



FOR CONCEPT USE ONLY-NOT FOR CONSTRUCTION

812 24TH AVENUE NW

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REFERRED TO THE DESIGNER FOR ADJUSTMENT BEFORE ANY WORK AFFECTED IS BEGUN.
2. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS
3. DO NOT SCALE THESE DRAWINGS
4. ALL DRAWINGS ARE COPYRIGHT MATERIAL AND MAY NOT BE REPRODUCED WITHOUT PERMISSION FROM LIGHTHOUSE STUDIOS INC.

ISSUED

06/09/26 FOR DEVELOPMENT PERMIT

REVISIONS

PROJECT

812 24TH AVENUE NW
CALGARY, ALBERTA

DRAWING TITLE

COVER PAGE

PROJECT # : 25-14

DATE : 06/09/26

DRAWN BY : JJA

SCALE : AS NOTED

SHEET : A0 OF 6

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PROJECT

812 24TH AVENUE NW
CALGARY, ALBERTA

DRAWING TITLE

SITE PLAN

PROJECT # : 25-14

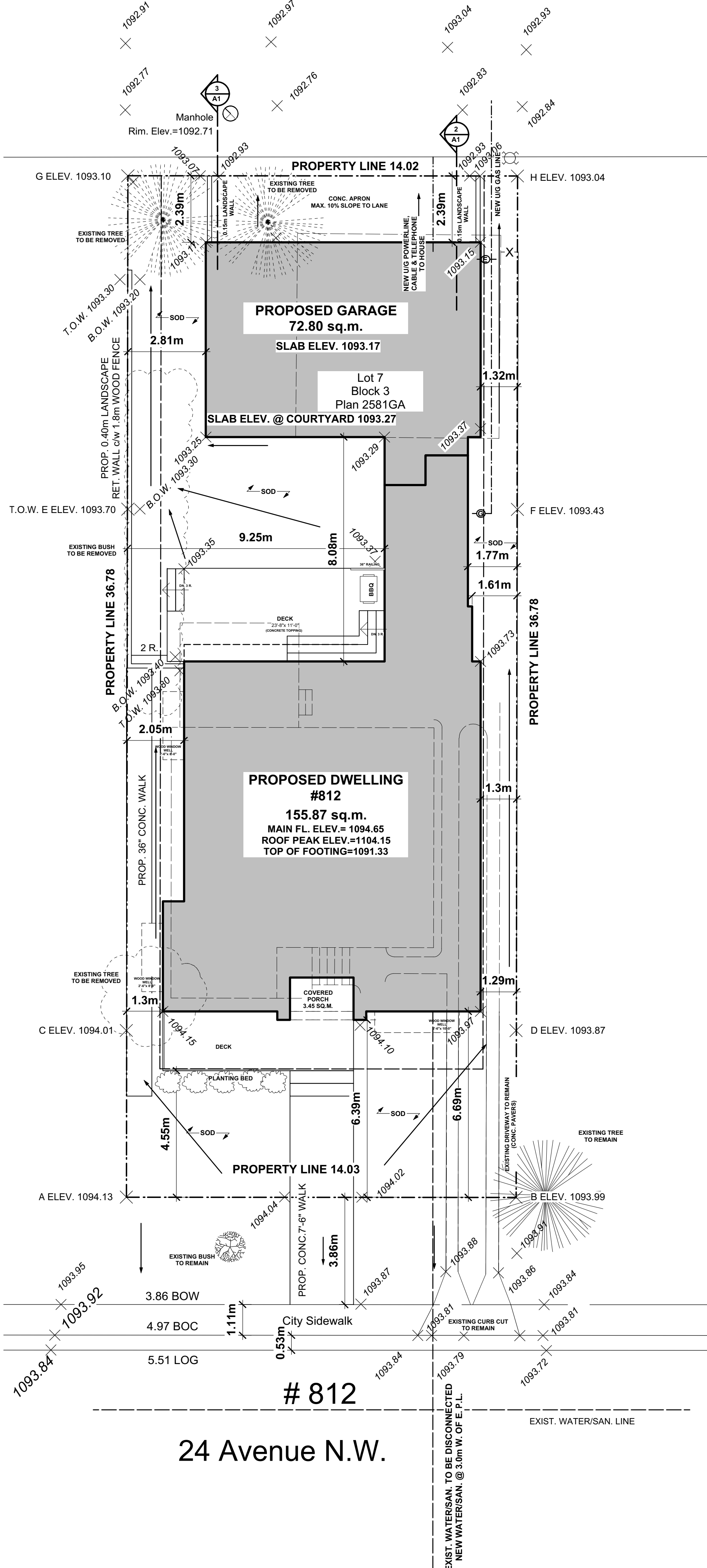
DATE : 06/09/26

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SCALE : AS NOTED

SHEET : A1 OF 6

6.1m Asphalt Lane



MUNICIPAL ADDRESS
812 24th AVENUE NW

COMMUNITY
MOUNT PLEASANT

LEGAL DESCRIPTION
LOT 7
BLOCK 3,
PLAN 2581GA

LAND USE DESIGNATION
R-CG

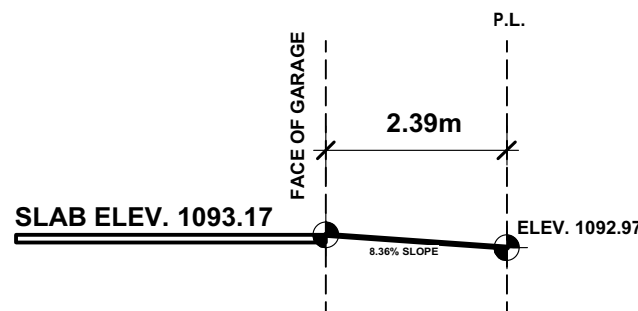
AREA OF LOT
515.80 sq.m

PRINCIPLE BUILDING LOT COVERAGE
155.87 sq.m.

TOTAL AREA OF BUILDINGS/PORCHES
232.08 sq.m.

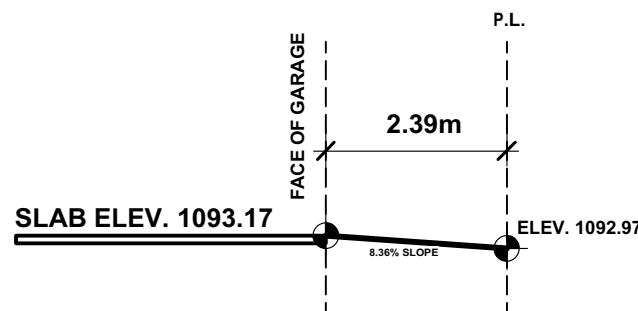
GROSS FLOOR AREA
3248 sq.ft.

PERCENT OF LOT COVERAGE
44.99%



2 GARAGE APRON SECTION

A1 SCALE 1:100



3 GARAGE APRON SECTION

A1 SCALE 1:100

1 SITE PLAN

A1 SCALE 1:100

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PROJECT

812 24TH AVENUE NW
CALGARY, ALBERTA

DRAWING TITLE

SOUTH ELEVATION
NORTH ELEVATION

PROJECT # : 25-14

DATE : 06/09/26

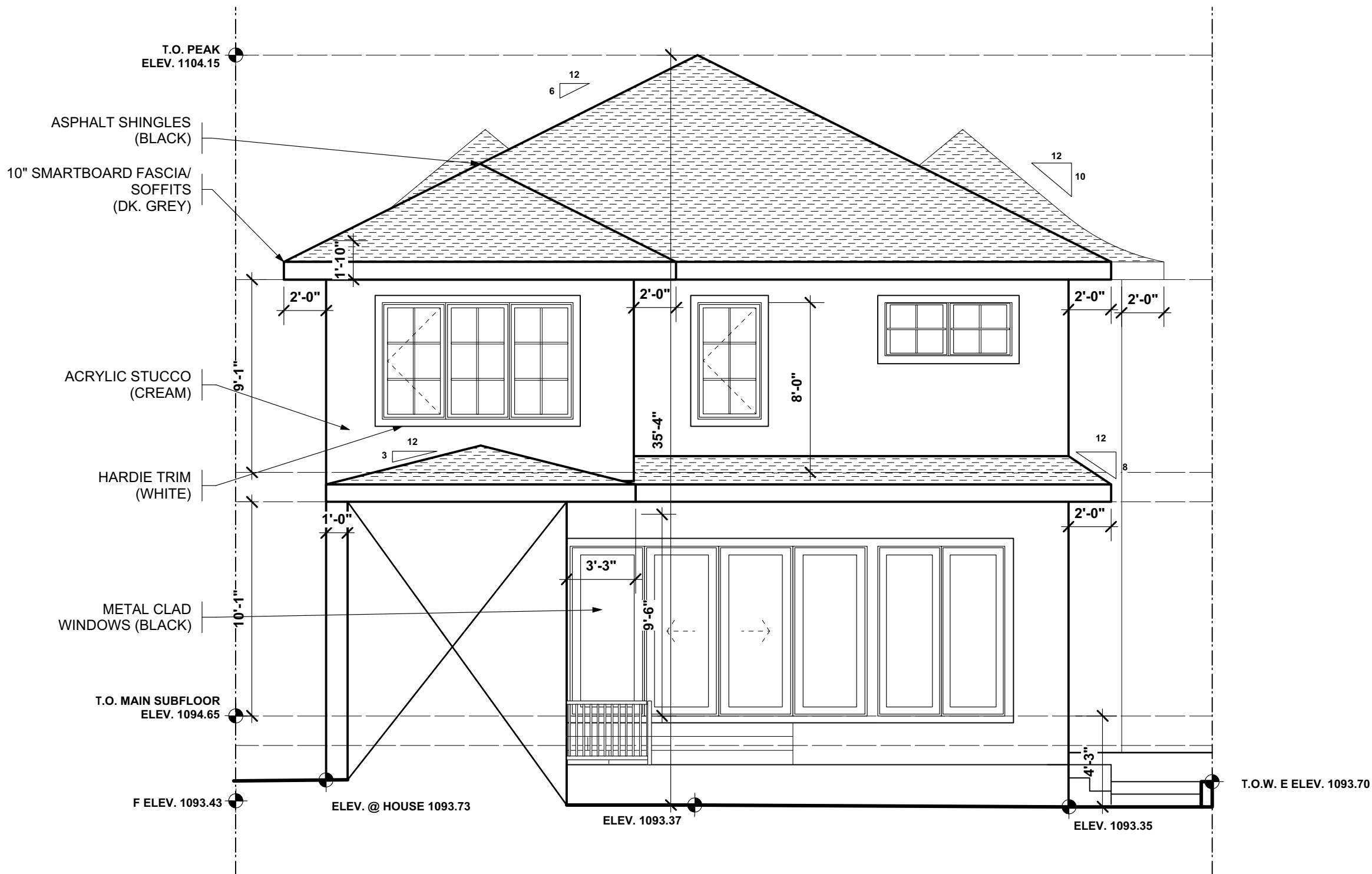
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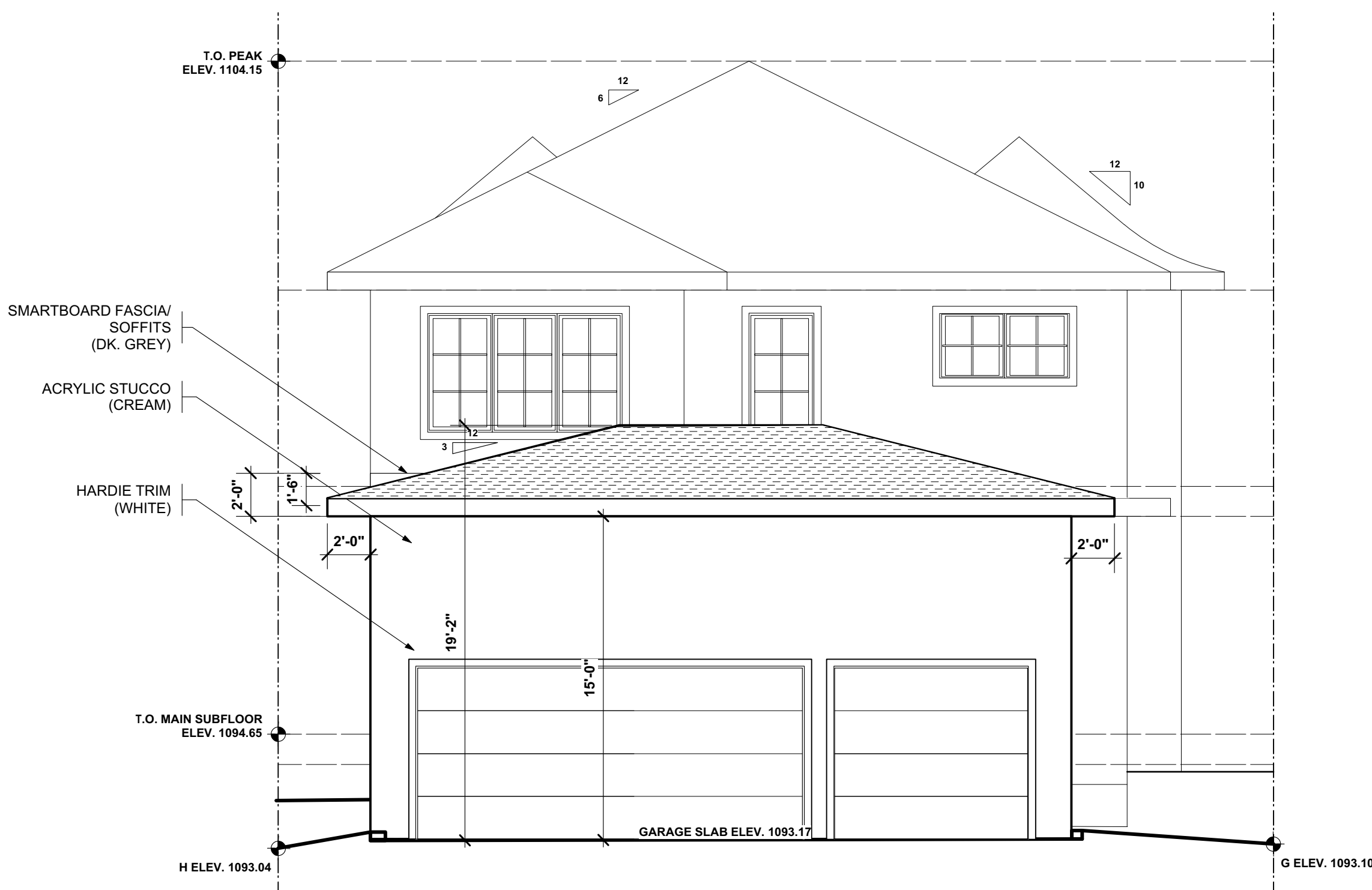
SHEET : A5 OF 6



1 SOUTH ELEVATION
A5 SCALE 3/16" = 1'-0"



2 NORTH ELEVATION
A5 SCALE 3/16" = 1'-0"



3 NORTH ELEVATION-GARAGE
A5 SCALE 3/16" = 1'-0"

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812 24TH AVENUE NW
CALGARY, ALBERTA

DRAWING TITLE

EAST ELEVATION
WEST ELEVATION

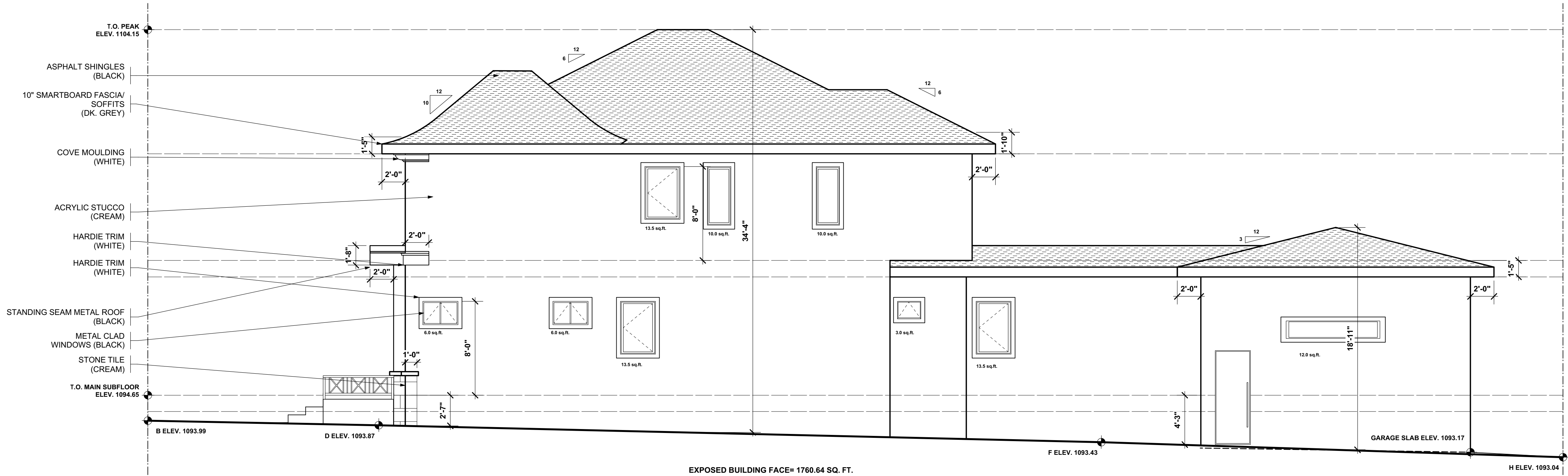
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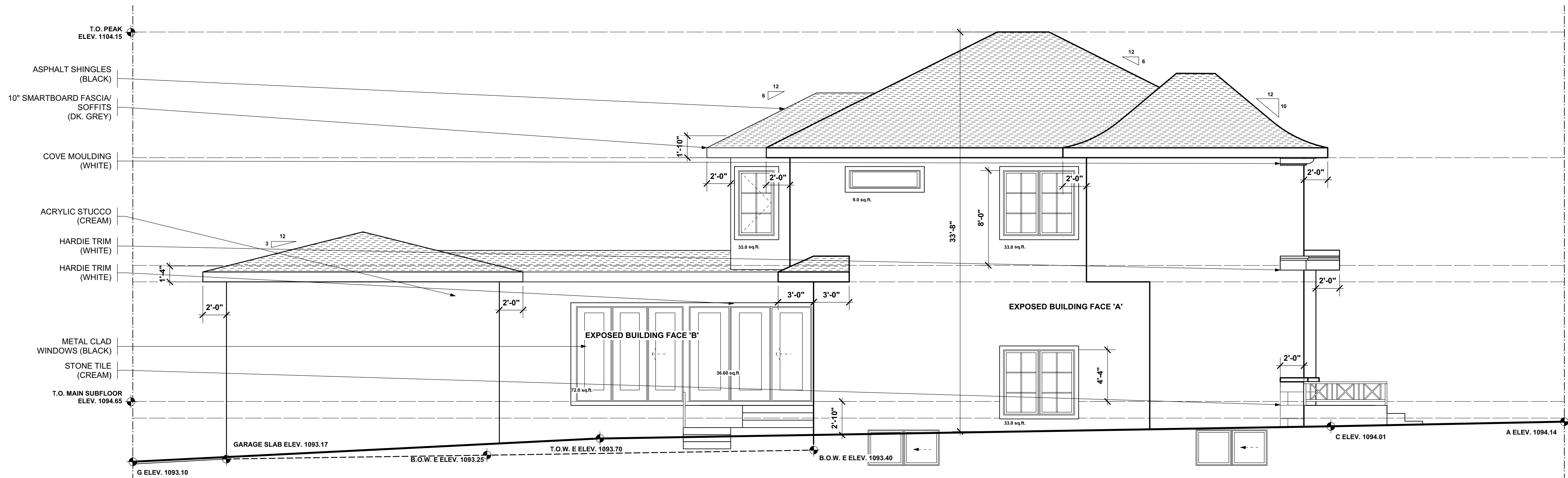
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SHEET : A5 OF 6



1 EAST ELEVATION
A6 SCALE 3/16" = 1'-0"



3 WEST ELEVATION
A6 SCALE 3/16" = 1'-0"