a balcony, deck or patio
 - must provide a barbeque or seating

1344-8 LANDSCAPING

- A public sidewalk must be located along the entire length of each property line shared with a street (**North, West, & South sides**)
- every entrance must have sidewalk connected to public sidewalk
- every building must have ≥1 sidewalk connecting parking areas to the public entrance(s)
- Sidewalks must be hard-surfaced, different from parking areas.
 - ≥0.9m wide for individual unit,
 - ≥1.5m for shared residential entrance or more than 1 unit,
 - ≥2.0m for all other cases.
- Number of trees/shrubs/etc. ...
 - Deciduous trees calliper ≥50mm; ≥50% must be ≥75mm
 - Coniferous trees height ≥2.0m; ≥50% must be ≥3.0m
 - Shrubs ≥0.6m height or spread
 - soil depths ≥1.2m for trees, ≥0.6m for shrubs, ≥0.3m for others

1350-4 PARKING STALLS

- 0.75 resident stalls per Dwelling Unit
- **[59 total]**
- 0.10 visitor stalls per Dwelling Unit
- **[8 total]**
- 0.50 resident stalls per Live-Work Unit **[0]**
- 0.50 visitor stalls per Live-Work Unit **[0]**
- may be reduced by 25% if:
 - within 600m of funded LRT platform,
 - within 400m of funded BRT station,
 - within 200m of primary transit service
- motor vehicle stalls may be reduced by 0.25 for each class-1 bicycle stall provided in excess of requirements, up to a max reduction of 25%
- motor vehicle & loading stalls must not be located between a building and a street

- 0.5 class-1 bicycle stalls/unit
- **[39 total]**
- (0 required if ≤20 units)
- 0.1 class-2 bicycle stalls per dwelling or live-work unit (only 2 total if ≤20 units)
- **[8 total]**
- 5% of the required motor vehicle stalls for other uses for class-2 bicycle stalls **[0]**

LIVINGSTON SOUTH

NORTH AREA: 9071.82 m² = 2.24 Acre = 0.91 ha

UNIT TYPE: Stacked Townhouses

DENSITY: 34.8 UPA = 85.7 Units/ha

PARKING REQUIREMENTS: 0.75 Resident Stalls/Unit

0.10 Visitor Stalls/Unit

TOTAL: 67 Stalls (59 Resident, 8 Visitor)

SHOWN: 98 Stalls (78 Garage + 13 Surface, 7 Visitor)

UNITS

COUNT: 78 Units (26 Main + 52 Upper)

CONFIG: Essential 1.5 = 39 Units = 50%

Essential 2.0 = 39 Units = 50%

DP Drawing List

DP0	Cover Sheet
DP1.1	Site Plan
DP1.2	Site Phasing Plan
DP1.3	Site Details
DP1.4	Site Details
DP2.1	First Floor E1.5 (12U)
DP2.2	Second Floor E1.5 (12U)
DP2.3	Third Floor E1.5 (12U)
DP2.4	Elevations E1.5 (12U)
DP2.5	Elevations E1.5 (12U)
DP3.1	First Floor E1.5 (9U)
DP3.2	Second Floor E1.5 (9U)
DP3.3	Third Floor E1.5 (9U)
DP3.4	Elevations E1.5 (9U)
DP3.5	Elevations E1.5 (9U)
DP4.1	First Floor E2.0 (12U)
DP4.2	Second Floor E2.0 (12U)
DP4.3	Third Floor E2.0 (12U)
DP4.4	Elevations E2.0 (12U)
DP4.5	Elevations E2.0 (12U)
DP5.1	First Floor E2.0 (9U)
DP5.2	Second Floor E2.0 (9U)
DP5.3	Third Floor E2.0 (9U)
DP5.4	Elevations E2.0 (9U)
DP5.5	Elevations E2.0 (9U)



GRAVITY ARCHITECTURE

CONTACT

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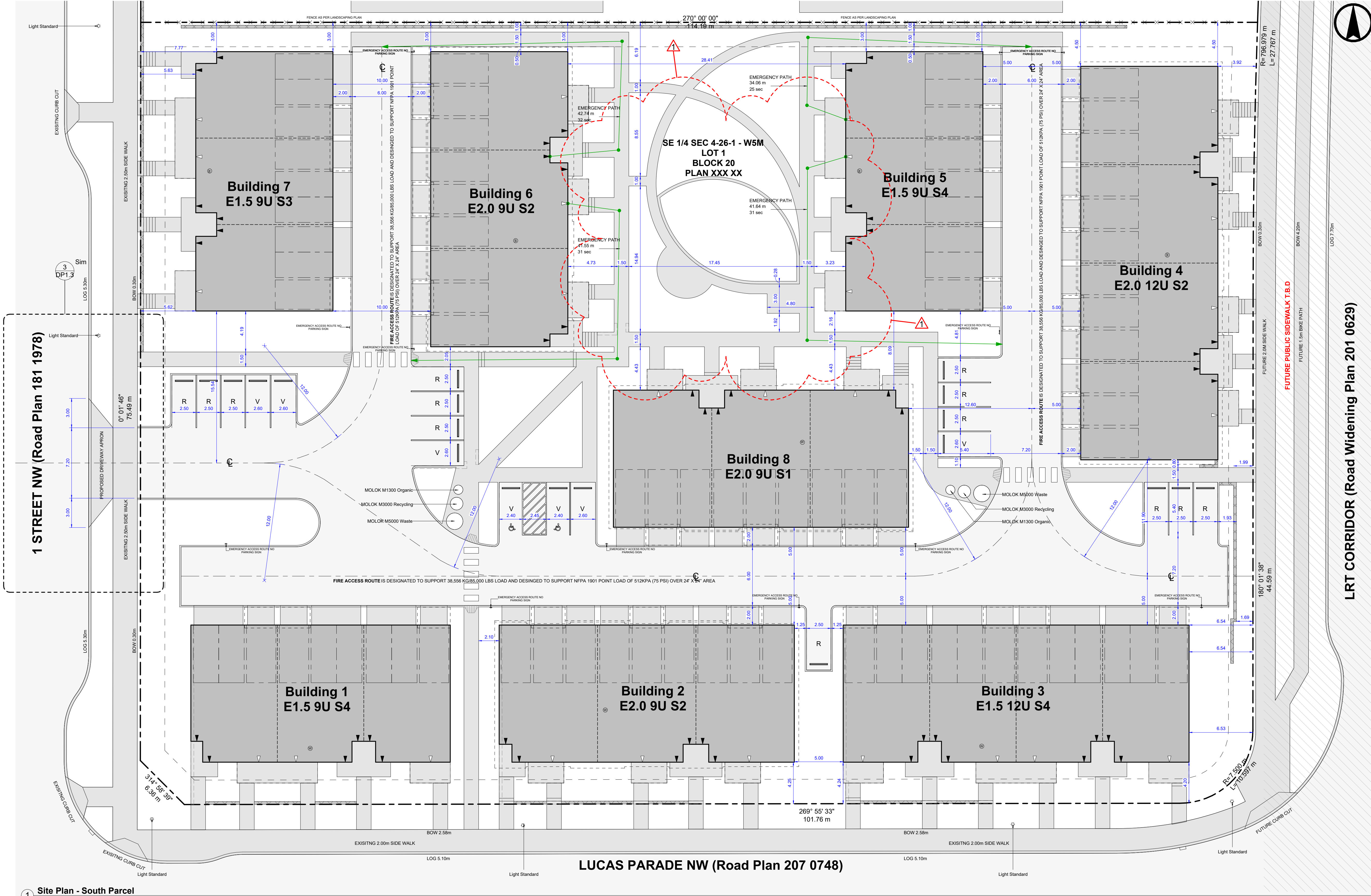
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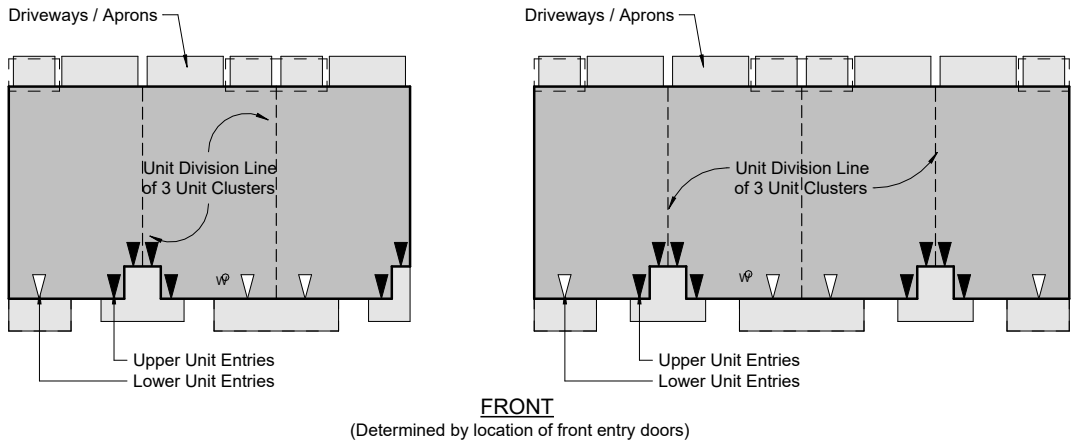
1 Site Plan - South Parcel
1 : 200

BUILDING & UNIT TYPE LEGEND

(Explanation for Building Type and Unit Type Naming Schemes)

Building Type
Unit Count
Exterior Colour Scheme (ID 1, 2, 3)

BUILDING TYPE E1.5 9U S3 BUILDING TYPE E1.5 12U S1



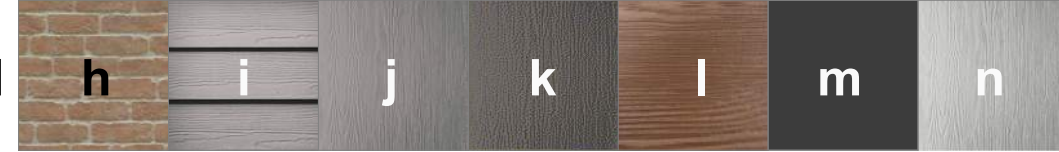
Building Information						
Identity	Building Identification	Colour Scheme	Main Elevation	Floor Area	Total F.A.R.	
Name	Type	Description	Units			
Building 1	E1.5 Stacked Townhouse	9 S4	1128.64	914 m ²	0.101	
Building 2	E2.0 Stacked Townhouse	9 S2	1127.86	1036 m ²	0.114	
Building 3	E1.5 Stacked Townhouse	12 S4	1127.53	1217 m ²	0.134	
Building 4	E2.0 Stacked Townhouse	12 S2	1128.85	1392 m ²	0.153	
Building 5	E1.5 Stacked Townhouse	9 S4	1126.89	914 m ²	0.101	
Building 6	E2.0 Stacked Townhouse	9 S2	1128.93	1036 m ²	0.114	
Building 7	E1.5 Stacked Townhouse	9 S3	1128.08	914 m ²	0.101	
Building 8	E2.0 Stacked Townhouse	9 S1	1127.76	1036 m ²	0.114	
Site Area = 9071.61 m ²				Totals: 8	6457 m ²	0.932

Waste & Recycling Schedule			
Description	Volume	Count	Total Volume
MOLOK M5000 Waste	5.0 m ³	2	20.0 m ³
MOLOK M3000 Recycling	3.1 m ³	2	12.4 m ³
MOLOK M1300 Organic	1.3 m ³	2	5.2 m ³
Total		6	37.6 m ³

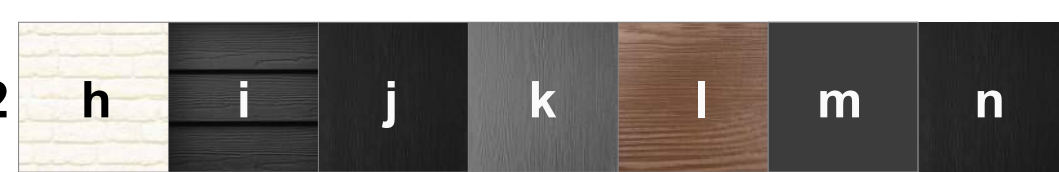
Parking Stalls - South Parcel			
Type	W	L	Qty.
Residential			
Garage Stall	See Plans	5.90 m	70
Residence Surface Stall		2.50 m	13
Visitor Accessible Surface Stall		2.40 m	2
Visitor Surface Stall		2.60 m	5
			98
Class 1 Bicycle Parking (To be provided within private garages)			39

Parcel Coverage Area		
Name	Imperial	Metric
Building 1	3919 ft ²	364.06 m ²
Building 2	4477 ft ²	415.90 m ²
Building 3	5225 ft ²	485.43 m ²
Building 4	9969 ft ²	924.04 m ²
Building 5	3919 ft ²	364.06 m ²
Building 6	4477 ft ²	415.90 m ²
Building 7	3919 ft ²	364.06 m ²
Building 8	4477 ft ²	415.90 m ²
Footprint	36361 ft ²	3379.91 m ²
Site		
Lot 1 Block 20	97646 ft ²	9071.61 m ²
Total Parcel	97646 ft ²	9071.61 m ²

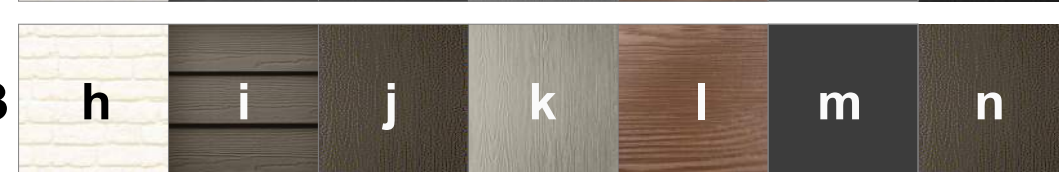
SCHEME 1



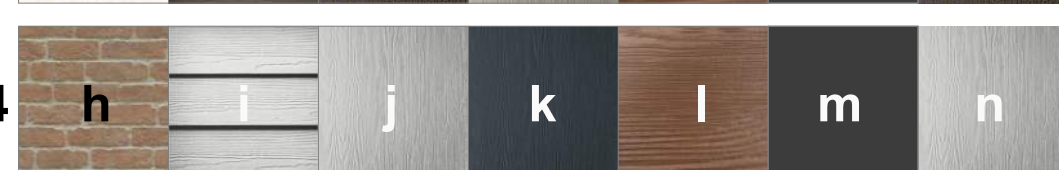
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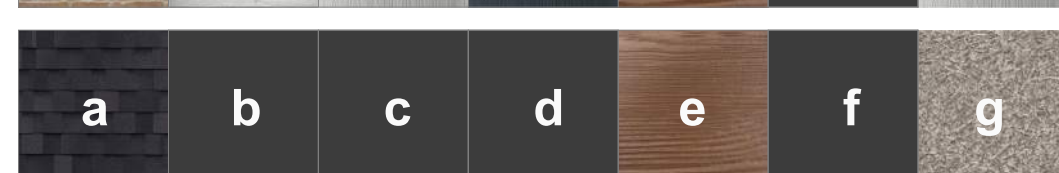
SCHEME 3



SCHEME 4



COMMON



Survey Information

MUNICIPAL ADDRESS:
SE 1/4 Sec. 4-26-1 - W5M

LEGAL ADDRESS:
SE 1/4 Sec. 4-26-1 - W5M

LAND USE DESIGNATION: Direct Control,
DC-238d2019 (MU-1)

COMMUNITY: Livingston
INFILL: No

Ward: 3
Councillor: Jasmine Mian

Survey completed by:

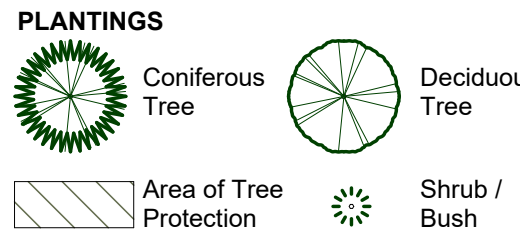
TRONNES GEOMATICS INC.
6135 10 ST SE
Calgary, Alberta. T2H 2Z9
Phone: (403) 207 0303

Dated: 2022 12 14

Note: Unless otherwise specified, the
dimensions shown relate to distances from
property boundary to foundation walls only at
the date of the survey.

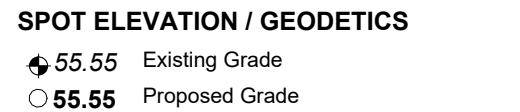
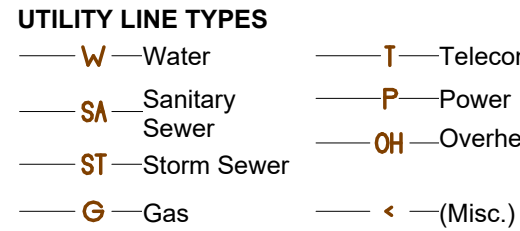
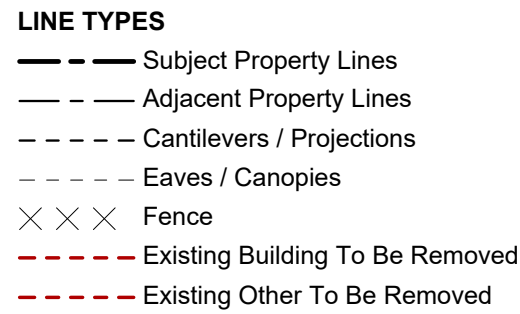
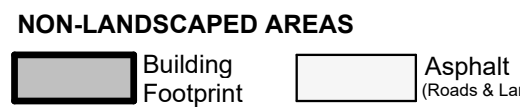
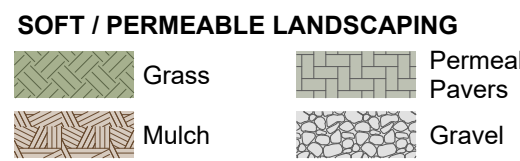
Positions of spot elevations are approximate.
Distances are in metres and decimals thereof.

Site & Landscaping Legend



All trees and shrubs will be of a species capable of
healthy growth in Calgary and will conform to the
standards of the Canadian Nursery Landscape
Association.

New matured trees to be planted after
construction as required by Land Use Bylaw



Material Colour Schemes			
#	Type	Description	Manufacturer
Common			
a	Asphalt Shingles	Dual Black	IKO
b	Soffit / Fascia / Gutter	Black	Mitten
c	Trim / Shadowboard	Black	Mitten
d	Wood Posts / Trellis	Winchester Brown	Woodstone
e	Railing - Aluminum	Black	Weatherdek
f	Balcony	Shale	TBD
g	Meat Siam	Black	TBD

Scheme 1			
h	Brick Veneer	Hartford	Tundra Brick
i	Lap Siding - Horizontal	Pearl Gray	James Handle
j	Panel - Accent	Pearl Gray	James Handle
k	Panel - Accent	Agate Pewter	James Handle
l	Front Doors	Fiberglass w/ Wood Texture (To Match TBD	
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Pearl Gray	Cloverdale Paint

Scheme 2			
h	Brick Veneer	Chalk Dust	Tundra Brick
i	Lap Siding - Horizontal	Iron Gray	James Handle
j	Panel	Iron Gray	James Handle
k	Panel - Accent	Gray Slate	James Handle
l	Front Doors	Fiberglass w/ Wood Texture (To Match TBD	
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Iron Gray	Cloverdale Paint

Scheme 3			
h	Brick Veneer	Chalk Dust	Tundra Brick
i	Lap Siding - Horizontal	Timber Bark	James Handle
j	Panel	Timber Bark	James Handle
k	Panel - Accent	Cobble Stone	James Handle
l	Front Doors	Fiberglass w/ Wood Texture (To Match TBD	
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Timber Bark	Cloverdale Paint

Scheme 4			
h	Brick Veneer	Hartford	Tundra Brick
i	Lap Siding - Horizontal	Arctic White	James Handle
j	Panel	Arctic White	James Handle
k	Panel - Accent	Evening Blue	James Handle
l	Front Doors	Fiberglass w/ Wood Texture (To Match TBD	
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Arctic White	Cloverdale Paint

REVISIONS		
#	DATE	DESCRIPTION
2023 07 05	Issued for DP	
2023 10 11	Issued for DTR1	
2024 03 21	Issued for PTR DP2023-04533	
1	2025 06 15	Issued for Revised DP2025-03507
2025 08 18	Issued for Revised DP2025-03507 - DR1	

DEVELOPMENT
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DECISION
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GRAVITY ARCHITECTURE

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PERMIT NUMBERS
DP2026-03507

PROJECT STATUS

Development Permit

PROJECT

Livingston South

14658 1 ST NW
Lot 1, Block 20, Plan XXX XX

TITLE
Site Plan

PROJECT NUMBER

22-048

SCALE

As indicated

DESIGNER

TJAJ CF

DP DRAFTSPERSON

CF

BP DRAFTSPERSON

Not Issued

DRAWING NUMBER

22-048

CHECKED

CF

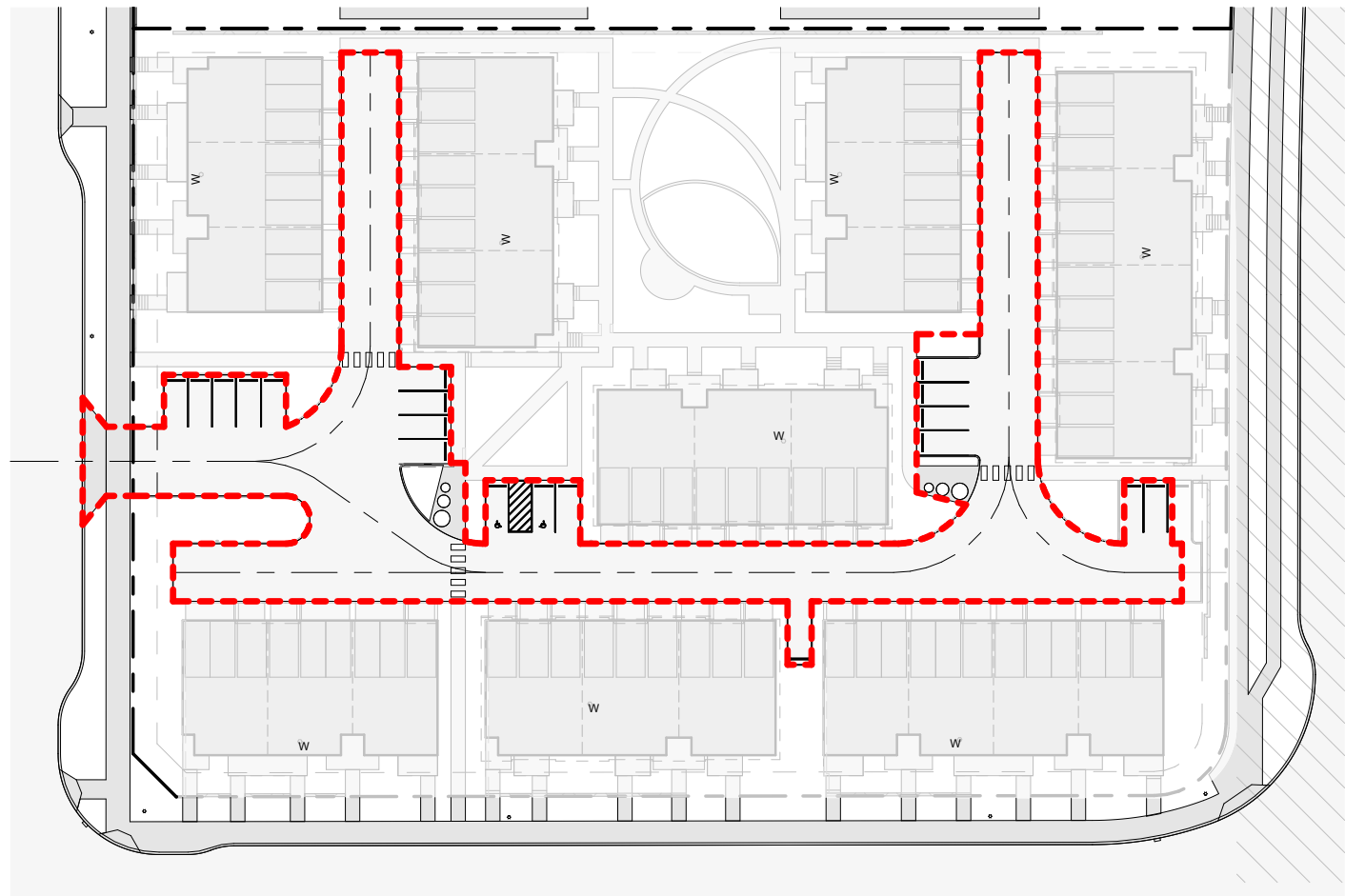
VERSION ISSUE DATE

2026 08 18

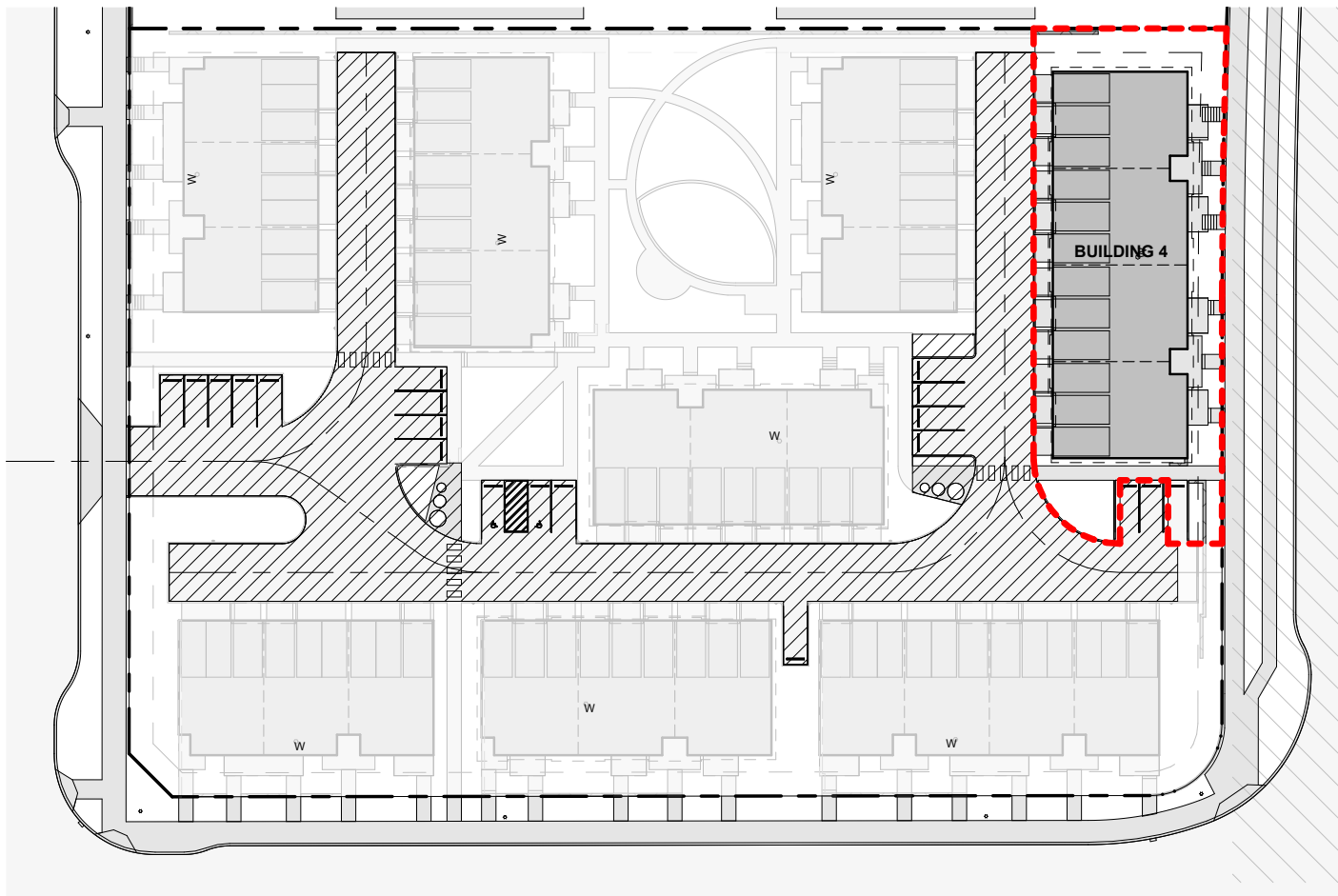
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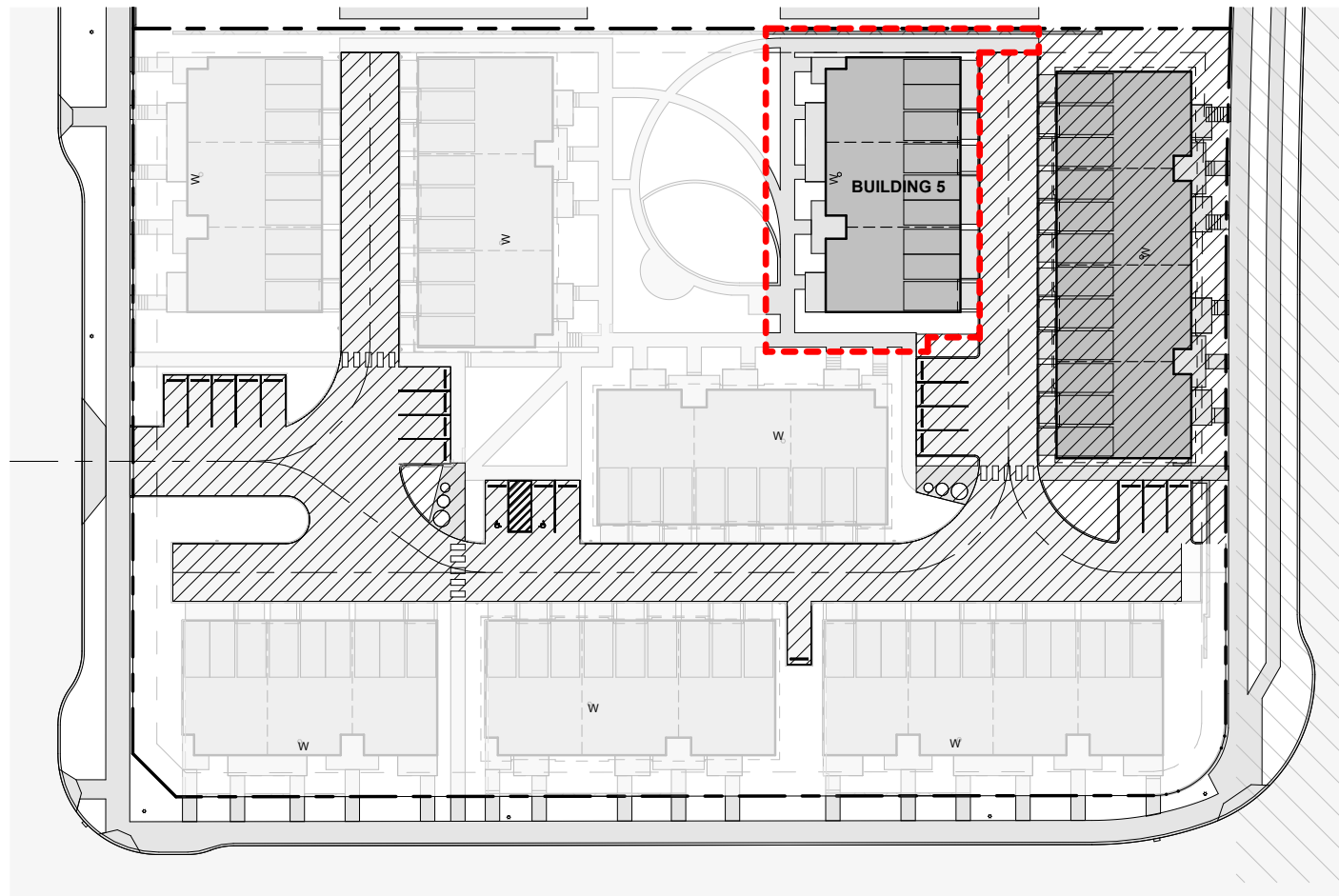
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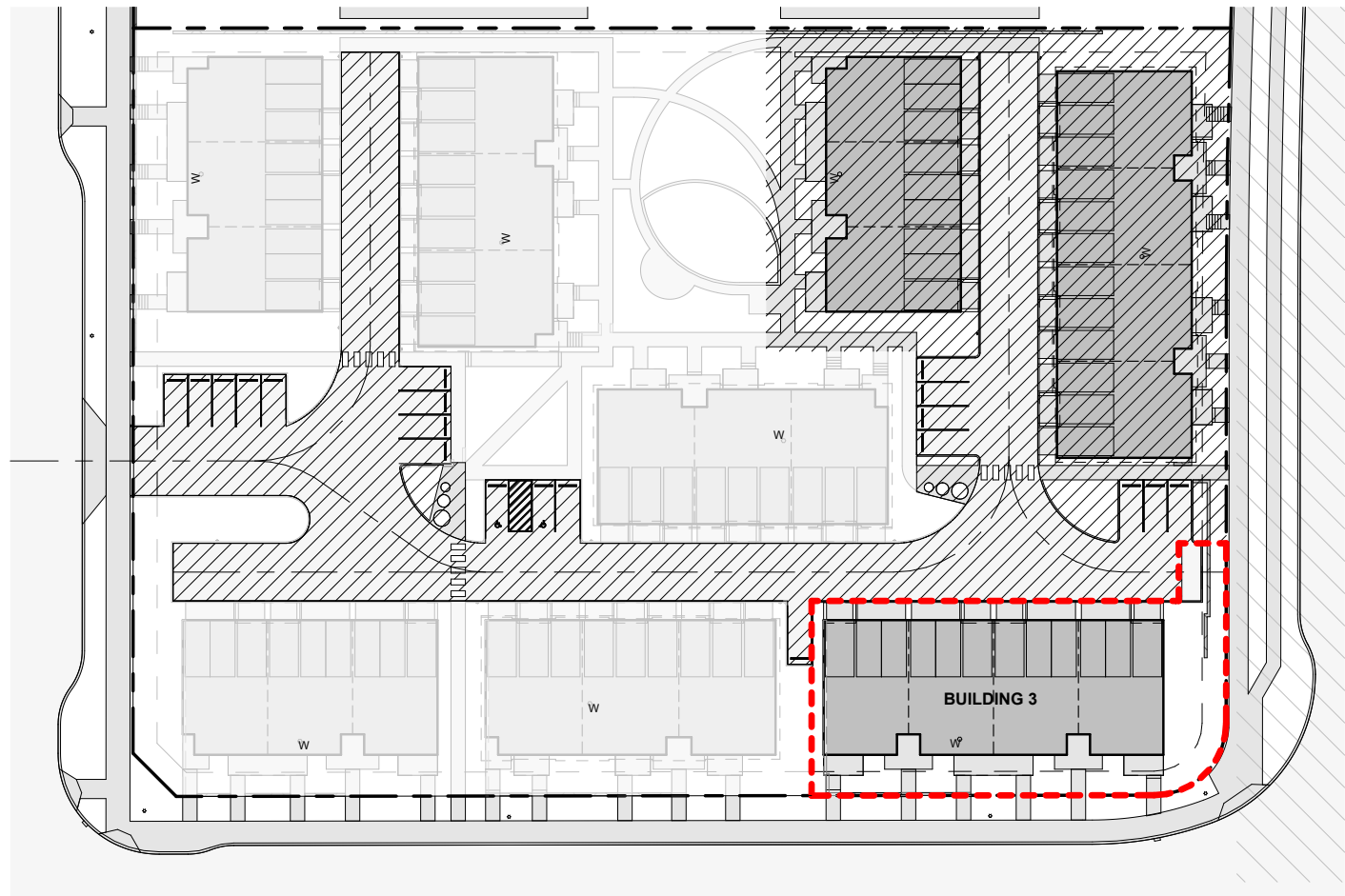
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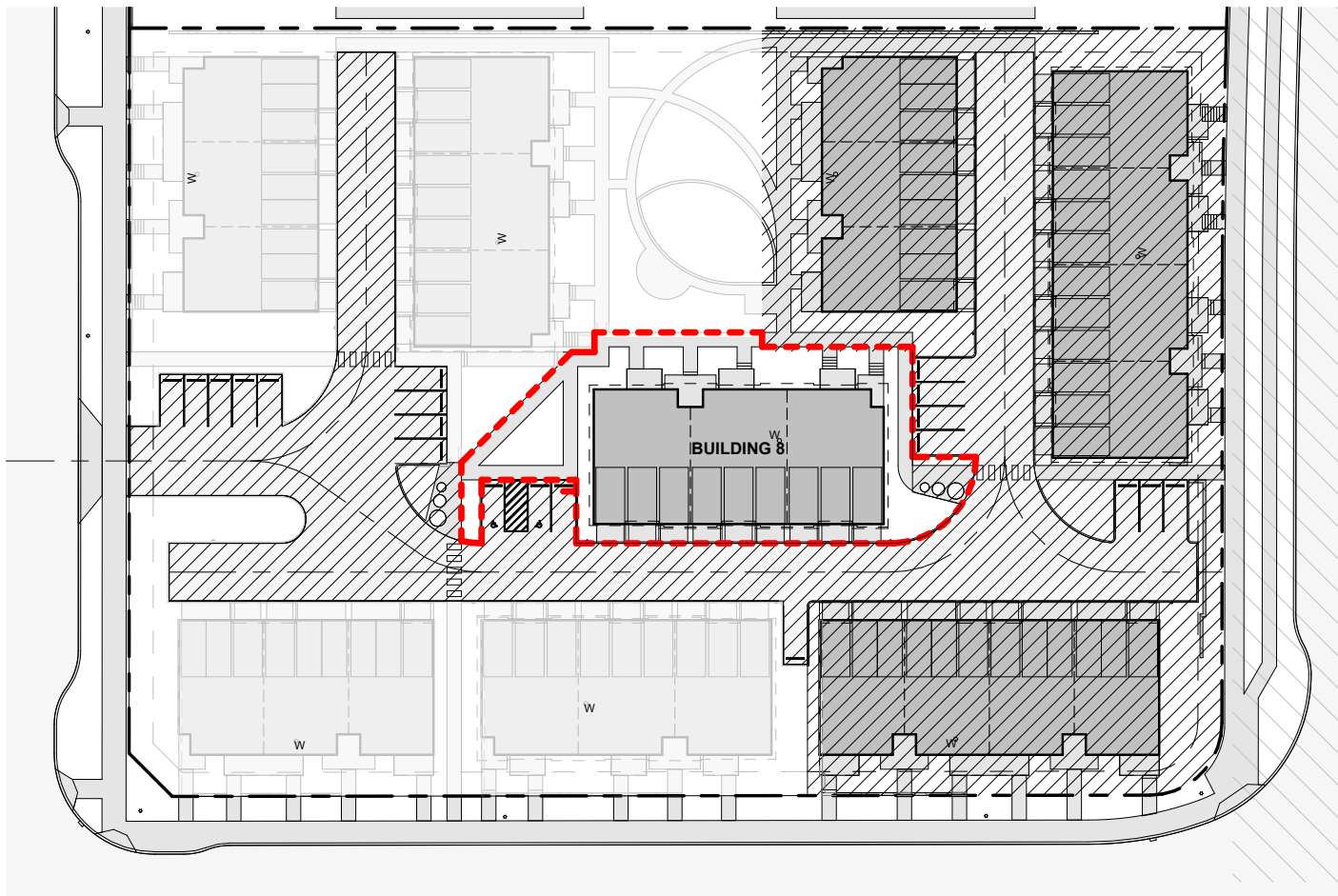
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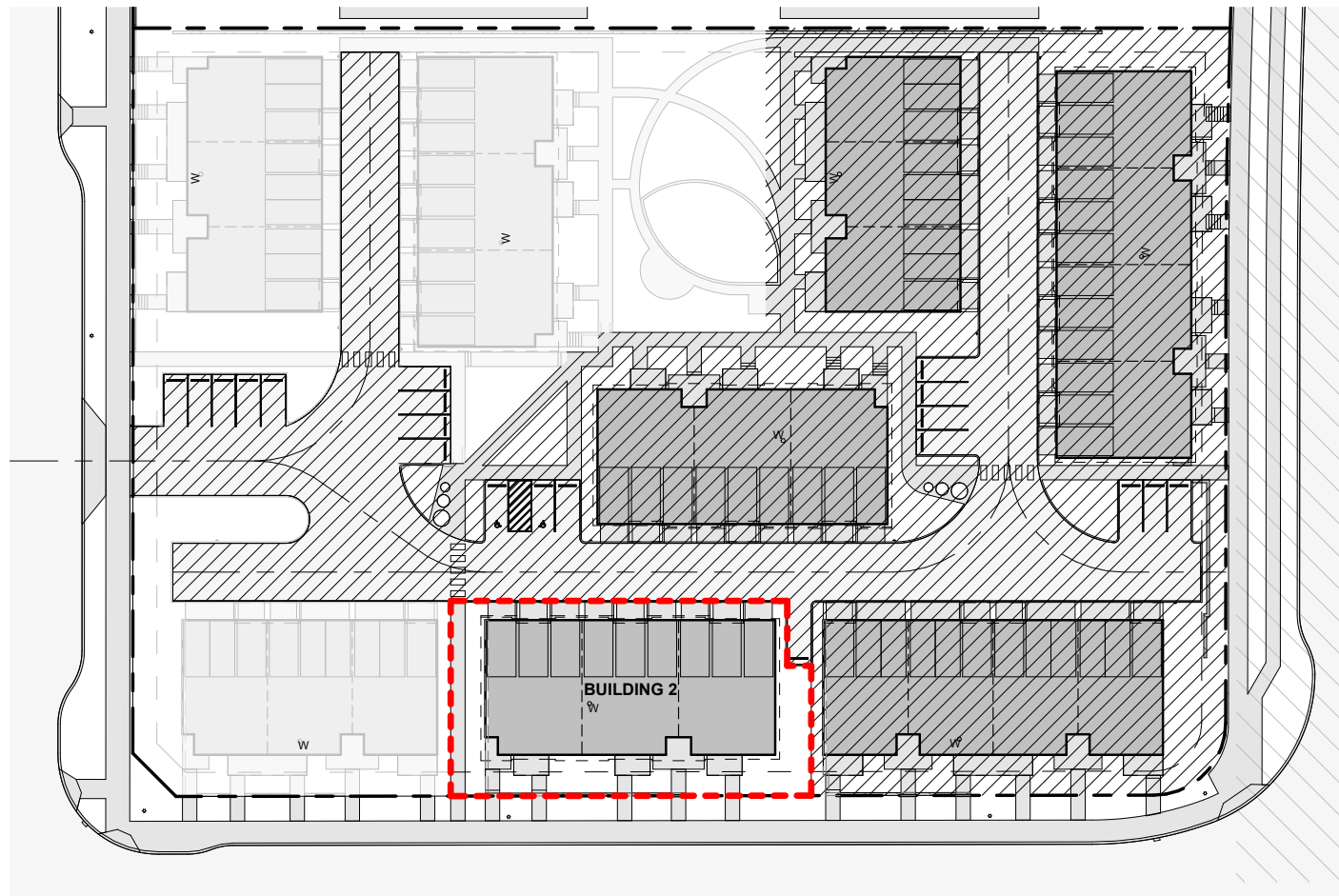
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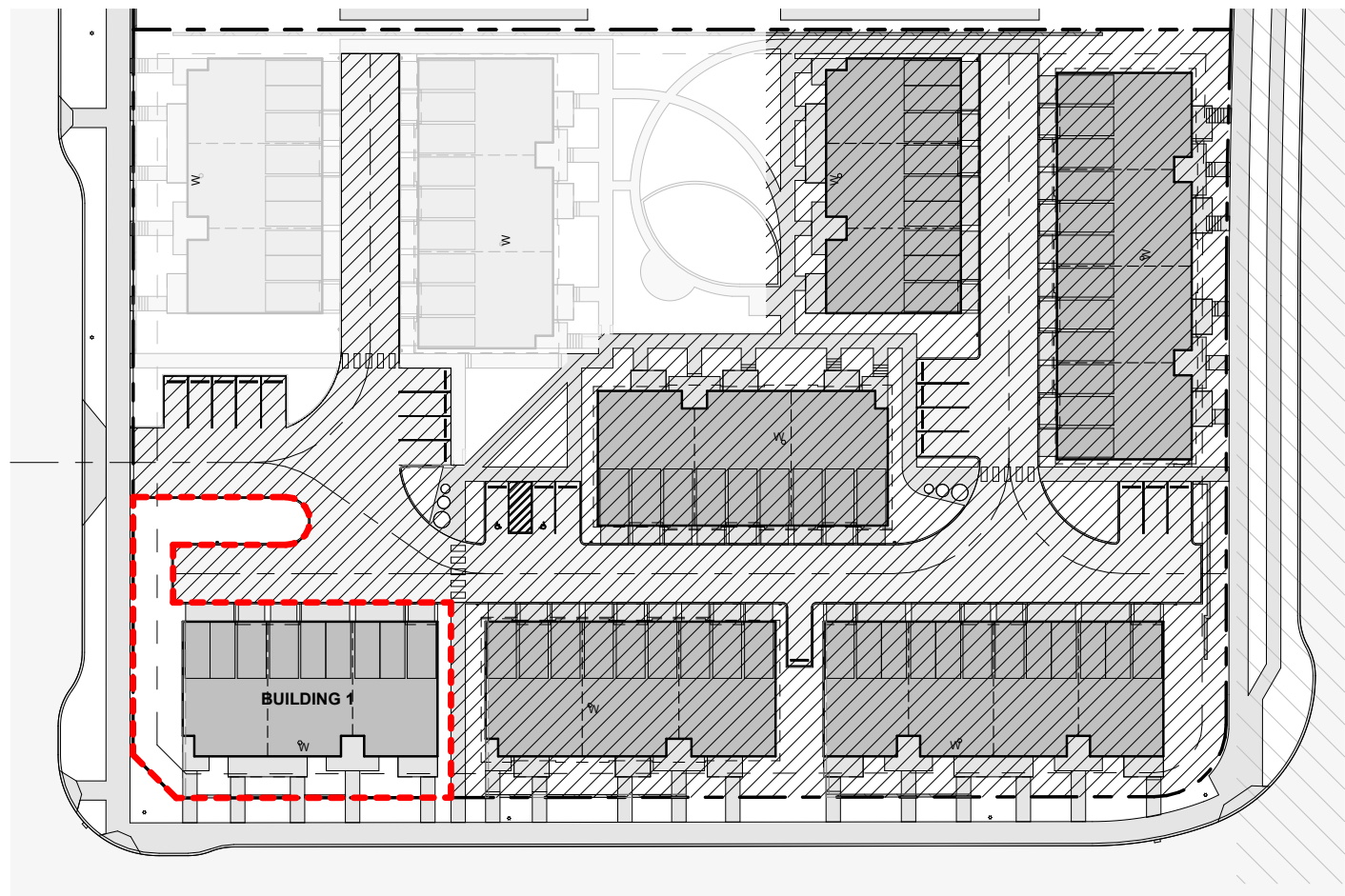
Phase 4



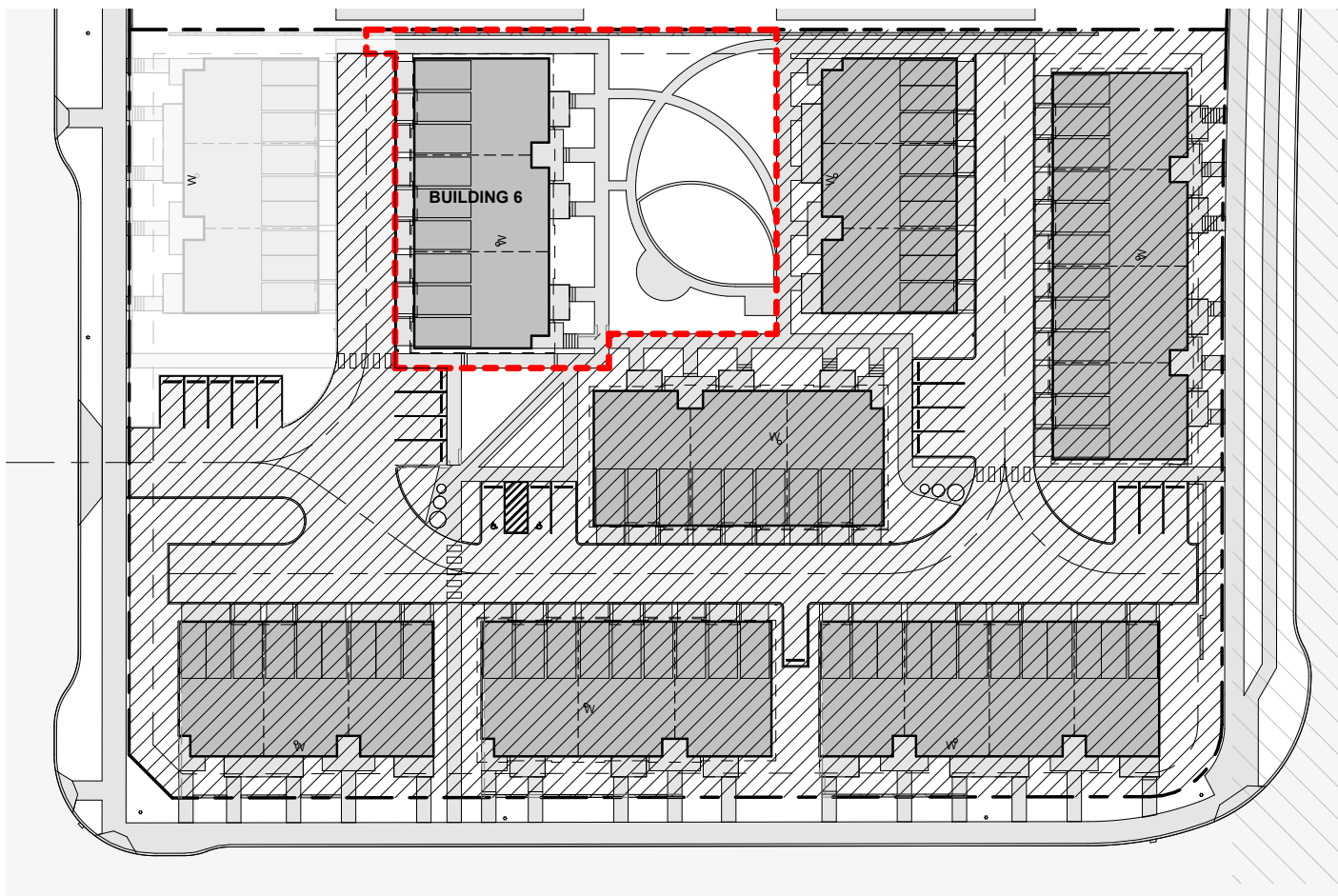
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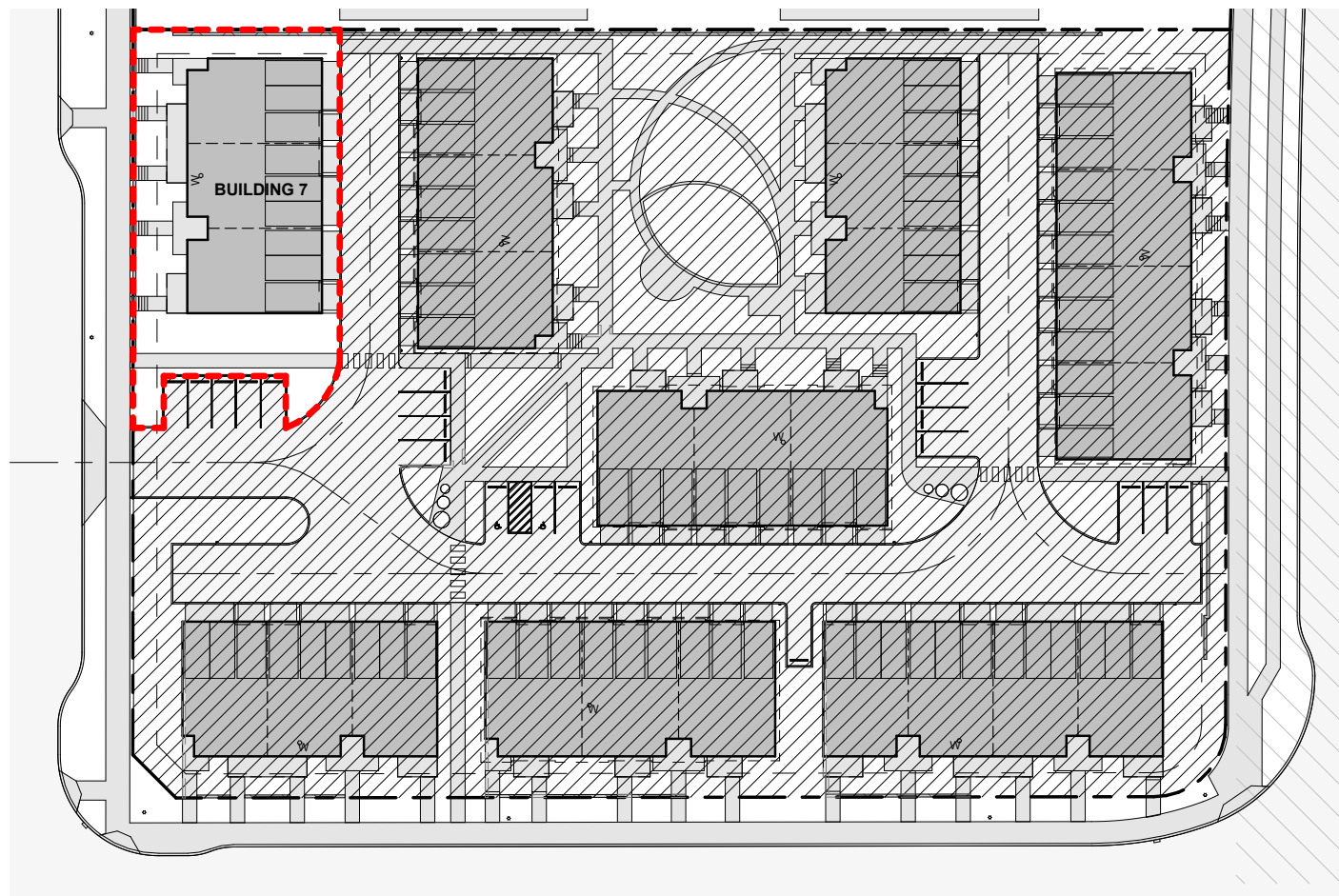
Phase 6



Phase 7



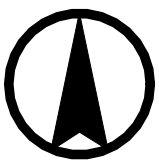
Phase 8



Phase 9

PHASING LEGEND

- PHASE 1** TO BE BUILT FIRST. IT WILL INCLUDE ROADWAYS, RETAINING WALLS, WASTE & RECYCLING AS PER PHASING OUTLINE. NOTE: PHASE 1 DOES NOT INCLUDE LANDSCAPING, FINAL LIFT, PIN CURBS, AND WHEEL STOPS.
- PHASES 2 - 8** SHALL BE COMPLETED AFTER PHASE 1. PHASES NEED NOT BE SEQUENTIAL. EACH PHASE WILL INCLUDE THE LANDSCAPING, BIKE RACKS, AND SIDEWALKS ADJACENT TO THE BUILDINGS AS PER PHASING PLAN.
- PHASE 9** TO BE CONSTRUCTED LAST AFTER ALL BUILDINGS HAVE BEEN CONSTRUCTED. IT WILL INCLUDE FINAL LIFT, PIN CURBS AND WHEEL STOPS.



REVISIONS		
#	DATE	DESCRIPTION
	2023 07 05	Issued for DP
	2023 10 11	Issued for DTR1
	2024 03 21	Issued for PTR DP2023-04533
1	2026 06 15	Issued for Revised DP2026-03507
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PERMIT NUMBERS
DP2026-03507

PROJECT STATUS

Development Permit

PROJECT

Livingston South

14658 1 ST NW
Lot 1, Block 20, Plan XXX XX

TITLE
Site Phasing Plan

PROJECT NUMBER	DRAWING NUMBER
22-048	DP1.2
SCALE	
As indicated	
DESIGNER	CHECKED
TAJ CF	CF
DP DRAFTSPERSON	VERSION
CF	2026 08 18
BP DRAFTSPERSON	BP ISSUE DATE
	Not Issued



1 Building Front DP
3/16" = 1'-0"



2 Building Rear DP
3/16" = 1'-0"

Material Colour Scheme 4			
#	Type	Description	Manufacturer
Scheme 4			
h	Brick Veneer	Hartford	Tundra Brick
i	Lap Siding - Horizontal	Arctic White	James Hardie
j	Panel	Arctic White	James Hardie
k	Panel - Accent	Evening Blue	James Hardie
l	Front Doors	Fiberglass w/ Wood Texture To Match Woodtone - Winchester Brown	TBD
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Arctic White	Cloverdale Paint
Common			
a	Asphalt Shingles	Dual Black	IKO
b	Soffit / Fascia / Gutter	Black	Mitten
c	Trim / Shadowboard	Black	Mitten
d	Wood Posts / Trellis	Winchester Brown	Woodtone
e	Railing - Aluminum	Black	Weatherdek
f	Balcony	Shale	Weatherdek
g	Metal Seam	Black	TBD

Top Plate
28'-4 5/8"

Level 3
20'-3 1/2"

Level 2
10'-1 3/4"

Level 1
0"

Garage
-6"

REVISIONS		
#	DATE	DESCRIPTION
1	2023 07 05	Issue for DP
2	2023 10 11	Issue for DTR1
3	2024 03 21	Issued for PTR DP2023-04533
4	2024 03 21	Material Changes
5	2026 06 15	Issued for Revised DP2026-03507
6	2026 08 18	Issued for Revised DP2026-03507 - DRI

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PERMIT NUMBERS
DP2026-03507

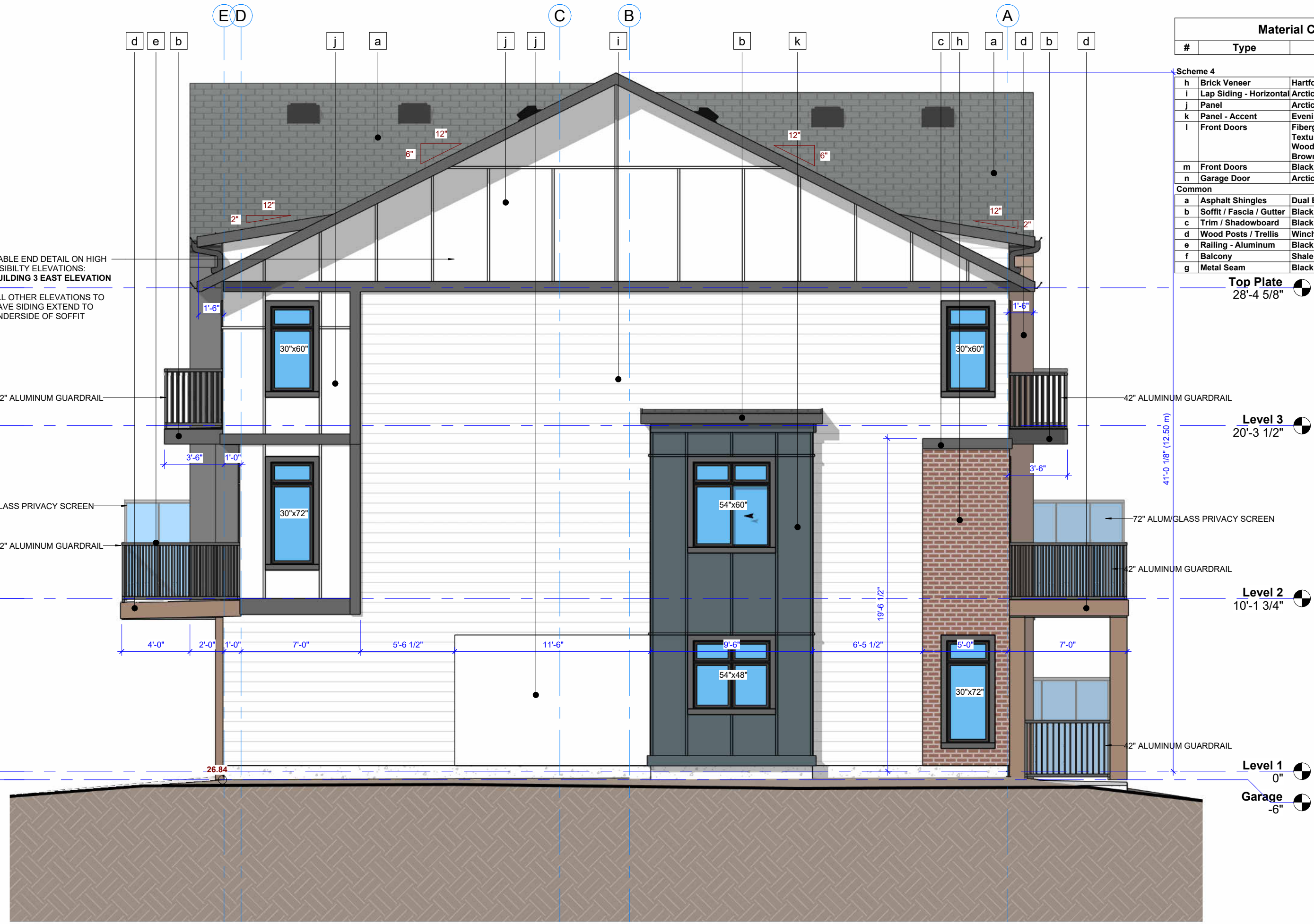
PROJECT STATUS
Development Permit
PROJECT
Livingston South

14658 1 ST NW
Lot 2, Block 20, Plan XX XXX
TITLE
Elevations E1.5 (12U)

PROJECT NUMBER
22-048
SCALE
3/16" = 1'-0"
DESIGNER
CF
DP DRAFTSPERSON
CF
BP DRAFTSPERSON
DRAWING NUMBER
DP2.4
CHECKED
CF
VERSION ISSUE DATE
2026 08 18
BP ISSUE DATE
NOT ISSUED



① Building Right DP
3/16" = 1'-0"



② Building Left DP
3/16" = 1'-0"

Material Colour Scheme 4			
#	Type	Description	Manufacturer
Scheme 4			
h	Brick Veneer	Hartford	Tundra Brick
i	Lap Siding - Horizontal	Arctic White	James Hardie
j	Panel	Arctic White	James Hardie
k	Panel - Accent	Evening Blue	James Hardie
l	Front Doors	Fiberglass w/ Wood Texture (To Match Woodtone - Winchester Brown)	TBD
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Arctic White	Cloverdale Paint
Common			
a	Asphalt Shingles	Dual Black	IKO
b	Soffit / Fascia / Gutter	Black	Mitten
c	Trim / Shadowboard	Black	Mitten
d	Wood Posts / Trellis	Winchester Brown	Woodtone
e	Railing - Aluminum	Black	
f	Balcony	Shale	Weatherdek
g	Metal Seam	Black	TBD

Top Plate
28'-4 5/8"

Level 3
20'-3 1/2"

Level 2
10'-1 3/4"

Level 1
0"

Garage
-6"

REVISIONS		
#	DATE	DESCRIPTION
2023 07 05	Issue for DP	
2023 10 11	Issue for DTR1	
2024 03 21	Issued for PTR DP2023-04533	
2026 06 15	Issued for Revised DP2026-03507	
2026 08 18	Issued for Revised DP2026-03507 - DR1	

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

GRAVITY ARCHITECTURE

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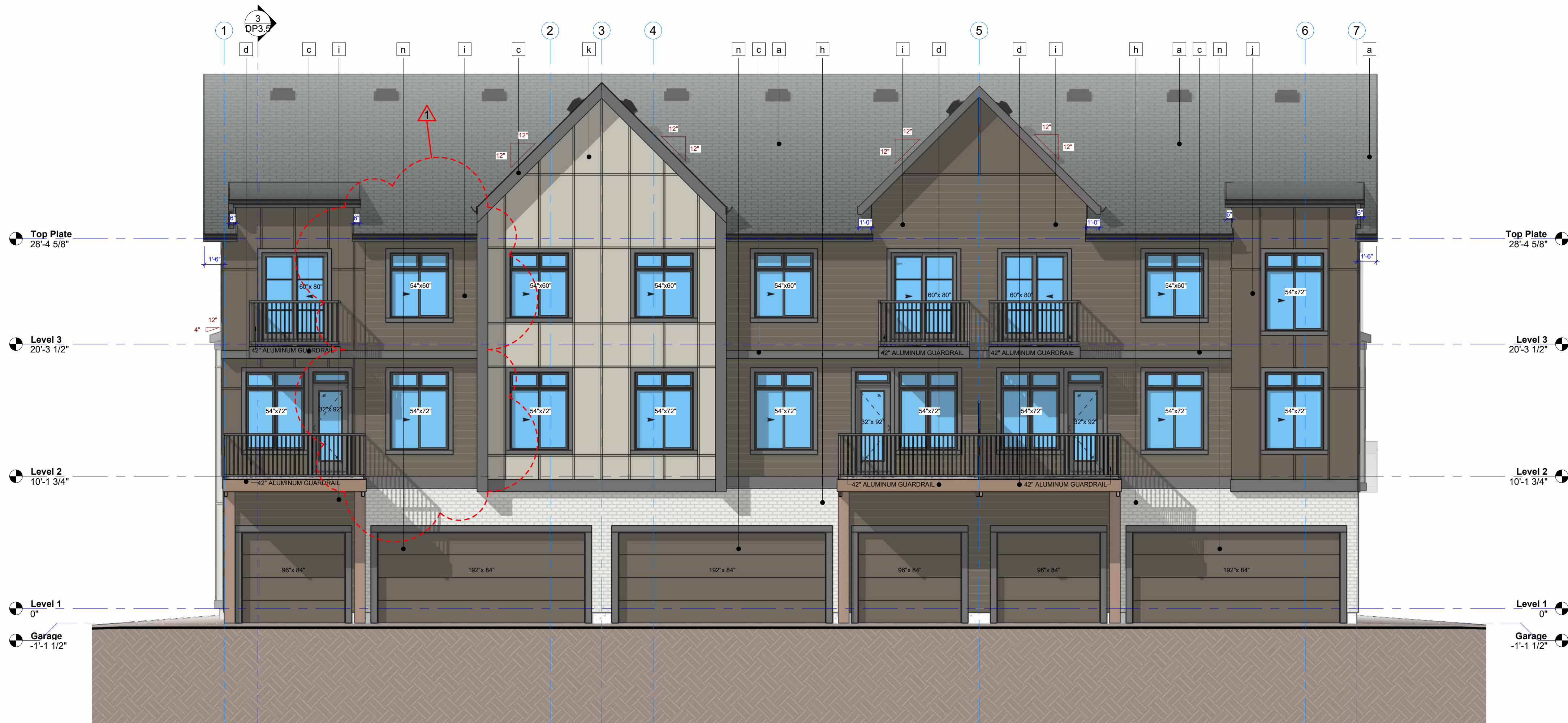
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DP DRAFTSPERSON CF	VERSION / ISSUE DATE 2026 08 18
BP DRAFTSPERSON	BP ISSUE DATE NOT ISSUED



1 Building Front DP
3/16" = 1'-0"



2 Building Rear DP
3/16" = 1'-0"

Material Colour Scheme 3		
#	Type	Description
Scheme 3		
h	Brick Veneer	Chalk Dust
i	Lap Siding - Horizontal	Timber Bark
j	Panel	Timber Bark
k	Panel - Accent	Cobble Stone
l	Front Doors	Fiberglass w/ Wood Texture (To Match Woodtone - Winchester Brown)
m	Front Doors	Black
n	Garage Door	Timber Bark
Common		
a	Asphalt Shingles	Dual Black
b	Soffit / Fascia / Gutter	Black
c	Trim / Shadowboard	Black
d	Wood Posts / Trusses	Winchester Brown
e	Railing - Aluminum	Black
f	Balcony	Shale
g	Metal Seam	Black

REVISIONS		
#	DATE	DESCRIPTION
1	2023 07 05	Issued for DP
2	2023 10 11	Issued for DTR1
3	2024 03 21	Issued for PTR DP2023-04533
4	2024 03 21	Material Change
5	2026 06 15	Issued for Revised DP2026-03507
6	2026 08 18	Issued for Revised DP2026-03507 - DR1

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DESIGNER

CF

DP DRAFTSPERSON

CF

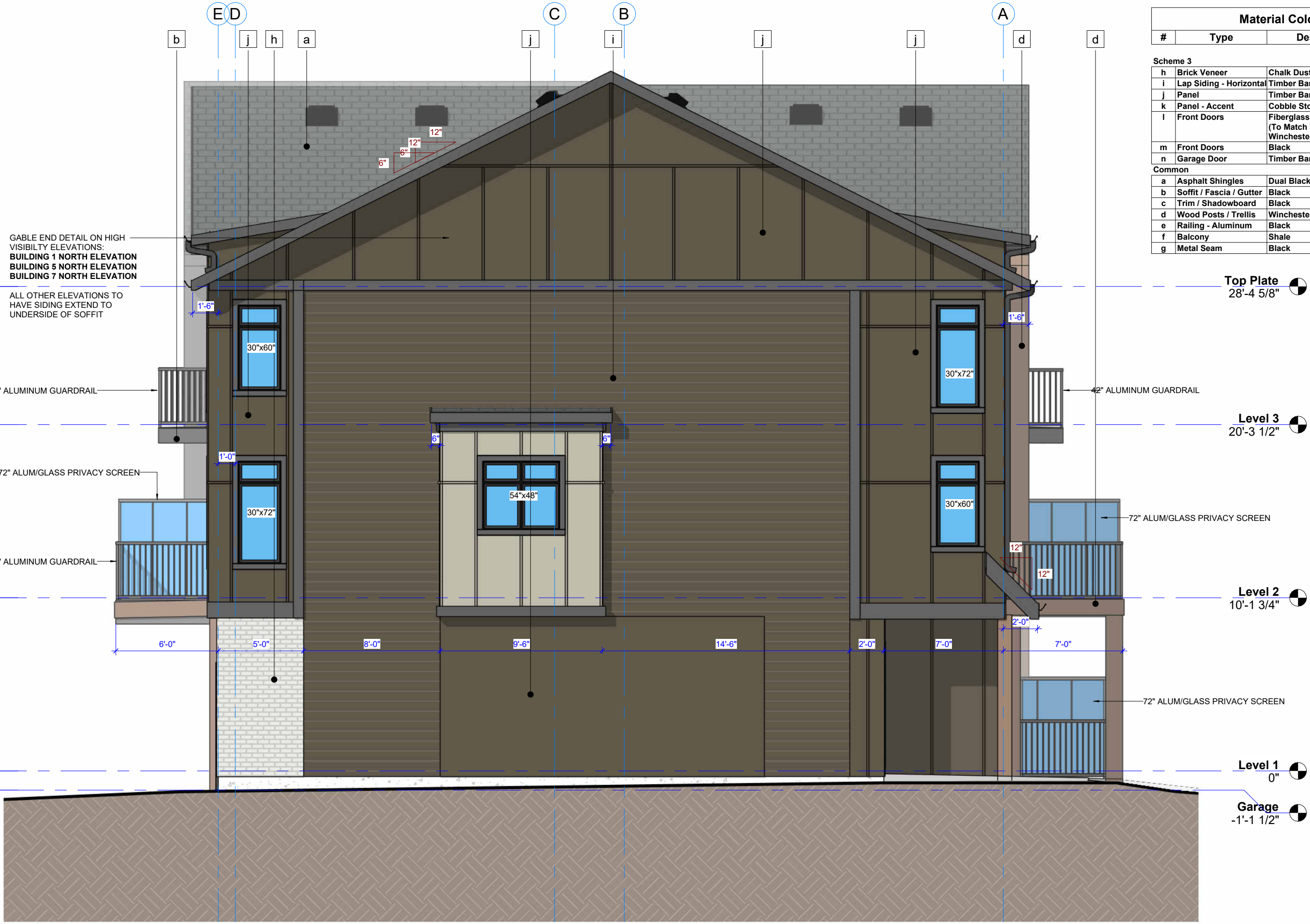
BP DRAFTSPERSON

NOT ISSUED

DP3.4



① Building Right DP
3/16" = 1'-0"



② Building Left DP
3/16" = 1'-0"

Material Colour Scheme 3		
#	Type	Description
Scheme 3		
h	Brick Veneer	Chalk Dust
i	Lap Siding - Horizontal	Timber Bark
j	Panel	Timber Bark
k	Panel - Accent	Cobble Stone
l	Front Doors	Fiberglass w/ Wood Texture (To Match Woodtone - Winchester Brown)
m	Front Doors	Black
n	Garage Door	Timber Bark
Continues		
a	Asphalt Shingles	Dual Black
b	Soffit / Fascia / Gutter	Black
c	Trim / Shadowboard	Black
d	Wood Posts / Trillis	Winchester Brown
e	Railing - Aluminum	Black
f	Balcony	Shale
g	Metal Seam	Black
Manufacturer		
Tundra Brick		
James Hardie		
James Hardie		
TBD		
Cloverdale Paint		
Cloverdale Paint		
IKO		
Mitten		
Woodtone		
Weatherdek		
TBD		

REVISIONS		
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DP DRAFTSPERSON CF	VERSION / ISSUE DATE 2026 08 18
BP DRAFTSPERSON	BP ISSUE DATE NOT ISSUED

Material Colour Scheme 2			
#	Type	Description	Manufacturer
Scheme 2			
h	Brick Veneer	Chalk Dust	Tundra Brick
i	Lap Siding - Horizontal	Iron Gray	James Hardie
j	Panel	Iron Gray	James Hardie
k	Panel - Accent	Gray Slate	James Hardie
l	Front Doors	Flouglass w/ Wood Texture (To Match Woodstone - Winchester Brown)	TBD
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Iron Gray	Cloverdale Paint
Common			
a	Asphalt Shingles	Dual Black	IKO
b	Soffit / Fascia / Gutter	Black	Mitten
c	Trim / Shadowboard	Black	Mitten
d	Wood Posts / Trellis	Winchester Brown	Woodstone
e	Railing - Aluminum	Black	
f	Balcony	Shale	Weatherdek
g	Metal Sawn	Black	TBD

REVISIONS		
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2024 03 21 Issued for PTR DP2023-04533		
1	2024 03 21	Material Changes
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1 Building Front
3/16" = 1'-0"



2 Building Rear
3/16" = 1'-0"

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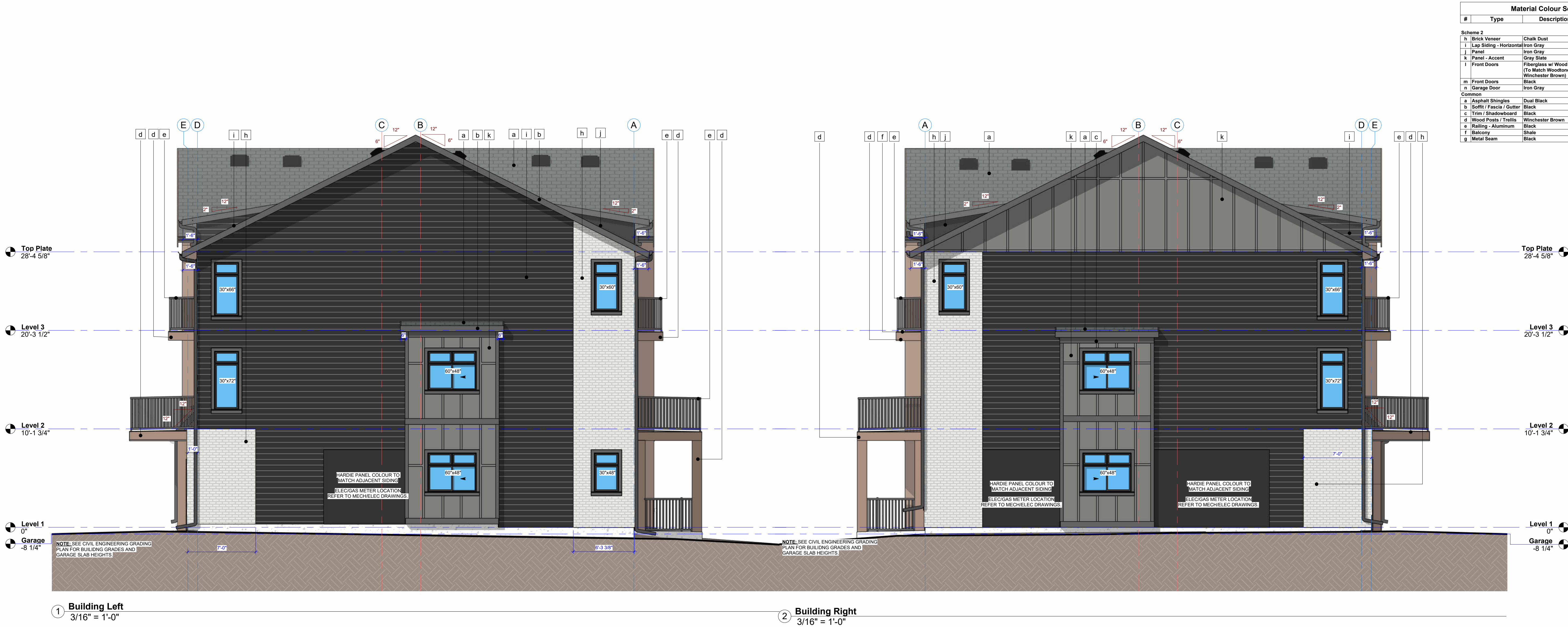
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TITLE
Elevations E2.0 (12U)

PROJECT NUMBER 22-048	DRAWING NUMBER DP4.4
SCALE 3/16" = 1'-0"	
DESIGNER DC	CHECKED
DP DRAFTSPERSON DC	VERSION 2026 08 18
BP DRAFTSPERSON	BP ISSUE DATE NOT ISSUED



Material Colour Scheme 2			
#	Type	Description	Manufacturer
Scheme 2			
h	Brick Veneer	Chalk Dust	Tundra Brick
i	Lap Siding - Horizontal	Iron Gray	James Hardie
j	Panel	Iron Gray	James Hardie
k	Panel - Accent	Gray Slate	James Hardie
l	Front Doors	Fiberglass w/ Wood Texture (To Match Woodtone - Winchester Brown)	TBD
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Iron Gray	Cloverdale Paint
Common			
a	Asphalt Shingles	Dual Black	IKO
b	Soffit / Fascia / Gutter	Black	Mitsun
c	Trim / Shadowboard	Black	Mitsun
d	Wood Posts / Trellis	Winchester Brown	Woodtone
e	Railing - Aluminum	Black	Weatherdek
f	Balcony	Shale	Weatherdek
g	Metal Seam	Black	TBD

REVISIONS		
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2023 07 05	Issued for DP	
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① Building Front
3/16" = 1'-0"



② Building Rear
3/16" = 1'-0"

Material Colour Scheme 1			
#	Type	Description	Manufacturer
Scheme 1			
h	Brick Veneer	Hartford	Tundra Brick
i	Lap Siding - Horizontal	Pearl Gray	James Hardie
j	Panel	Pearl Gray	James Hardie
k	Panel - Accent	Aged Pewter	James Hardie
l	Front Doors	Fiberglass w/ Wood Texture (To Match Woodtone - Winchester Brown)	TBD
m	Front Doors	Black	Cloverdale Paint
n	Garage Door	Pearl Gray	Cloverdale Paint
Common			
a	Asphalt Shingles	Dual Black	IKO
b	Soffit / Fascia / Gutter	Black	Mitten
c	Trim / Shadowboard	Black	Mitten
d	Wood Posts / Trellis	Winchester Brown	Woodstone
e	Railing - Aluminum	Black	
f	Balcony	Shale	Weatherdek
g	Metal Seam	Black	TBD

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DC

DP DRAFTSPERSON

DC

BP DRAFTSPERSON

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DRAWING NUMBER

DP3.4

CHECKED

VERSION ISSUE DATE

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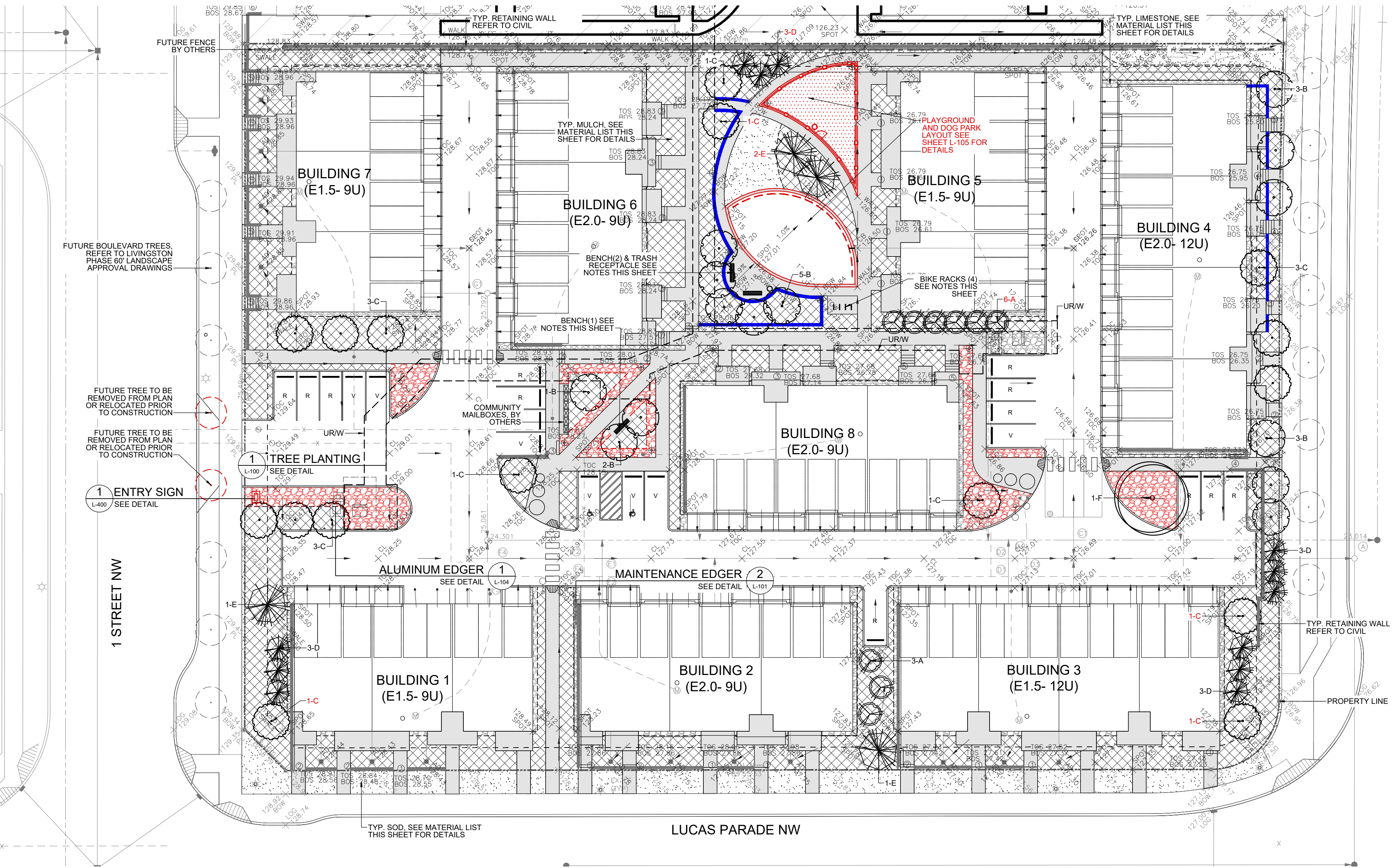
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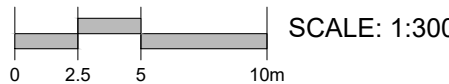
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OVERALL LANDSCAPE PLAN



MATERIAL LIST

KEY	QTY.	UNIT	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES					
A	9	each	MALUS x ADSTRINGENS 'DURLEO'	GLADIATOR CRABAPPLE	75mm CAL; SPACING AS SHOWN, B&B
B	14	each	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	60mm CAL; SPACING AS SHOWN, B&B
C	16	each	MALUS x 'SPRING SNOW'	SPRING SNOW CRABAPPLE	75mm CAL; SPACING AS SHOWN, B&B
D	12	each	PICEA PUNGENS 'FASTIGIATA'	COLUMNAR BLUE SPRUCE	3000mm HT; SINGLE LEADER, SPACING AS SHOWN, B&B
E	4	each	PINUS PONDEROSA	PONDEROSA PINE	2000mm HT; SINGLE LEADER, SPACING AS SHOWN, B&B
F	1	each	ULMUS AMERICANA 'BRANDON'	BRANDON ELM	60mm CAL; SPACING AS SHOWN, B&B
MISC. MATERIALS					
	360	m ²	SOD OVER 300mm DEPTH TOPSOIL		INSTALL TO CITY OF CALGARY MUNICIPAL STANDARDS, SEE SOD BLEND THIS SHEET. DROUGHT TOLERANT SEED BLEND.
	485	m ²	100mm DEPTH, 20 - 40mm DIA. LIMESTONE		TO BE INSTALLED OVER HD LANDSCAPE FABRIC
	500	m	140mm HT. ALUMINUM SHRUB BED EDGER		EDGER TO BE 'PERMALOC® PROLINE' OR APPROVED EQUAL
	1460	m ²	75mm DEPTH WOOD MULCH OVER 600mm DEPTH SHRUB BED MIX		INSTALL TO CITY OF CALGARY MUNICIPAL STANDARDS
	62	m ²	ARTIFICIAL TURF		SEE SHEET L-105 FOR DETAILS
	80	Lm.	RETAINING WALL		SEE RETAINING WALL NOTES FOR DETAILS

NOTE: CALIPER TAKES PRECEDENCE OVER HEIGHT

SOD BLEND

MANDERLEY LESS WATER SOD	
- FULL MOON KENTUCKY BLUEGRASS	25%
- DIVA KENTUCKY BLUEGRASS	25%
- TUMALO KENTUCKY BLUEGRASS	25%
- RIDGELINE KENTUCKY BLUEGRASS	25%



RETAINING WALL NOTES

- RETAINING WALL TO BE BARKMAN KEYSTONE COMPAC
- INSTALLED AS PER MANUFACTURER SPECIFICATIONS
- COLOR: CHARCOAL
- MANUFACTURER: BARKMAN (www.barkmanstone.com)
- ALL MATERIAL TO BE REVIEWED AND APPROVED BY OWNER PRIOR TO ORDER PLACEMENT
- ALL MATERIAL LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO INSTALLATION

MINIMUM SETBACK OF TREES

Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ⁵	2.5 m	0 m ⁵	3.0 m
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ⁵	2.5 m	0 m ⁵	3.0 m
Water	3.0 m	4.0 m	0 m ⁵	2.5 m	0 m ⁵	3.0 m
Hydants	3.0 m	4.0 m	N/A	2.5 m	N/A	3.0 m
Shallow Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0 m ⁵	2.0 m ⁵	2.0 m	2.0 m	2.0 m ⁵	2.0 m ⁵
TELUS	2.0 m ⁵	2.0 m ⁵	1.5 m	1.5 m	2.0 m ⁵	2.0 m ⁵
CTV	2.0 m ⁵	2.0 m ⁵	1.5 m	1.5 m	2.0 m ⁵	2.0 m ⁵
ENMAX	2.0 m ⁵	2.0 m ⁵	1.5 m	1.5 m	2.0 m ⁵	2.0 m ⁵
Enmax	Poplar		Deciduous		Coniferous	
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m	
Transformers (within Utility Rights of Way)			N/A			
(Tree planting not permitted within Utility Rights-of-Way)						
Street Light Poles	Poplar		Deciduous		Coniferous	
	5.0 m		4.0 m - 5.0 m		Min. 4.0 m	

DEVELOPMENT REQUIREMENTS

BYLAW: IP2007 - SECTION 551
(1) ANY PART OF THE PARCEL USED TO MOTOR VEHICLE ACCESS, MOTOR VEHICLE PARKING STALLS, LOADING STALLS AND GARBAGE OR RECYCLING FACILITIES MUST NOT BE INCLUDED IN THE CALCULATION OF A LANDSCAPED AREA.
(2) A MINIMUM OF 40% OF THE AREA OF A PARCEL MUST BE LANDSCAPED AREA.

TREES: 1 TREE PER 45m² OF LANDSCAPED AREA (75:25 RATIO OF DECIDUOUS/CONIFEROUS TREES)
SHRUBS: 2 SHRUBS PER 45m² OF LANDSCAPED AREA

LANDSCAPED AREA: 9,073m² (PARCEL AREA) - 2,730m² (MOTOR VEHICLE ACCESS) = 6,343m² x 40% = 2,537m²
CALCULATION: 2,537m² / 45m² = 56.4 ~ 56 TREES (2,537m² / 45m²) x 2 = 112.8 ~ 113 SHRUBS

REQUIRED: 56 TREES (42 DECIDUOUS/14 CONIFEROUS) 113 SHRUBS

PROVIDED: 56 TREES (40 DECIDUOUS/16 CONIFEROUS) 761 SHRUBS (771 PERENNIALS)

IRRIGATION SYSTEMS

- THE CONTRACTOR SHALL SUPPLY AND INSTALL A FULLY FUNCTIONAL AUTOMATIC PROGRAMMABLE IRRIGATION SYSTEM. IRRIGATION SYSTEMS WILL BE DESIGNED IN SUCH A WAY THAT ALL AREAS, INCLUDING LAWNS, BEDS, PLANTERS, GARDENS, AND GREEN ROOFS, WHETHER EXISTING OR NEW, ARE WATERED IN THE MOST EFFICIENT MANNER WHILE PROVIDING FULL COVERAGE. ONLY LANDSCAPE AREAS ARE TO RECEIVE WATER.
- SYSTEM CONFIGURATION WILL VARY DEPENDING ON PLANT VARIETY AND LANDSCAPE AREA. ANY OVERLAPPING OR UNNECESSARY SPRAY PATTERNS ARE TO BE KEPT TO A MINIMUM. SYSTEM INSPECTION AND NOZZLE ADJUSTMENTS ARE TO BE MADE AFTER THE INSTALL IS COMPLETE AND AT THE START OF EVERY GROWING SEASON. NOZZLES SHOULD BE REPLACED EVERY FIVE YEARS. WATERING TIMES ARE TO BE SET FOR THE EARLY MORNING TO REDUCE EVAPORATION.
- ONCE ESTABLISHED, ONE INCH OF WATER PER WEEK SHALL BE IRRIGATED ON ALL LAWN AREAS. TREES, SHRUBS, PERENNIALS, AND ORNAMENTALS GRASSES WILL BE WATERED ACCORDING TO THEIR NEEDS. DRIP SYSTEMS ARE RECOMMENDED FOR TREES. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO PLANTS CAUSED BY OVER OR UNDER WATERING.
- IRRIGATION PLANS SHALL BE PREPARED BY A QUALIFIED IRRIGATION CONSULTANT AND INSTALLED BY A PROFESSIONALLY CERTIFIED IRRIGATION INSTALLER. CONTRACTOR SHALL PROVIDE MANUALS AND TOOLS, REQUIRED FOR SYSTEM OPERATION, TO THE OWNER UPON SYSTEM COMPLETION. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE OWNER.
- ALL UNDERGROUND IRRIGATION SYSTEMS ARE TO BE EQUIPPED WITH A HIGH FLOW SHUTOFF VALVE AND BACK FLOW PREVENTION VALVE. ALL DOWN SPOUTS ARE TO BE DIRECTED AWAY FROM FOUNDATIONS AND INTO SHRUB BEDS OR TREE WELLS WHERE PRACTICAL.

SITE FURNITURE



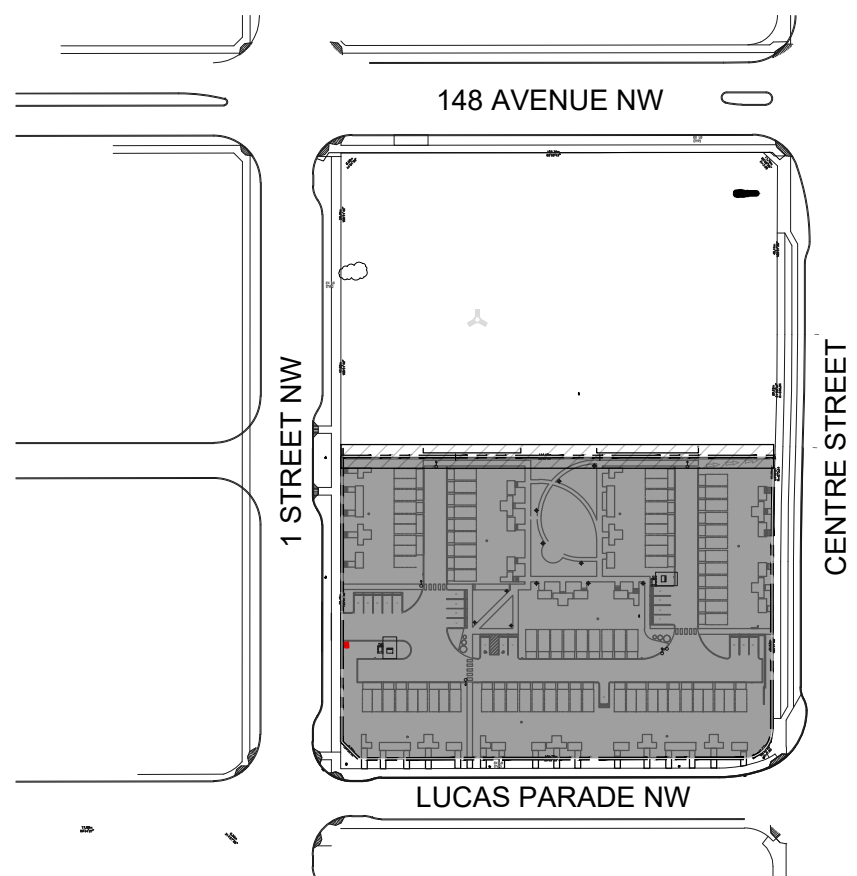
TRASH RECEPTACLES C/W ASH RECEPTACLE TO BE MAGLIN MTR-0650-00005' (OR APPROVED EQUAL) SURFACE MOUNT, INSTALL TO MANUFACTURER SPECIFICATIONS. FINISH COLOUR: TBD QTY: 2 MANUFACTURER: MAGLIN (www.maglin.com)



BICYCLE STANDS TO BE MAGLIN 'MBR-1600-00008' (OR APPROVED EQUAL) SURFACE MOUNT, INSTALL TO MANUFACTURER SPECIFICATIONS. FINISH COLOUR: TBD QTY: 4 MANUFACTURER: MAGLIN (www.maglin.com)



BENCHES MANUFACTURER: MAGLIN 'MBE-0450-00003' (OR APPROVED EQUAL) SURFACE MOUNT, INSTALL TO MANUFACTURER SPECIFICATIONS. FINISH COLOUR: TBD QTY: 3 MANUFACTURER: MAGLIN (www.maglin.com)



KEY PLAN

SCALE: N.T.S.

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- PRIOR TO INSTALLATION OF PLANT MATERIALS, THE LANDSCAPE ARCHITECT WILL INSPECT STAKING OF ALL TREE AND SHRUB LOCATIONS HAVING REGARD FOR THE UTILITIES STAKED BY ALBERTA FIRST CALL AND OTHERS AND ALL SETBACKS.
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- ALL ARCHITECTURAL FEATURES TO BE LOCATED ON PRIVATE PROPERTY. ALL FLANKAGE / CORNER CUT FEATURE LOCATIONS TO BE FIELD ADJUSTED WITH RELATION TO STREET FURNITURE AS PER LANDSCAPE ARCHITECT.
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SITE AREA COVERAGE

SOFT LANDSCAPE AREAS

SOD:	260m ²
ARTIFICIAL TURF:	62m ²
WOOD MULCH:	1480m ²

HARD LANDSCAPE AREAS

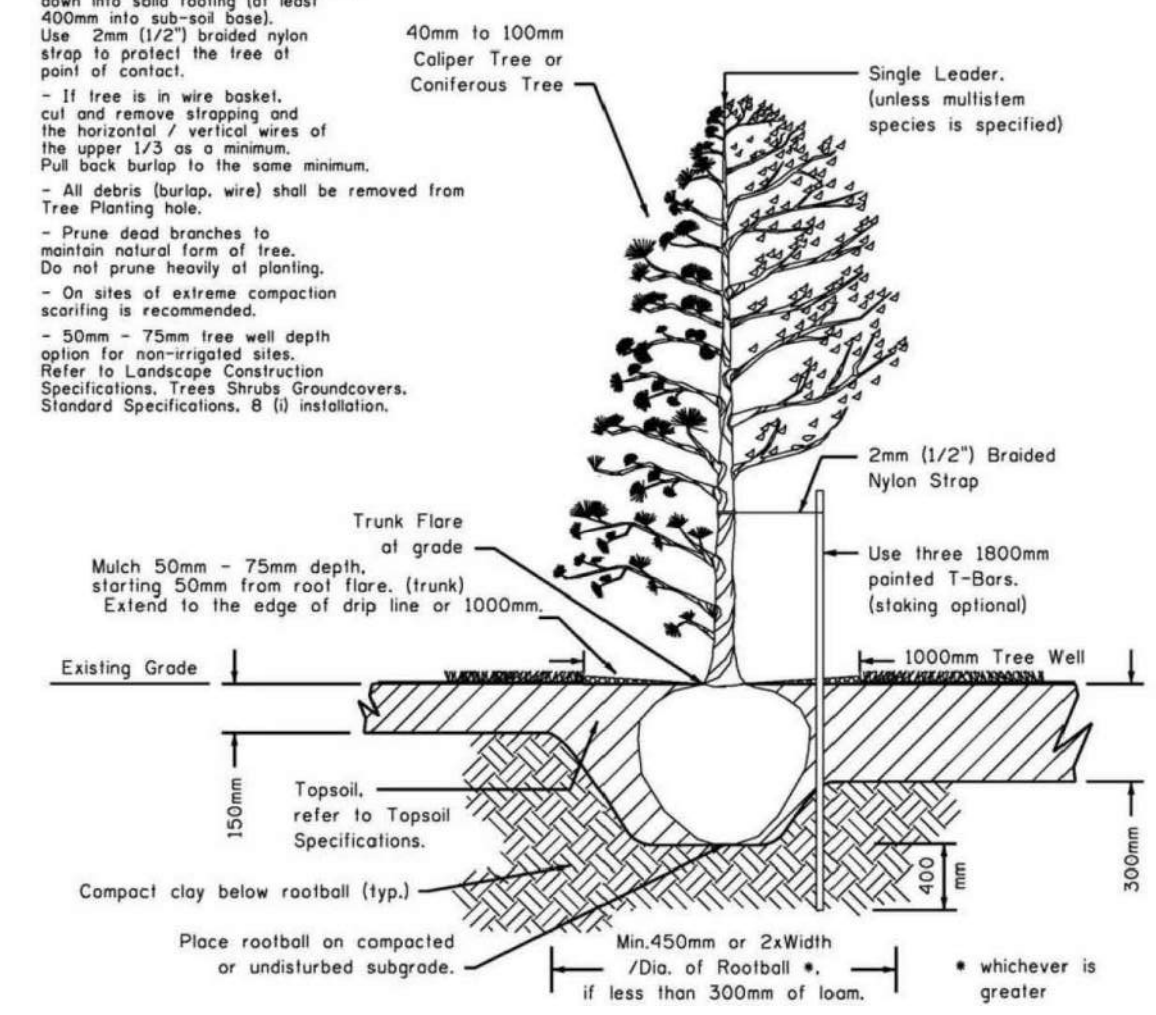
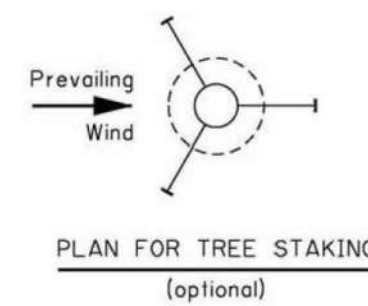
SIDEWALK:	1,191m ² (REFER TO ARCH)
ROCK MULCH:	485m ²

TOTAL LANDSCAPED AREA: 3578m²

TREE PLANTING DETAIL

The following Tree Planting Detail will be used for Backhoe Dig, 40mm - 100mm caliper, either coniferous or deciduous. Irrigated sites, boxed, or boxed and buried trees. On non-irrigated sites an increase in topsoil depth to increase water holding capacity may be desired.

- NOTES:
- Standard tree pit shall be required on all sites with less than 300mm loam.
 - Do not allow air pockets to form when back filling.
 - Trees to be planted at grade with trunk flare visible - no more than 25mm above grade.
 - If staking, stake beyond edge of root ball. Bars should be hammered down into solid footing (at least 400mm into solid base).
 - Use 2mm (1/2") braided nylon strap to protect the tree at point of contact.
 - If tree is in wire basket, cut and remove stringing and the horizontal / vertical wires of the upper 1/3 of a minimum. Pull back burp to the same minimum.
 - All extra (burp) wire shall be removed from Tree Planting hole.
 - Prune dead branches to maintain natural form of tree. Do not prune heavily at planting.
 - On sites of extreme compaction scarification is recommended.
 - 50mm - 75mm free well depth option for non-irrigated sites. Refer to Landscape Construction Specifications, Trees Shrubs Groundcovers, Standard Specifications, 8.10 Installation.



1 TREE PLANTING DETAIL

L-100 SCALE N.T.S.

BROWNING DESIGN INC.



Unit #210, 12 St. Joseph Street
St. Albert, Alberta T8N 7L9
T: 780.460.7990

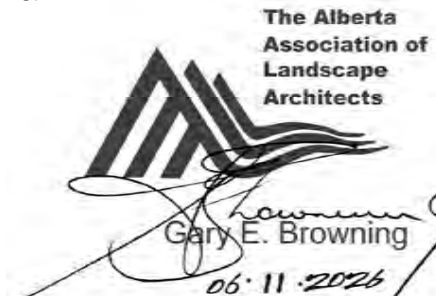
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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Client



Project Title

Livingston 2 - South

Drawing Title

Overall Landscape Plan

Project No: 22-31

Date: 2023-03-24

Designed By: DB

Drawn By: SP / NM

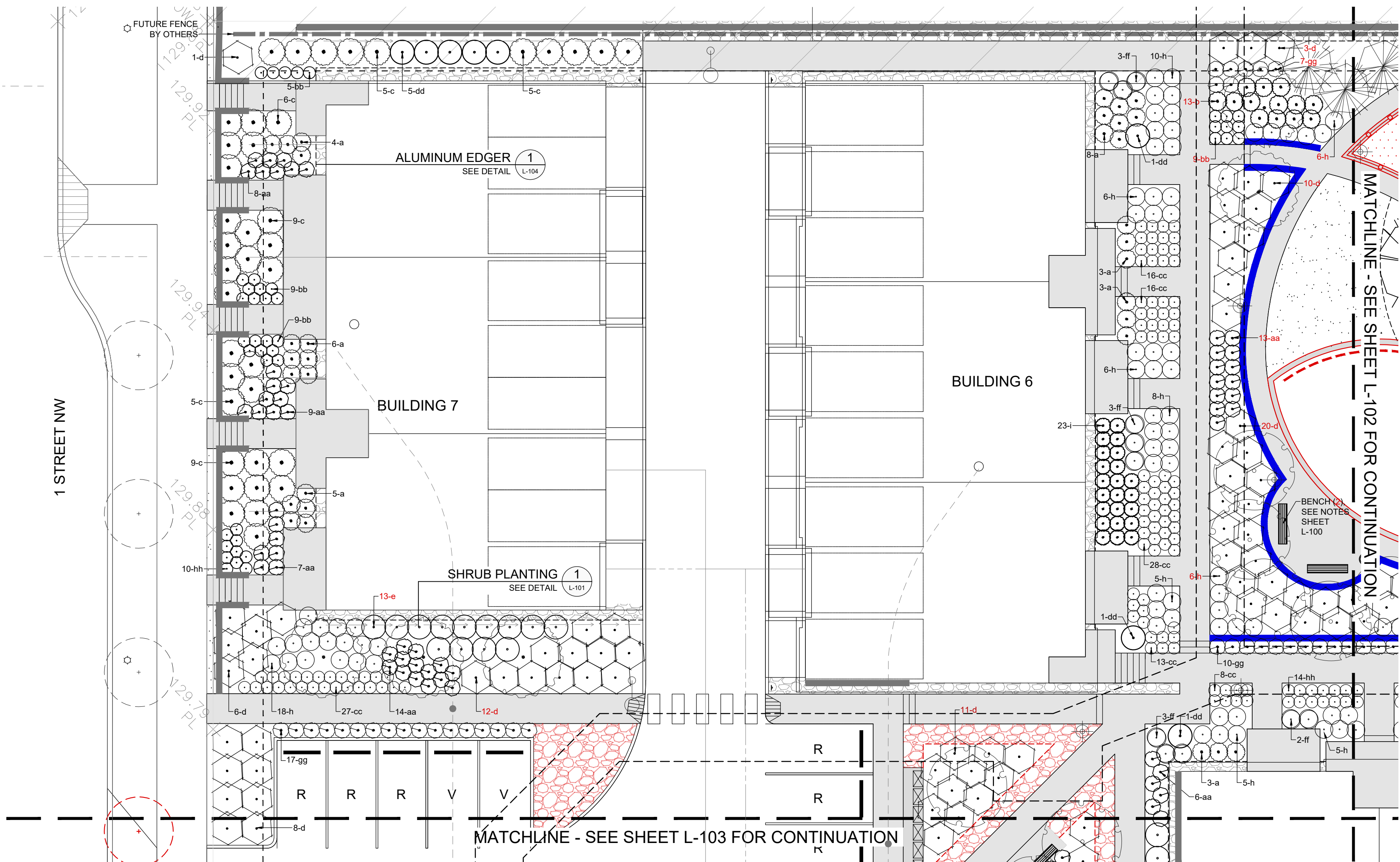
Checked By: NM

Scale: AS SHOWN

Sheet: Issue/Revision

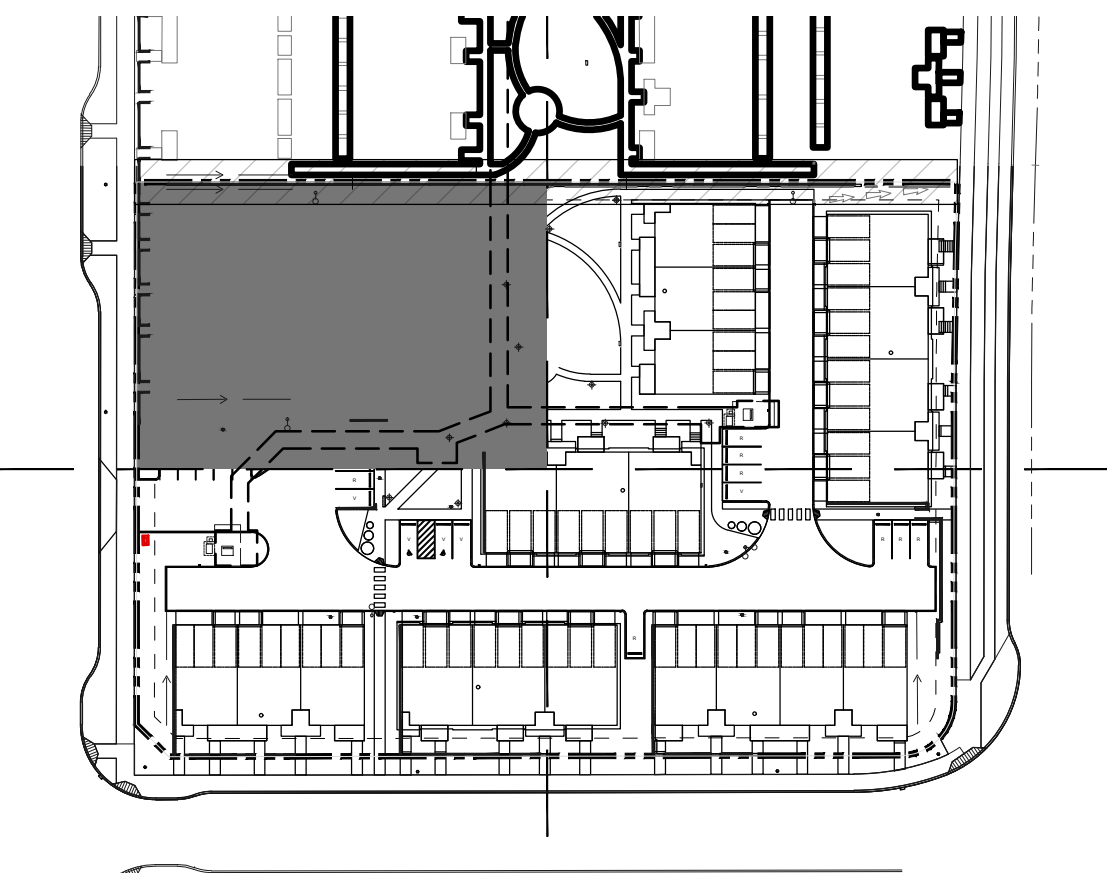
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2



PLANTING ENLARGEMENT PLAN 1 OF 4

SCALE: 1:150
0 5m



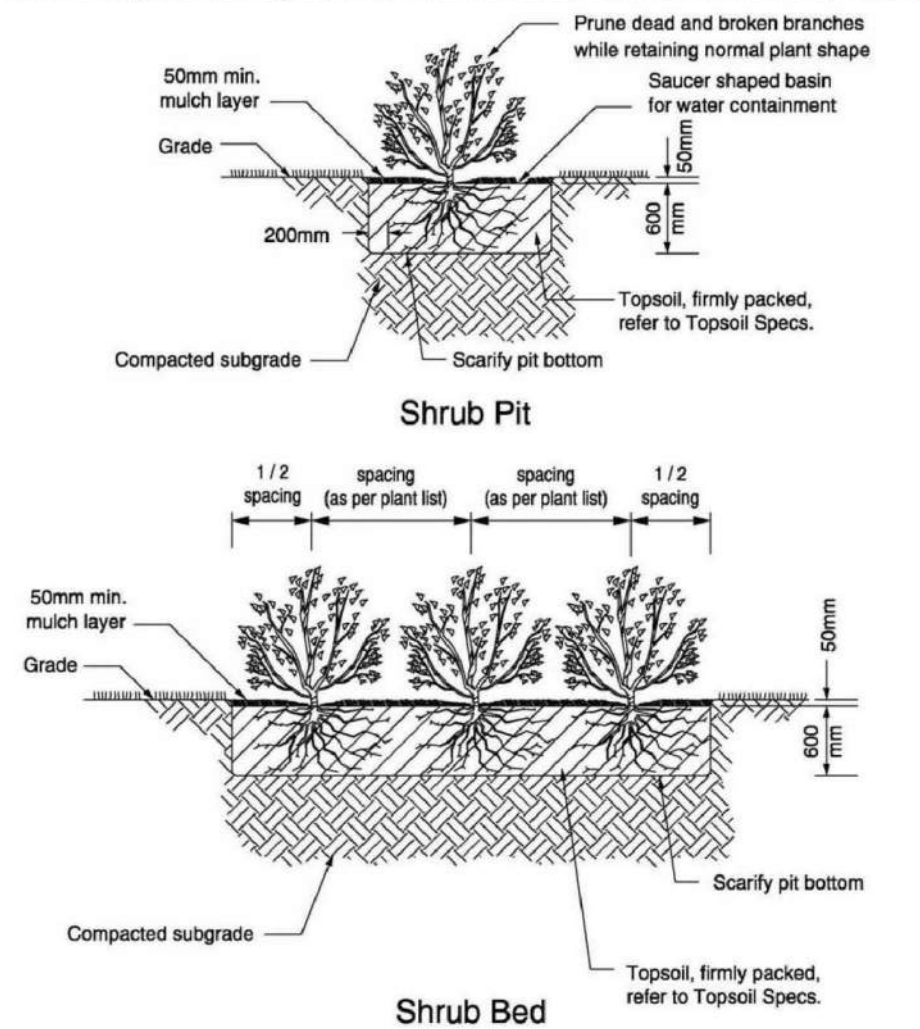
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The following shrub planting detail will be used for all potted deciduous or coniferous shrubs



1 SHRUB PLANTING DETAIL
L-101 SCALE N.T.S.

MATERIAL LIST

KEY	QTY.	UNIT	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
SHRUBS					
a	183	each	BERBERIS THUNBERGII 'BAILONE'	RUBY CAROUSEL BARBERRY	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
b	25	each	BERBERIS THUNBERGII 'SUNSATON'	SUNSATON BARBERRY	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
c	67	each	HYDRANGEA PANICULATA 'SMHPLQ'	LITTLE QUICK FIRE HYDRANGEA	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
d	107	each	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	ANDORRA JUNIPER	600mm MN. SPREAD; EVENLY BRANCHED; BUSHY PLANTS WITH NO BARE OR BROWN SPOTS. CONTAINERSPECIMEN.
e	66	each	PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
f	12	each	RIBES ALPINUM	ALPINE CURRANT	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
g	3	each	SAMBUCUS RACEMOSA 'MORDEN GOLDEN GLOW'	MORDEN GLOW ELDER	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
h	258	each	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
i	40	each	VIBURNUM OPULUS 'NANUM'	DWARF EUROPEAN CRANBERRY	600mm MN. HT.; MN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
PERENNIALS/GRASSES					
aa	265	each	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
bb	77	each	HEMEROCALLIS 'PURPLE D'ORO'	PURPLE D'ORO DAYLILY	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
cc	221	each	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
dd	8	each	HOSTA 'SUM AND SUBSTANCE'	SUM AND SUBSTANCE HOSTA	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
ee	22	each	LEYMUS ARENARIUS 'BLUE DUNE'	BLUE DUNE LYME GRASS	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
ff	15	each	LIGULARIA DENTANA 'OTHELLO'	OTHELLO RAYFLOWER	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
gg	73	each	MOLOНИЯ CAERULEA 'VARIEGATA'	VARIEGATED MOOR GRASS	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
hh	90	each	SALVIA VERTICILLATA 'PURPLE RAIN'	PURPLE RAIN SALVIA	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
MISC. MATERIALS					
-	1460	m²	600mm DEPTH SHRUB BED MIX		INSTALL TO CITY OF CALGARY MUNICIPAL STANDARDS

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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Client



Project Title

Livingston 2 - South

Drawing Title

Planting Enlargement
Plan 1 of 4

Project No: 22-31

Date: 2023-03-24

Designed By: DB

Drawn By: SP / NM

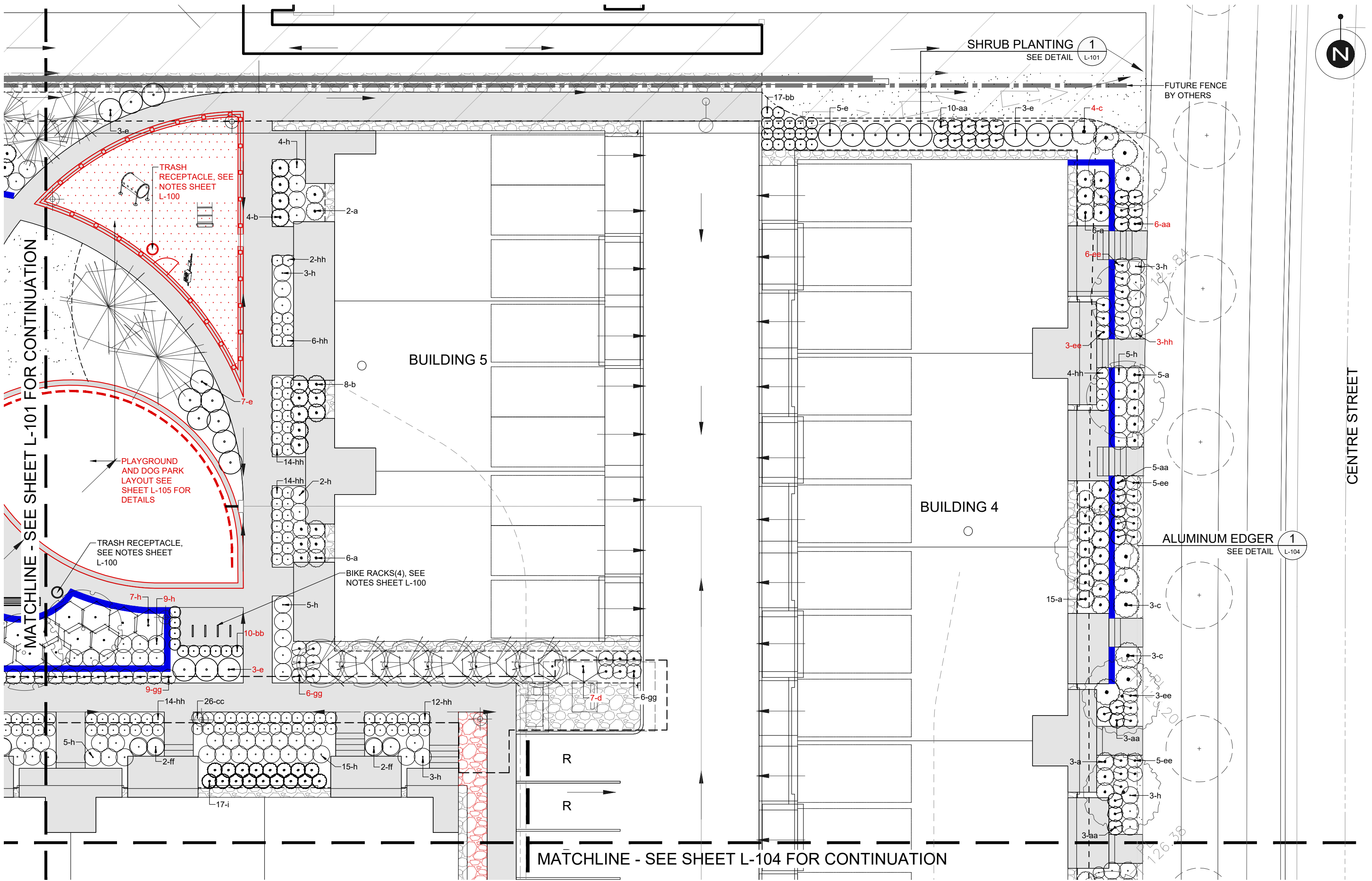
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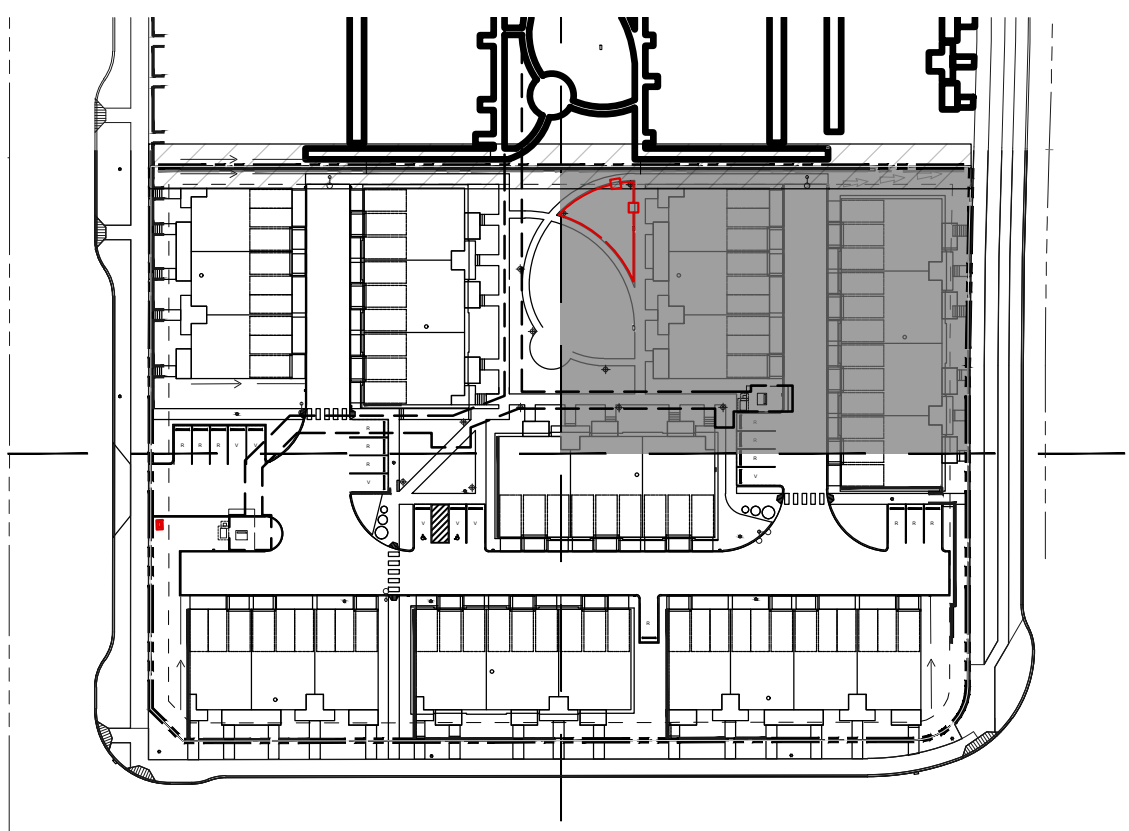
L-101

2



PLANTING ENLARGEMENT PLAN 2 OF 4

SCALE: 1:150



KEY PLAN

SCALE: N.T.S.

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MINIMUM SETBACK OF TREES

Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services Medians	Mains Parallel to tree line	Services Medians	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b 3.0 m
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b 3.0 m
Water	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b 3.0 m
Hydrants	3.0 m	4.0 m	N/A	2.5 m	2.5 m	N/A 3.0 m
Shallow Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a
TELUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
CTV	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
Enmax	Poplar		Deciduous		Coniferous	
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m	
Transformers (within Utility Rights of Way)			N/A (Tree planting not permitted within Utility Rights-of-Way)			
Street Light Poles	Poplar		Deciduous		Coniferous	
	5.0 m		4.0 m - 5.0 m		Min. 4.0 m	

MATERIAL LIST

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c	67	each	HYDRANGEA PANICULATA 'SMHPLQ'	LITTLE QUICK FIRE HYDRANGEA	600mm MIN. HT., MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
d	107	each	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	ANDORRA JUNIPER	600mm MIN. SPREAD; EVENLY BRANCHED; BUSHY PLANTS WITH NO BARE OR BROWN SPOTS, CONTAINERS/SPECIMEN.
e	66	each	PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	600mm MIN. HT., MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
f	12	each	RIBES ALPINUM	ALPINE CURRANT	600mm MIN. HT., MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
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Drawing Title

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Plan 2 of 4

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Designed By: DB

Drawn By: SP / NM

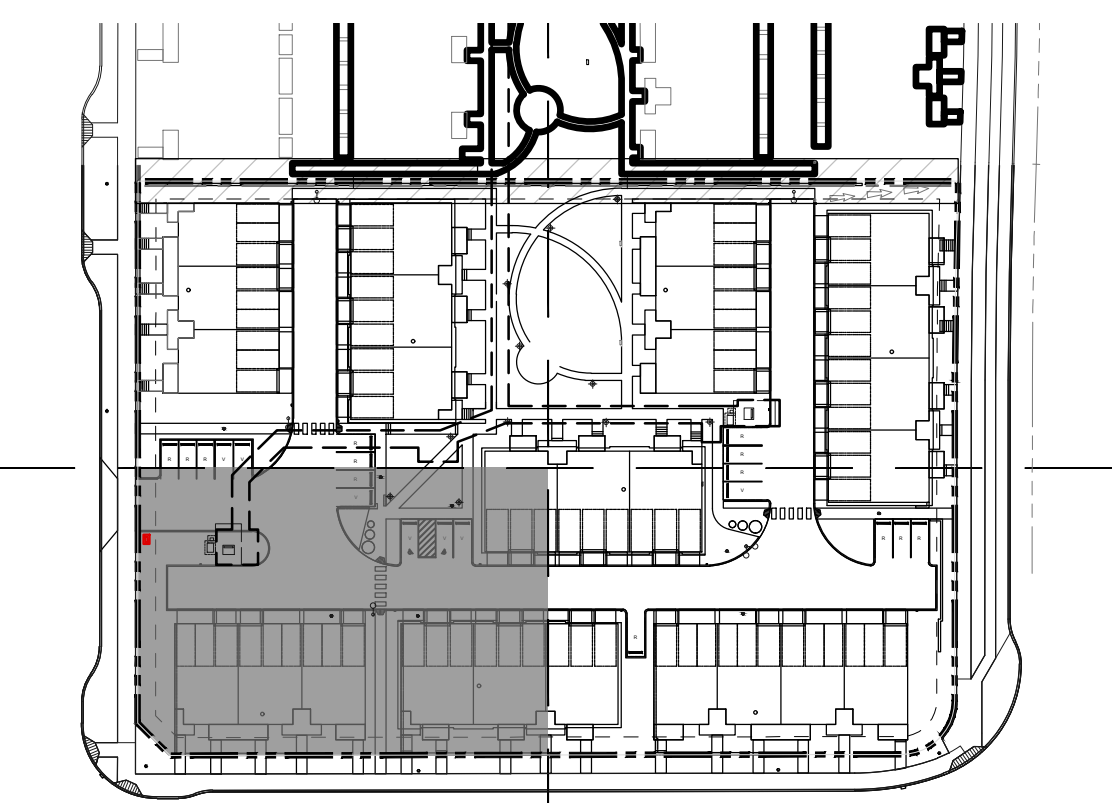
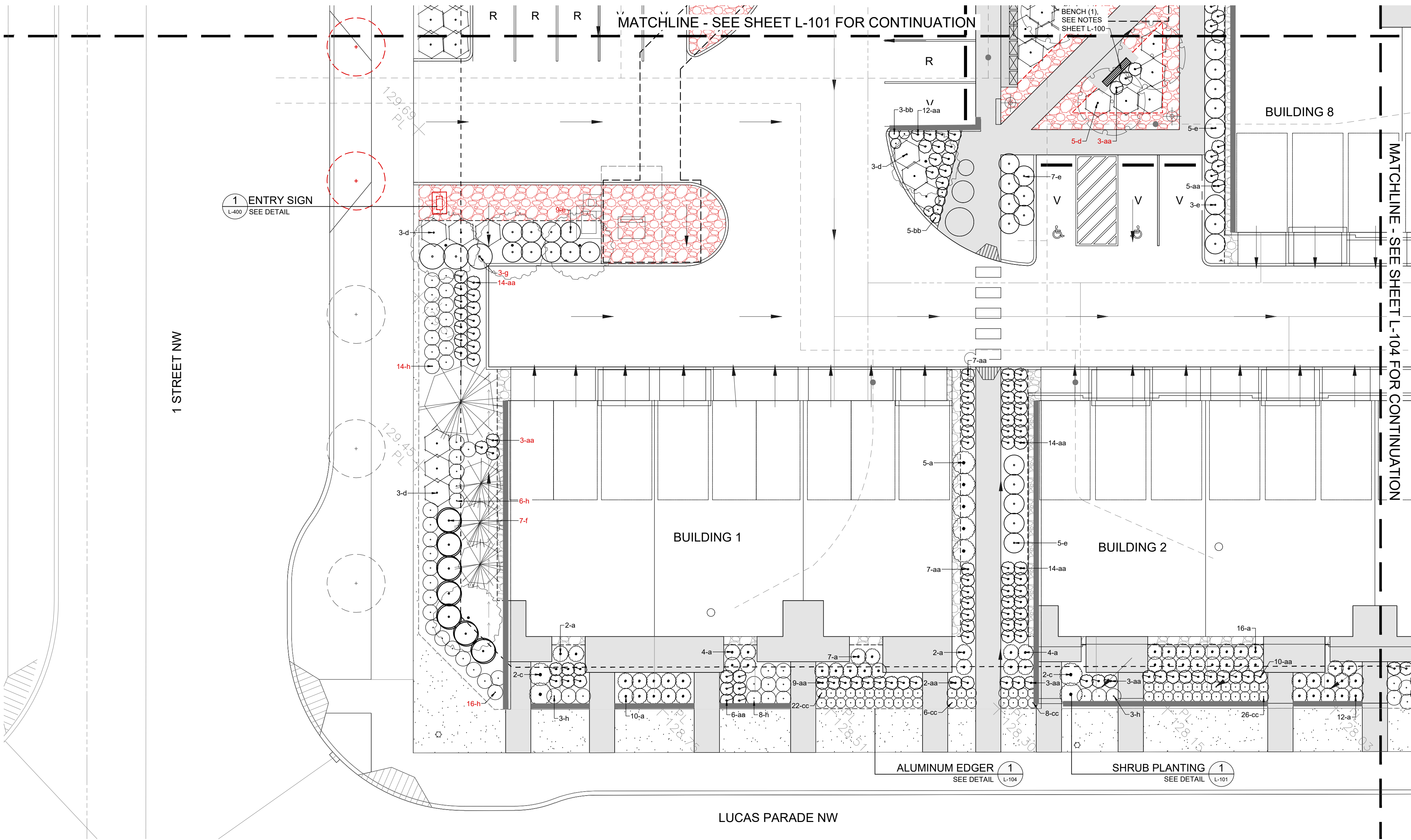
Checked By: NM

Scale: AS SHOWN

Sheet: Issue/Revision

L-102

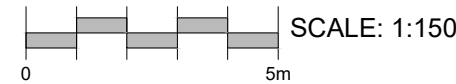
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KEY PLAN

SCALE: N.T.S.

PLANTING ENLARGEMENT PLAN 3 OF 4



MATERIAL LIST

KEY	QTY.	UNIT	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
SHRUBS					
a	183	each	BERBERIS THUNBERGII 'BAILONE'	RUBY CAROUSEL BARBERRY	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
b	25	each	BERBERIS THUNBERGII 'SUNSATIØN'	SUNSATIØN BARBERRY	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
c	67	each	HYDRANGEA PANICULATA 'SMHPLOQ'	LITTLE QUICK FIRE HYDRANGEA	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
d	107	each	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	ANDORRA JUNIPER	600mm MIN. SPREAD; EVENLY BRANCHED; BUSHY PLANTS WITH NO BARE OR BROWN SPOTS, CONTAINERSPECIMEN.
e	66	each	PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
f	12	each	RIBES ALPINUM	ALPINE CURRANT	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
g	3	each	SAMBUCUS RACEMOSA 'MORDEN GOLDEN GLOW'	MORDEN GLOW ELDER	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
h	258	each	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
i	40	each	VIBURNUM OPULUS 'NANUM'	DWARF EUROPEAN CRANBERRY	600mm MIN. HT. MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
PERENNIALS/GRASSES					
aa	265	each	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
bb	77	each	HEMEROCALLIS 'PURPLE D'ORO'	PURPLE D'ORO DAYLILY	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
cc	221	each	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
dd	8	each	HOSTA 'SUM AND SUBSTANCE'	SUM AND SUBSTANCE HOSTA	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
ee	22	each	LEYMUS ARENARIUS 'BLUE DUNE'	BLUE DUNE LYME GRASS	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
ff	15	each	LIGULARIA DENTANA 'OTHELLO'	OTHELLO RAYFLOWER	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
gg	73	each	MOLONIA CAERULEA 'VARIEGATA'	VARIEGATED MOOR GRASS	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
hh	90	each	SALVIA VERTICILLATA 'PURPLE RAIN'	PURPLE RAIN SALVIA	HEALTHY TWO YEAR TRANSPLANT WITH WELL CROWNS & DEVELOPED ROOT SYSTEM. MIN 15cm CONT.
MISC. MATERIALS					
-	1460	m²	600mm DEPTH SHRUB BED MIX	INSTALL TO CITY OF CALGARY MUNICIPAL STANDARDS	

GENERAL NOTES

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- ALL LANDSCAPE CONSTRUCTION TO MEET OR EXCEED CITY OF CALGARY STANDARDS.
- PRIOR TO INSTALLATION, ALL LOCAL NURSERY STOCK MAY BE INSPECTED BY CIVIC REPRESENTATIVES TO ENSURE STOCK AVAILABILITY. LANDSCAPE ARCHITECT TO COORDINATE THIS OPTIONAL INSPECTION WITH THE DIRECTOR OF PROJECT MANAGEMENT
- PRIOR TO INSTALLATION OF PLANT MATERIALS, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL (1-800-242-3447) AND OTHER UTILITIES AS REQUIRED TO STAKE ALL BELOW GRADE UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO UTILITIES.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, THE LANDSCAPE ARCHITECT WILL INSPECT STAKING OF ALL TREE AND SHRUB LOCATIONS HAVING REGARD FOR THE UTILITIES STAKED BY ALBERTA FIRST CALL AND OTHERS AND ALL SETBACKS.
- ALL EXCAVATIONS ARE TO MAINTAIN THE MINIMUM DEFINED SETBACKS FROM UTILITIES.
- IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0m TO UNDERGROUND POWER, TELEPHONE AND GAS ALIGNMENTS, HAND DIGGING UNDER THE SUPERVISION OF THE AFFECTED UTILITY WILL BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE APPROPRIATE UTILITY TO APPROVE, REVIEW, AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
- CONTRACTOR RESPONSIBLE FOR SOIL TESTS AND AMENDMENTS FOR TOPSOIL FROM STOCKPILE. SOIL TEST RESULTS AND RECOMMENDATIONS TO BE SUBMITTED TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL TO BE TRUE TO TYPE, SIZE, QUALITY, AND CONDITION AS SPECIFIED. ALL TREES MUST BE HIGH HEADED WITH FULL AND UNIFORM CROWNS AND SINGLE WELL DEVELOPED LEADERS. TREES WITH BROKEN LEADERS WILL NOT BE ACCEPTED. ALL ELM SPECIES MUST COME FROM A LOCAL DED FREE SOURCE.
- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND NOTIFYING CONSULTANT OF ANY OMISSIONS.
- TREE LOCATIONS TO BE ADJUSTED ON SITE WITH REGARD TO MINIMUM TREE SETBACKS FOR ABOVE AND BELOW GROUND UTILITIES AND DRIVEWAYS.
- ALL ARCHITECTURAL FEATURES TO BE LOCATED ON PRIVATE PROPERTY. ALL FLANKAGE / CORNER CUT FEATURE LOCATIONS TO BE FIELD ADJUSTED WITH RELATION TO STREET FURNITURE AS PER LANDSCAPE ARCHITECT.
- FENCING CONTRACTOR TO ENSURE THAT POSTING WILL STRADDLE LOT SERVICING.
- ALL PINE SPECIES MUST COME FROM PITCH MOTH (PETROVA ALBICAPITANA) FREE SOURCE.
- ALL ELM SPECIES MUST COME FROM A DUTCH ELM DISEASE (DED) FREE SOURCE.

MINIMUM SETBACK OF TREES

Deep Utilities	Poplar		Deciduous		Coniferous			
	Services	Mains Parallel to tree line	Services Medians	Blvds	Mains Parallel to tree line	Services Medians	Blvds	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b	3.0 m	4.0 m
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b	3.0 m	4.0 m
Water	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b	3.0 m	4.0 m
Hydrants	3.0 m	4.0 m	N/A	2.5 m	2.5 m	N/A	3.0 m	4.0 m
Shallow Utilities	Poplar		Deciduous		Coniferous			
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line		
ATCO	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a		
TELUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a		
CTV	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a		
ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a		
Enmax	Poplar		Deciduous		Coniferous			
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m			
Transformers (within Utility Rights of Way)	(Tree planting not permitted within Utility Rights-of-Way)				N/A			
Street Light Poles	Poplar		Deciduous		Coniferous			
	5.0 m		4.0 m - 5.0 m		Min. 4.0 m			

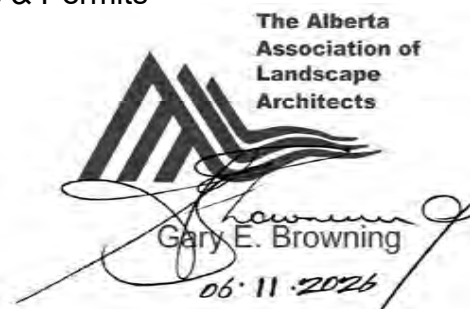
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Revisions

Description	No.	Date	By
Issued for SI	0	2025/10/07	SP
Issued for Construction	1	2025/10/07	SP
Issued for Revised Plan	2	2026/06/11	SP

Seals & Permits



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DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

Client



Project Title

Livingston 2 - South

Drawing Title

Planting Enlargement Plan 3 of 4

Project No: 22-31

Date: 2023-03-24

Designed By: DB

Drawn By: SP / NM

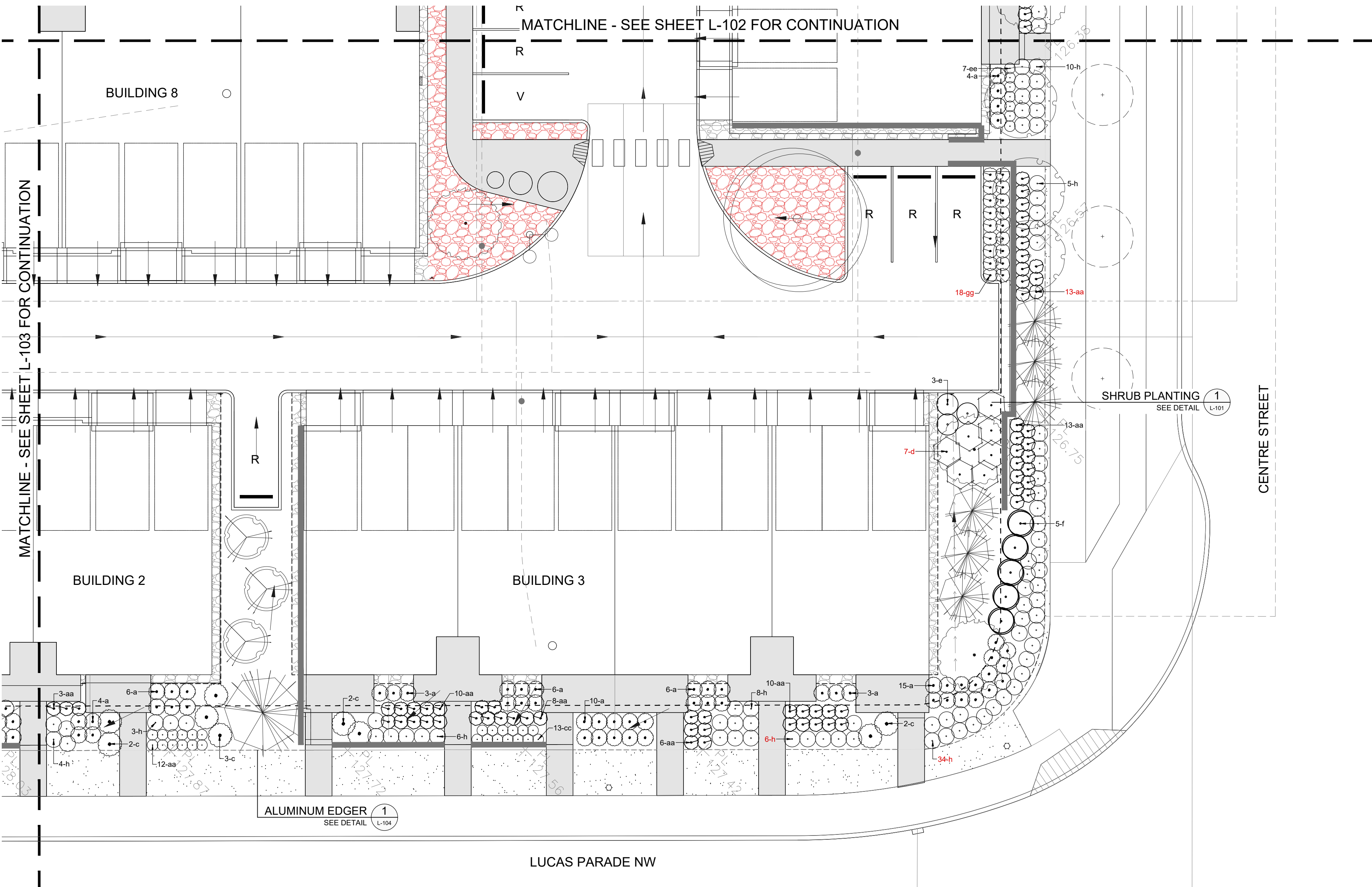
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Sheet: Issue/Revision

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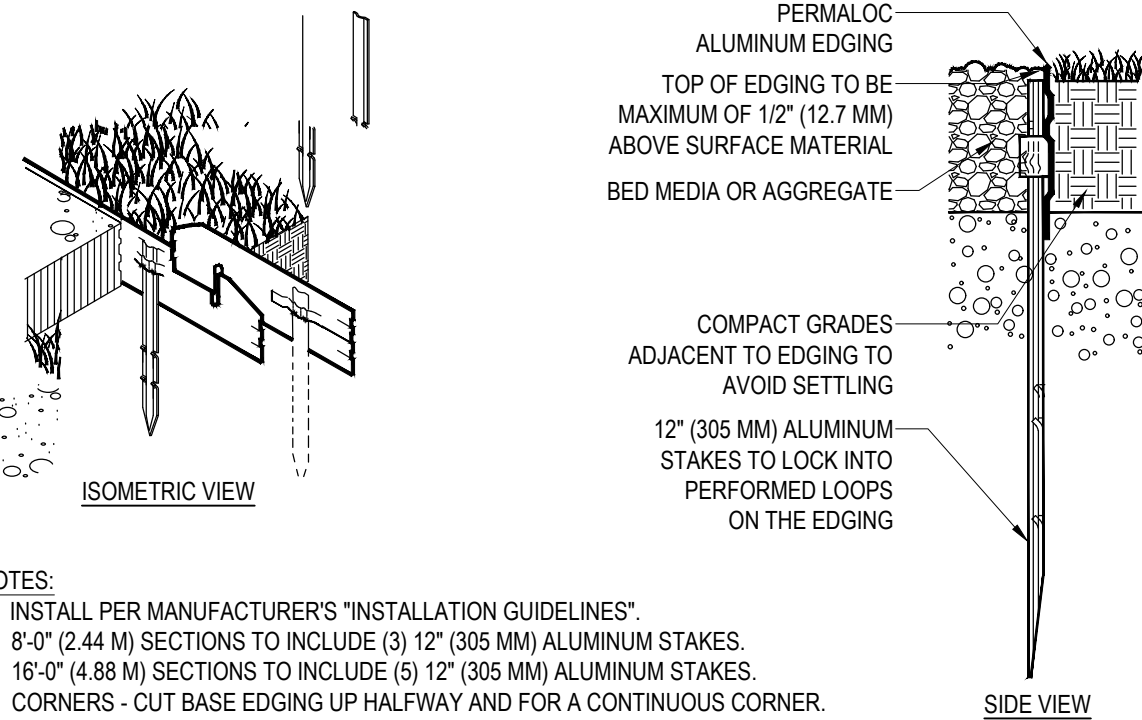


PLANTING ENLARGEMENT PLAN 4 OF 4

SCALE: 1:150

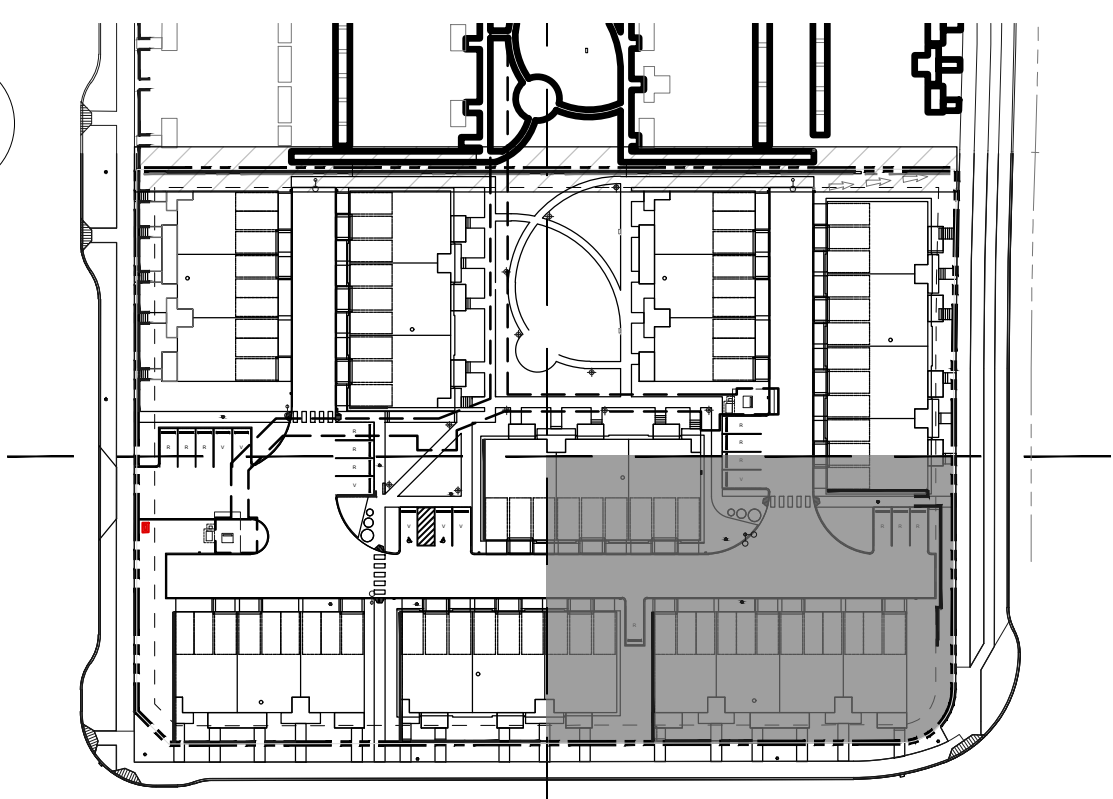
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b	25	each	BERBERIS THUNBERGII 'SUNSATI'	SUNSATIION BARBERRY	600mm MIN. HT.; MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
c	67	each	HYDRANGEA PANICULATA 'SMPLPG'	LITTLE QUICK FIRE HYDRANGEA	600mm MIN. HT.; MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
d	107	each	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	ANDORRA JUNIPER	600mm MIN. SPREAD; EVENLY BRANCHED; BUSHY PLANTS WITH NO BARE OR BROWN SPOTS. CONTAINERS/SPECIMEN.
e	66	each	PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	600mm MIN. HT.; MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
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g	3	each	SAMBUCUS RACEMOSA 'MORDEN GOLDEN GLOW'	MORDEN GLOW ELDER	600mm MIN. HT.; MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
h	258	each	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	600mm MIN. HT.; MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
i	40	each	VIBURNUM OPULUS 'NANUM'	DWARF EUROPEAN CRANBERRY	600mm MIN. HT.; MIN. 5 CANES EVENLY BRANCHED; 300mm ROOT SPREAD; BUSHY PLANTS.
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MISC. MATERIALS					
-	1460	m ²	600mm DEPTH SHRUB BED MIX	INSTALL TO CITY OF CALGARY MUNICIPAL STANDARDS	



1 ALUMINUM EDGER DETAIL

SCALE N.T.S.



KEY PLAN

SCALE: N.T.S.

MINIMUM SETBACK OF TREES

Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b
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Shallow Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a
TELUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
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ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
Enmax	Poplar		Deciduous		Coniferous	
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m	
Transformers (within Utility Rights of Way)			N/A		(Tree planting not permitted within Utility Rights-of-Way)	
Street Light Poles	Poplar		Deciduous		Coniferous	
	5.0 m		4.0 m - 5.0 m		Min. 4.0 m	

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- FENCING CONTRACTOR TO ENSURE THAT POSTING WILL STRADDLE LOT SERVING.
- ALL PINE SPECIES MUST COME FROM PITCH MOTH (PETROVA ALBICAPITANA) FREE SOURCE.
- ALL ELM SPECIES MUST COME FROM A DUTCH ELM DISEASE (DED) FREE SOURCE.

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Issued for Revised Plan	2	2026/06/11	SP

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DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

Client



Project Title

Livingston 2 - South

Drawing Title

Planting Enlargement Plan 4 of 4

Project No: 22-31

Date: 2023-03-24

Designed By: DB

Drawn By: SP / NM

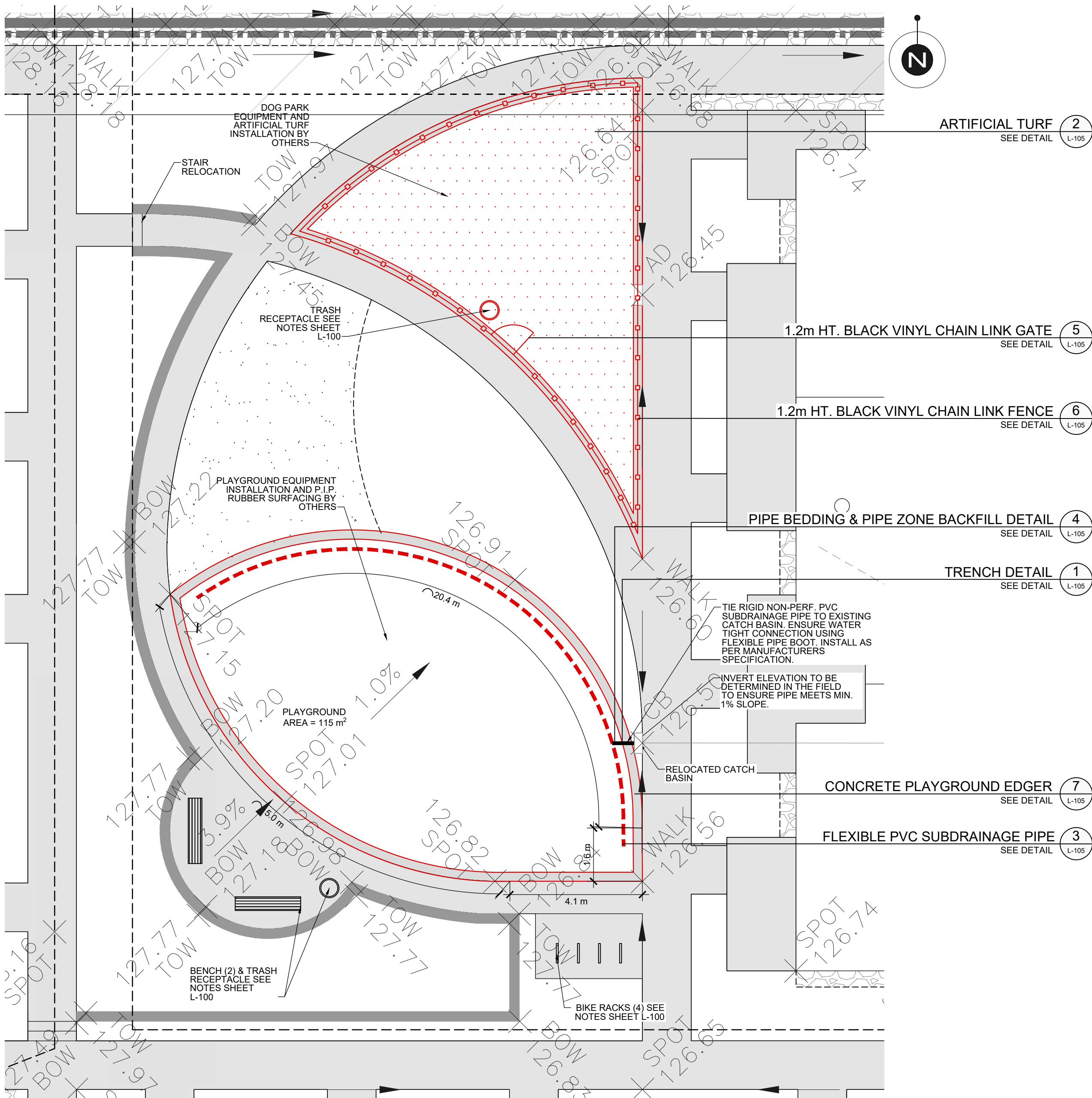
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Sheet: Issue/Revision

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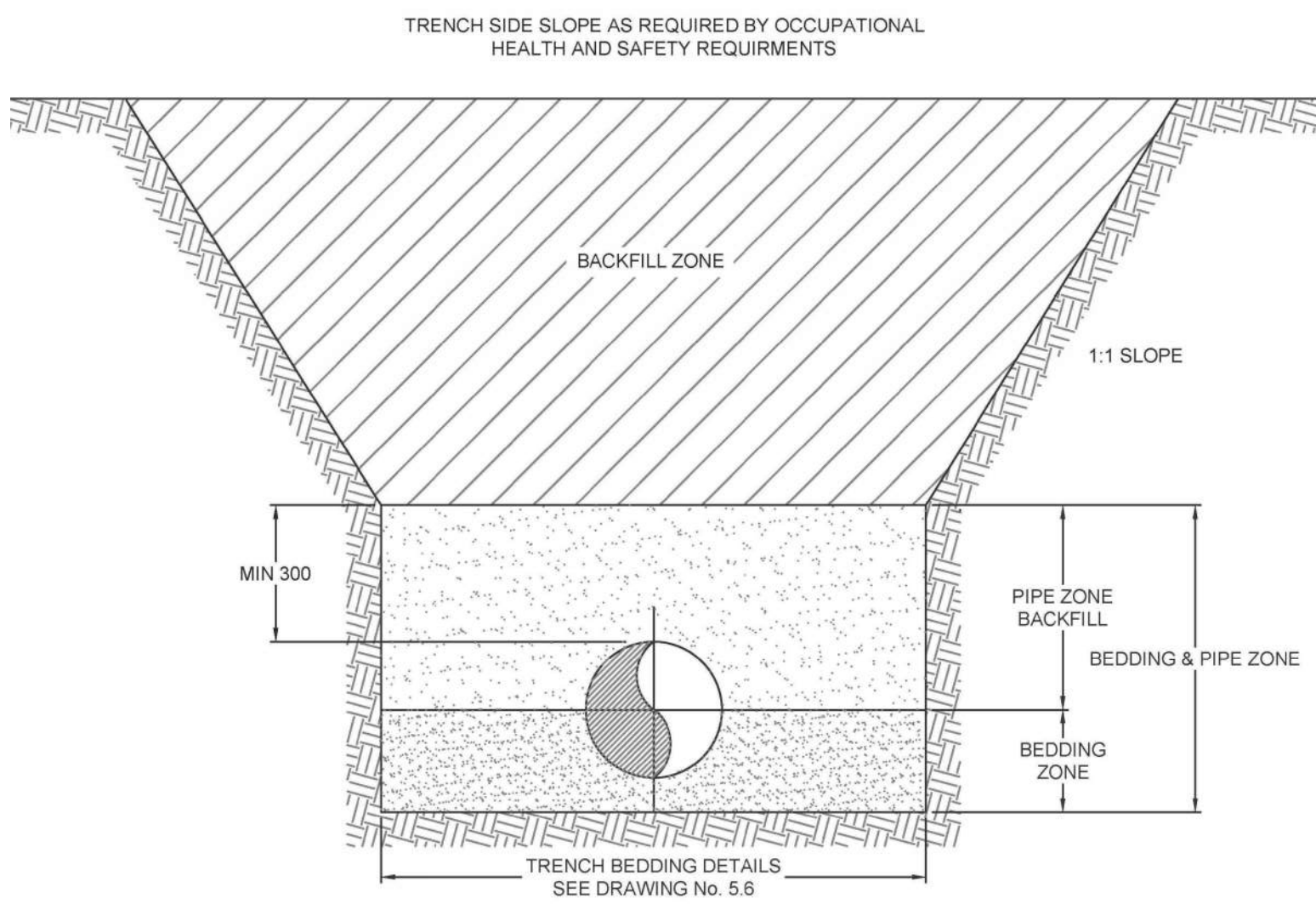


PLAYGROUND & DOG PARK LAYOUT

SCALE: 1:100

ASSOCIATED MATERIALS

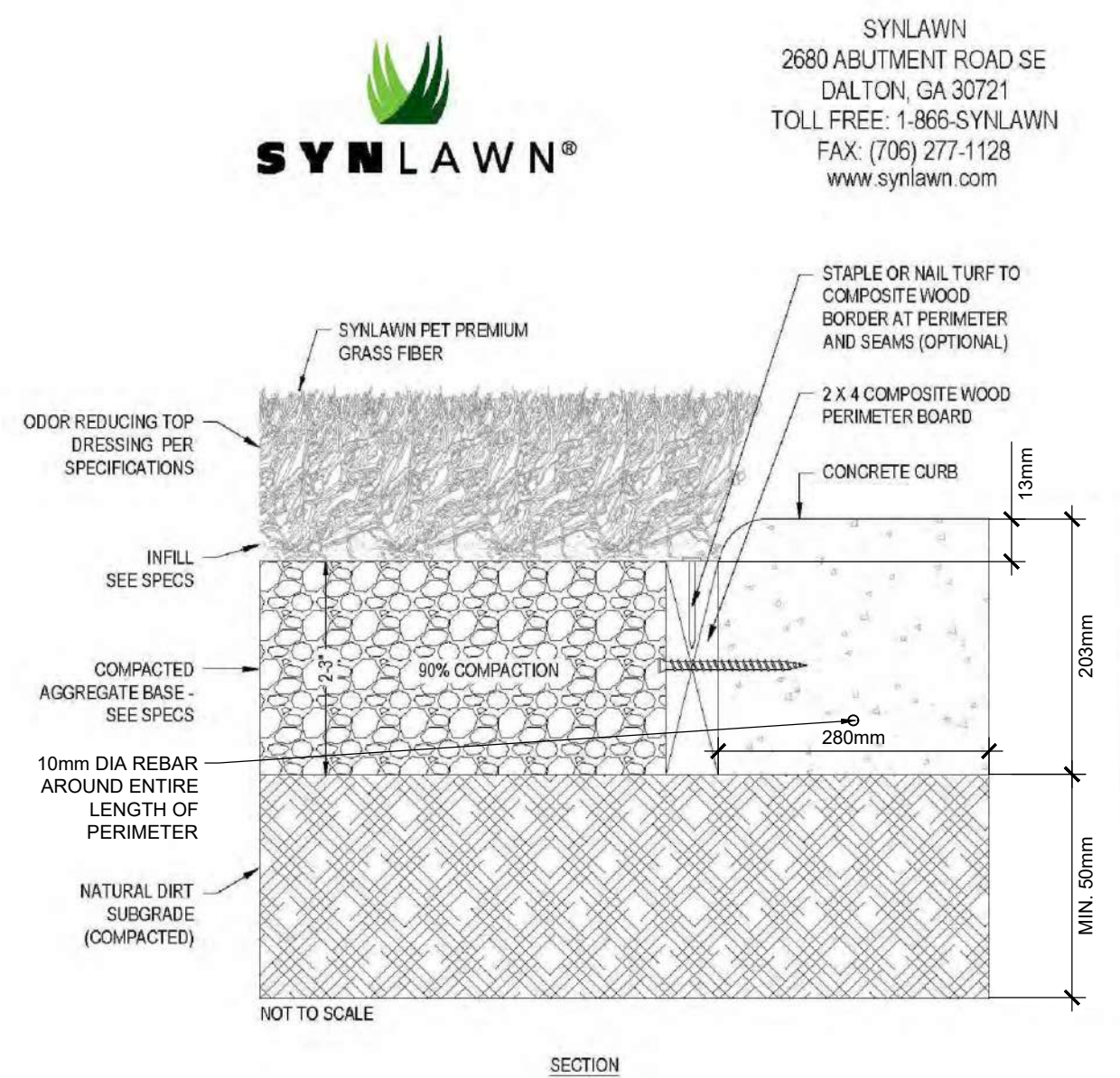
ARTIFICIAL TURF
MANUFACTURER: SYNLAWN
MODEL: PET PREMIUM (OR APPROVED EQUAL)
www.synlawn.ca
QTY: 75m²



- NOTES:
- ALL DIMENSIONS ARE IN MILLIMETERS.
 - FOR FURTHER CLARIFICATION ON BEDDING TYPES AND COMPACTION REQUIREMENTS REFER TO WRITTEN STANDARDS.

1 TRENCH DETAIL

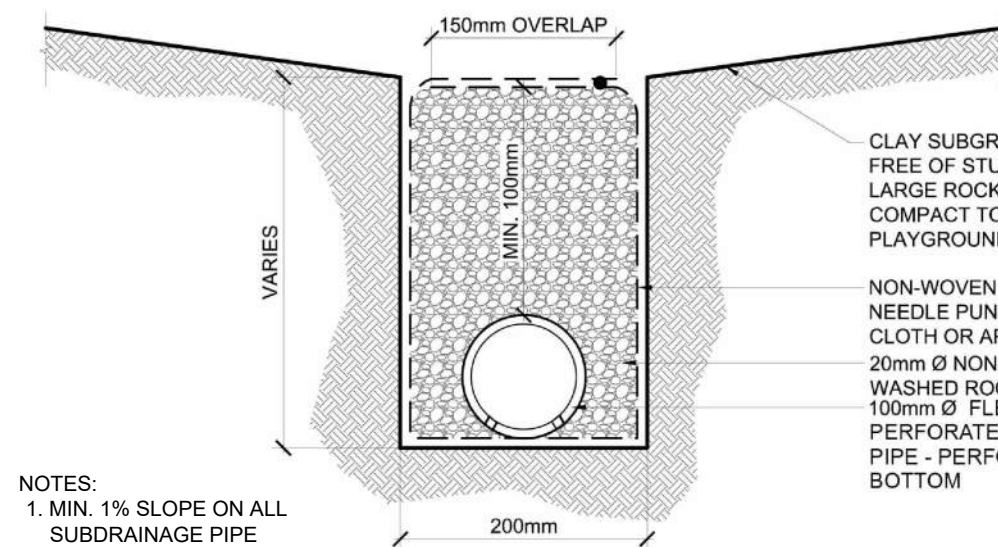
L-105 SCALE NTS



- MANUFACTURER NOTES:
- THE GRASS MUST BE INSTALLED AND SEALED WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION; SEAMS SHOULD BE GLUED WITH SUITABLE SEAMING GLUE AND SEAMING CLOTH, NOT ADHESIVE TAPE.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT: www.CADdetails.com/info AND ENTER REFERENCE NUMBER 1437-313.

2 ARTIFICIAL TURF DETAIL

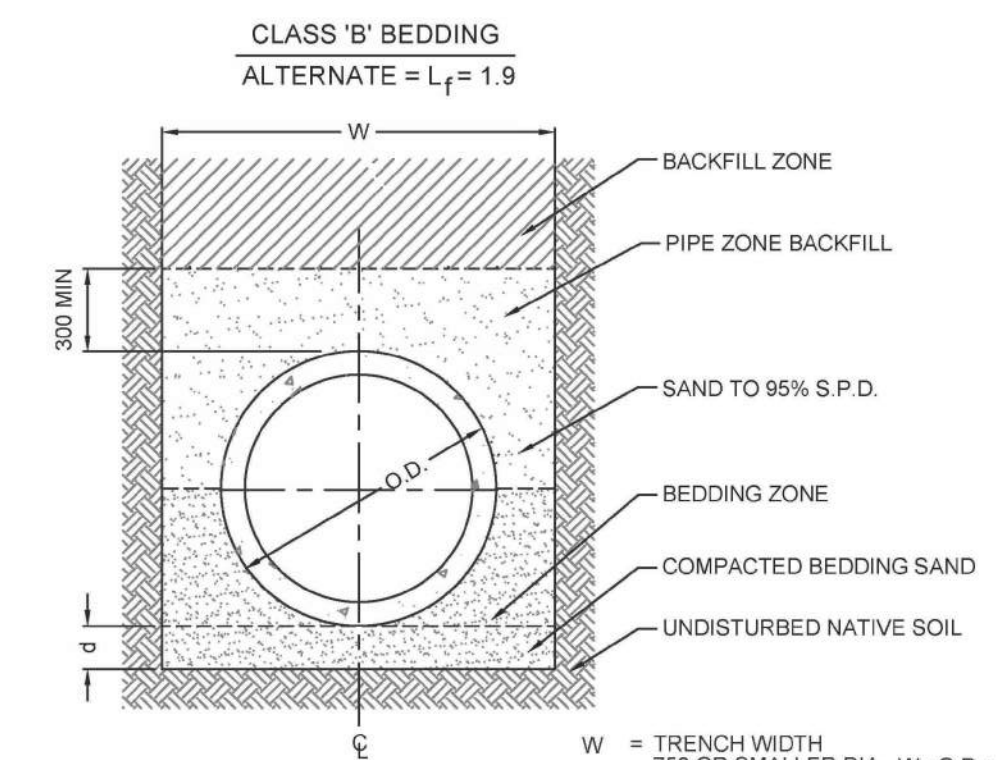
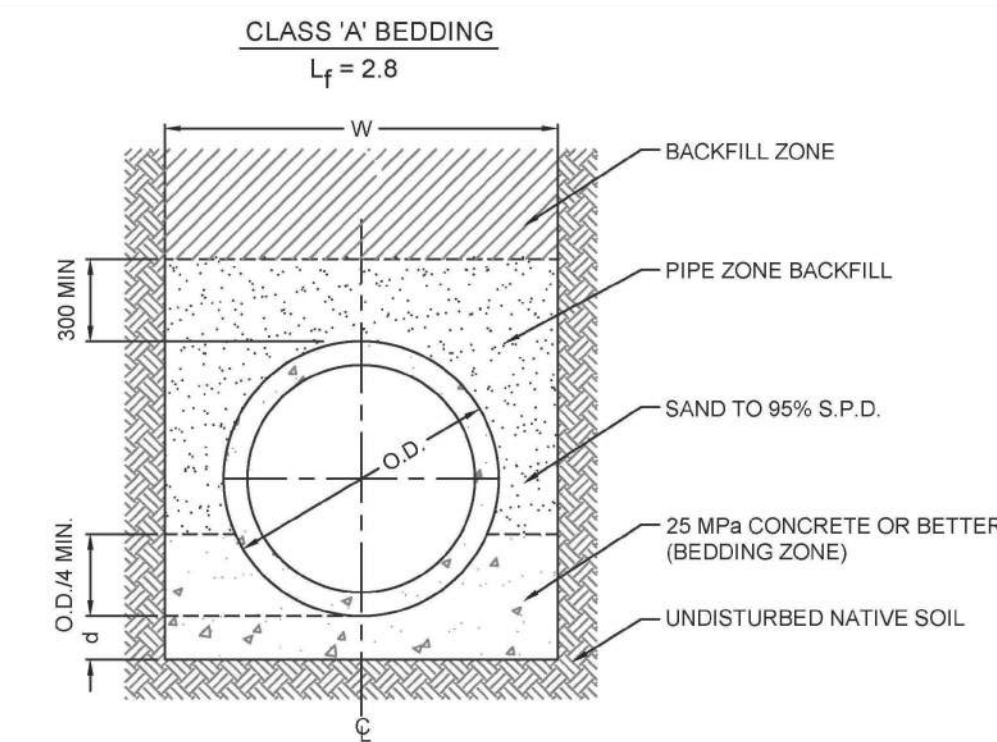
L-105 SCALE NTS



- NOTES:
- MIN. 1% SLOPE ON ALL SUBDRAINAGE PIPE

3 FLEXIBLE PVC SUBDRAINAGE PIPE

L-105 SCALE NTS



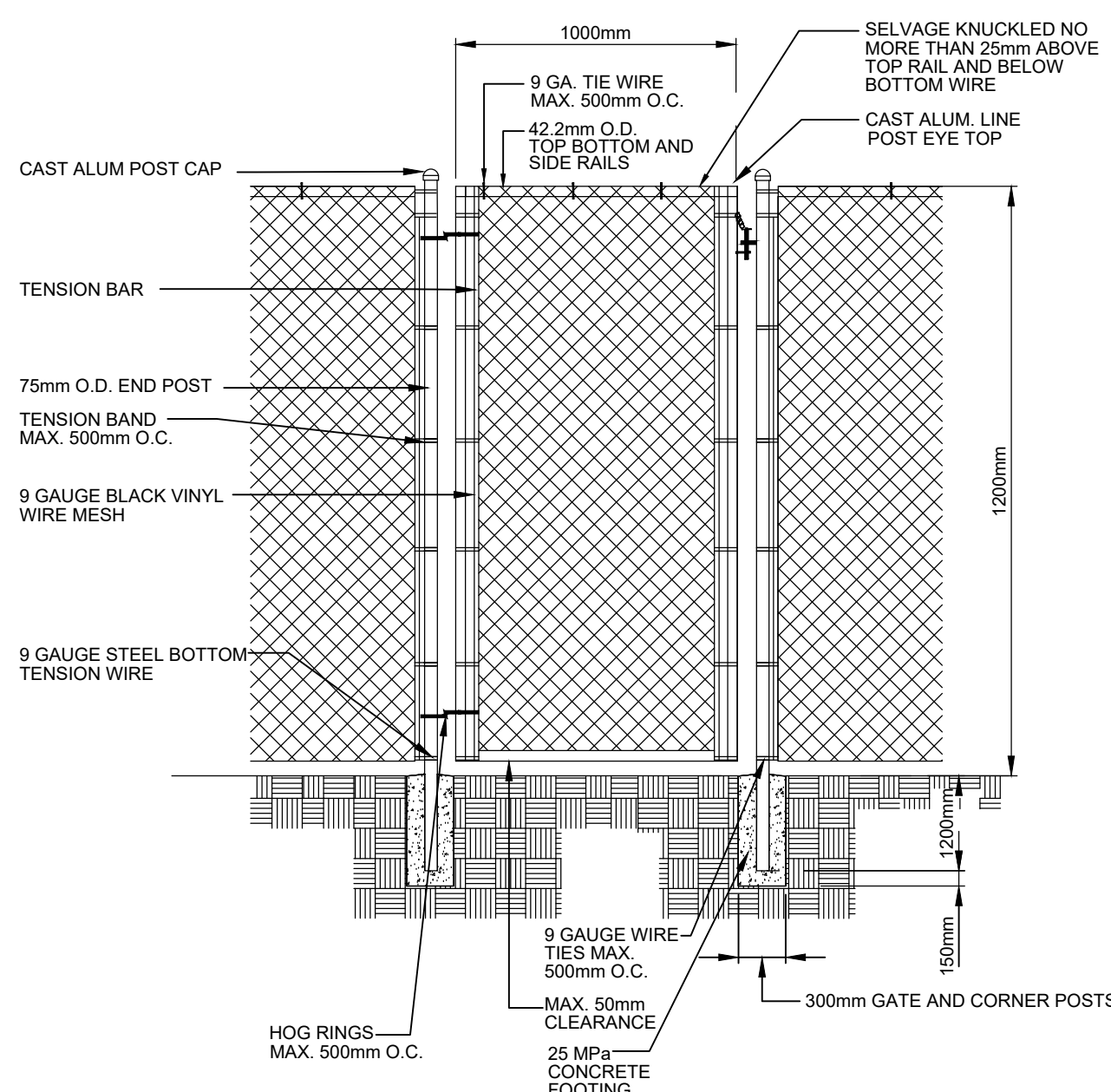
- NOTE:
- WHERE NO SPECIFIC BEDDING AND PIPE ZONE BACKFILL IS INDICATED ON THE DRAWING, USE CLASS 'B'.
 - GRANULAR BEDDING AND BACKFILLS SHALL BE PLACED AND COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 150mm IN DEPTH.

4 PIPE BEDDING & PIPE ZONE BACKFILL DETAIL

L-105 SCALE NTS

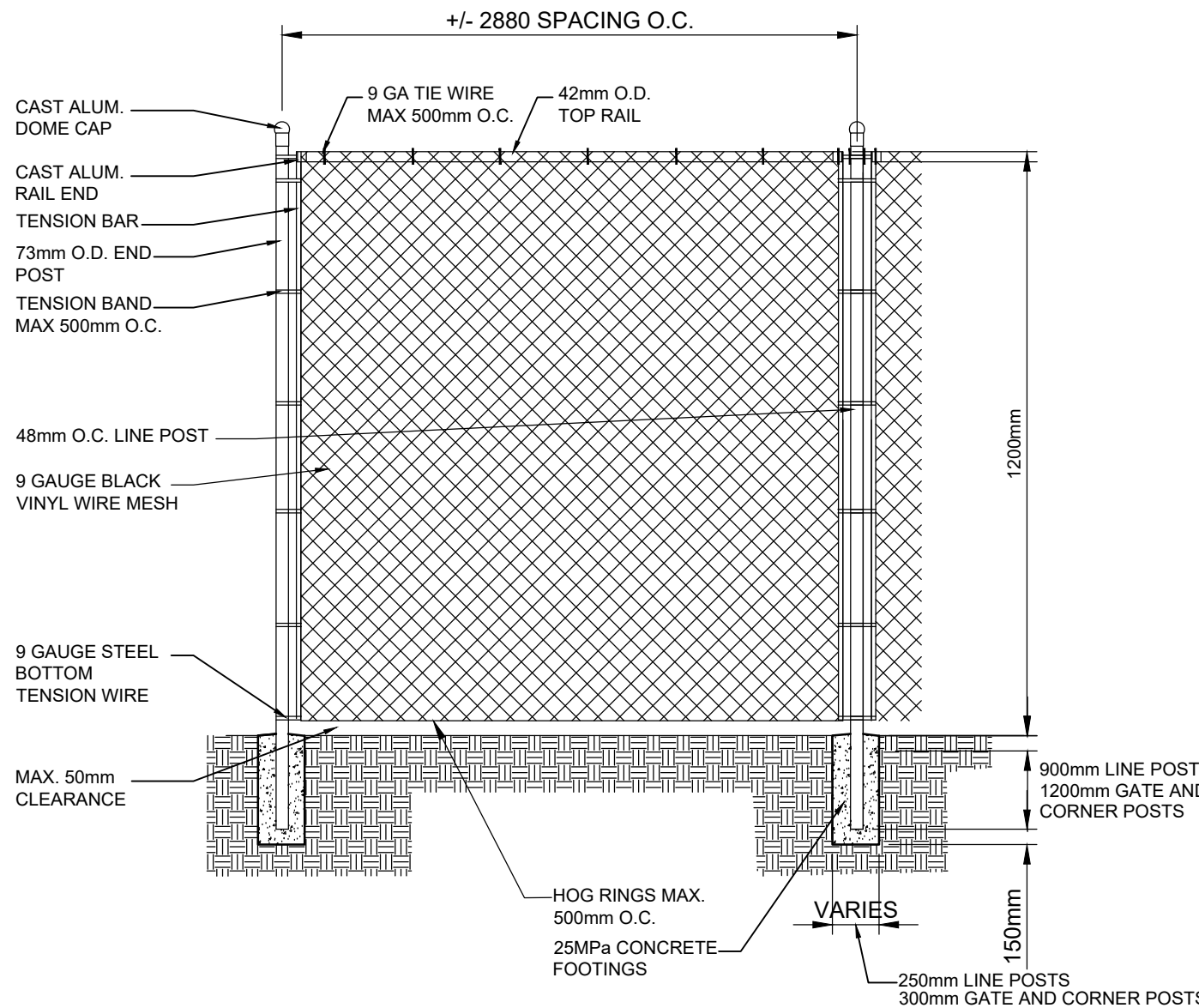
CHAIN LINK FENCE NOTES:

- GATE POSTS TO BE 75 mm O.D.
- GATE FRAME TO BE 42 mm O.D.
- CONCRETE TO BE NORMAL PORTLAND CEMENT (25 Mpa At 28 DAYS, 50 mm TO 80 mm SLUMP, 20 mm AGGREGATE, 6% AIR ENTRAINMENT).
- CONCRETE FOR FOOTING MUST HAVE A MAX COMPRESSIVE STRENGTH OF 17.5MPa AT 28 DAYS, MAX AGGREGATE TO BE 25mm.
- FENCE TO BE 150 mm INSIDE PRIVATE PROPERTY.
- ALL COMPONENTS TO BE FINISHED BLACK.
- ALL GATES TO BE A MINIMUM OF 1.5m FROM PROPERTY PIN.
- GATES ARE NOT REQUIRED IN FENCES ON SIDE LOT LINES.
- ALL GATE HARDWARE TO BE TAMPERPROOF.



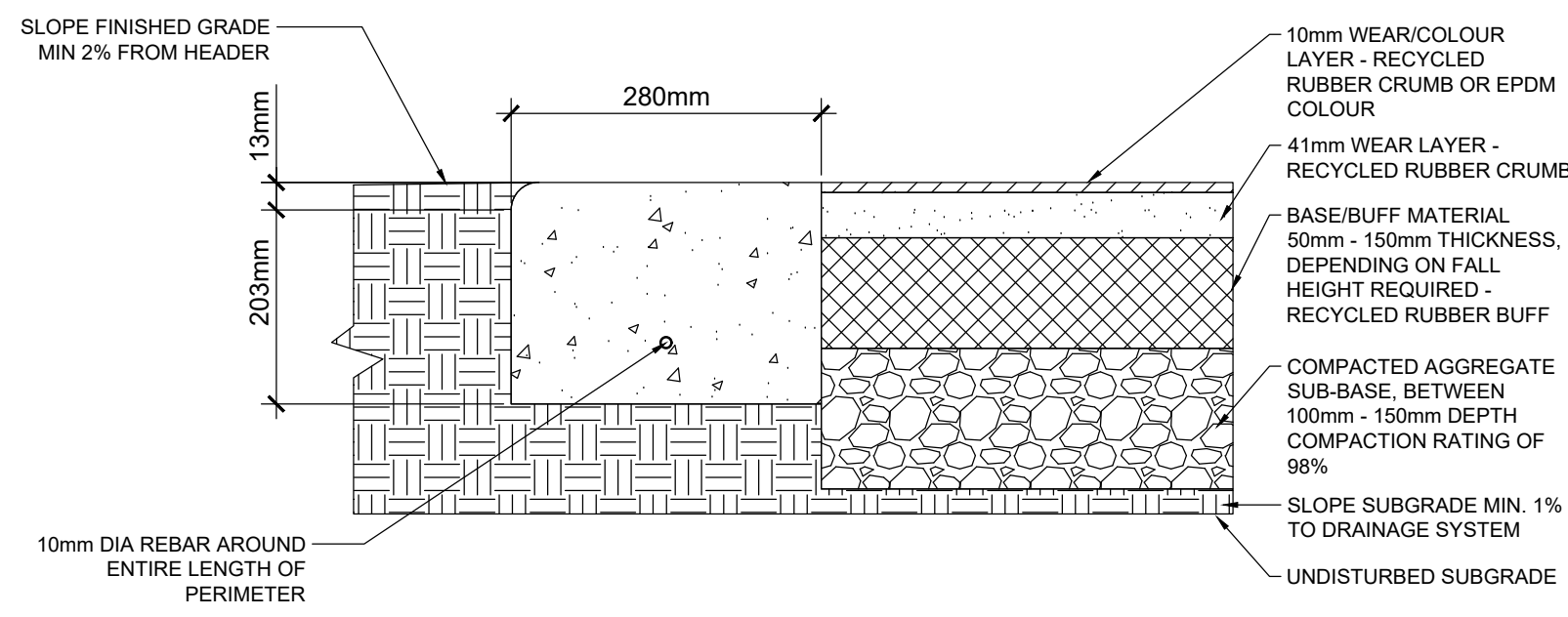
5 1.2m HT. BLACK VINYL CHAIN LINK GATE

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6 1.2m HT. BLACK VINYL CHAIN LINK FENCE

L-105 SCALE NTS



7 CONCRETE PLAYGROUND EDGER

L-105 SCALE NTS

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Revisions

Description	No.	Date	By
Issued for SI	0	2025/10/07	SP
Issued for Construction	1	2025/10/07	SP
Issued for Revised Plan	2	2026/06/11	SP

Seals & Permits



Notes

THE LANDSCAPE CONSULTANT reserves the right to make changes onsite in order to improve the landscape design, or aesthetics at any time during the construction operation, as long as that construction operation is still in progress, at no cost to the OWNER, the LANDSCAPE CONSULTANT or any other professional associated with the project. Refer to specification for further clarification.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Client



Project Title

Livingston 2 - South

Drawing Title

Playground &
Dog Park Layout Plan

Project No: 22-31

Date: 2023-03-24

Designed By: DB

Drawn By: SP / NM

Checked By: NM

Scale: AS SHOWN

Sheet: Issue/Revision

L-105

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