

2240 BROADVIEW ROAD NW

LOTS 19&20, BLOCK 25, PLAN 51510

2403 1ST AVE NW

CALGARY, ALBERTA

PROJECT ISSUE DATE:

5/27/26

CURRENT REVISION DATE:

5/27/26

BUILDING ANALYSIS:

BUILDING HEIGHT:

PROPOSED PEAK GEODETIC:
 - MAIN BUILDING = 1064.26
 - GARAGE = 1057.68

PARCEL COVERAGE:

LOT AREA: 6,239.5 SQ. FT. (579.67m²)
 COVERAGE ALLOWED: 60% (3,743.7 SQ. FT./347.8m²)
 FOOTPRINT COVERAGE: 2,819.52 SQ. FT. (261.9m²)
 UPPER FLOOR CANTILEVERS: 227.43 SQ. FT. (21.1m²)
 4-CAR GARAGE: 872.14 SQ. FT. (81.0m²)
 CLASS 1 BIKE LOCKERS: (2) REQUIRED (2) PROVIDED
 TOTAL COVERAGE: 3,691.7 SQ. FT. (342.9m²) 59.17%

ZONING: RC-G CURRENT (LUC CONCURRENT TO MC-G)
 FRONT SETBACK: 3.0m
 REAR GARAGE SETBACK: 1.2m
 SIDE SETBACKS: 1.2m
 HEIGHT LIMIT/HEIGHT PLANE GEODETIC: 1085.95 (11.0m)

TOTAL GROSS FLOOR AREA: (DETAILS BELOW)
 7,877.8 SQ. FT. (731.9m²)
 FAR = 7,877.8/6,239 = 1.26

PARKING STALLS PROVIDED ON SITE - 4.0

DWELLING UNITS: 8
 PARKING STALL PER DWELLING UNIT: 0.50
 PARKING STALLS PROVIDED: 4

ENERGY CODE NOTATIONS:

- IF HEATING DUCT OR PIPING IS INSTALLED WITHIN THE THERMAL BARRIER OF AN EXTERIOR ASSEMBLY, BREAKING THE CONTINUITY OF THE INSULATION, THE CAVITY IN WHICH THE PIPE OR DUCT IS USING SHOULD HAVE AN EFFECTIVE RSI VALUE OF 2.78 (R-15.78) PER 9.36.5-7
- ALL MECHANICAL PENETRATIONS THROUGH THE ENVELOPE ASSEMBLY SHALL COMPLY WITH SECTION ABC 2023 9.36.3.3 WHERE MOTORIZED DAMPERS OR GRAVITY/BACK-FLOW DAMPERS ARE TO BE INSTALLED
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF FLEXIBLE SHEET MATERIAL, PER ABC 2023 9.25.3.3.-6: ALL JOINTS SHOULD BE LAPPED OR SEALED BY NOT LESS THAN 100mm AND CLAMPED BETWEEN FURRING MEMBERS, FRAMING, OR BLOCKING.
- 6mm POLY CUT AROUND JOISTS CANNOT ACT AS AN AIR BARRIER; THEREFORE FRAMING MUST BE MADE AIR-TIGHT. DETAIL APPROVED SEALANT OR SILL GASKET AT ALL MECHANICAL JOINTS (INCLUDING BUTT JOINTS IN RIM)*
- MATERIALS INTENDED TO PROVIDE THE PRINCIPAL RESISTANCE TO AIR LEAKAGE CONFORM TO CAN/ULC-5741, AIR BARRIER MATERIALS - SPECIFICATION*
- HEAT DUCT AND COLD AIR RETURNS ARE TO BE PROTECTED WITH A THERMAL BARRIER. ENSURE THIS IS PROPERLY DETAILED.
- ALL HOT WATER PIPES INSTALLATIONS SHALL COMPLY WITH ABC 9.36.4.4
- PENETRATIONS SHOULD BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER PER ABC 2023 9.25.3.3.-6
- ALL PENETRATIONS AND TIE-INS OF THE AIR BARRIER SYSTEM SHALL COMPLY WITH ABC 2023 SECTION 9.36.2.10
- THE INTERFACES BETWEEN WINDOWS, DOORS, AND SKYLIGHTS AND WALL/CEILING ASSEMBLIES SHALL BE CONSTRUCTED AIR TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIALS IN THE WALL AND THE WINDOW, DOOR OR SKYLIGHT FRAME (ABC 2023 SECTION 9.7.6). PER ABC 2023 A-9.36.2.10-9), THIS CAN BE ACHIEVED USING EXTERIOR SEALANT, INTERIOR SEALANT, LOW EXPANSION FOAM, OR SHEATHING TAPE IN COMBINATION WITH DRYWALL, POLYETHYLENE, CLOSED-CELL BACKER ROD, OR WOOD LINER.

LANDSCAPE ANALYSIS:

REQUIRED PLANTINGS:

A MINIMUM OF 1.0 TREE AND 3.0 SHRUBS MUST BE PROVIDED FOR EACH 110m² OF PARCEL AREA
 LOT AREA: 6,239.5 SQ. FT. (579.7m²)
 TREES = 1.0 X 5.26 = 5.26
 SHRUBS = 3 X 15.8 = 19.47

PROPOSED PLANTING:

TREES - 6
 SHRUBS - 20

TOTAL LANDSCAPED AREA:

LOT AREA: 6,239.5 SQ. FT. (579.7m²)
 FOOTPRINT COVERAGE: 2,819.5 SQ. FT. (261.9m²)
 4-CAR GARAGE: 872.14 SQ. FT. (81.0m²)
 CLASS 1 BIKE LOCKERS: (2) REQUIRED (2) PROVIDED
 TOTAL COVERAGE: 3,691.66 SQ. FT. (360.3m²) 59.17%

TOTAL LANDSCAPE: 2,547.8 SQ. FT. (236.7m²) 40.83%

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MIDNIGHT
DESIGN
STUDIO

Date	Description	No.
5/27/26	CONCEPTS	1

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DATE ISSUED: 5/27/26
 DESIGN BY: MJK
 SCALE: As indicated

LOTS 19&20, BLOCK
 25, PLAN 51510
 2403 1ST AVE NW
 CALGARY, ALBERTA

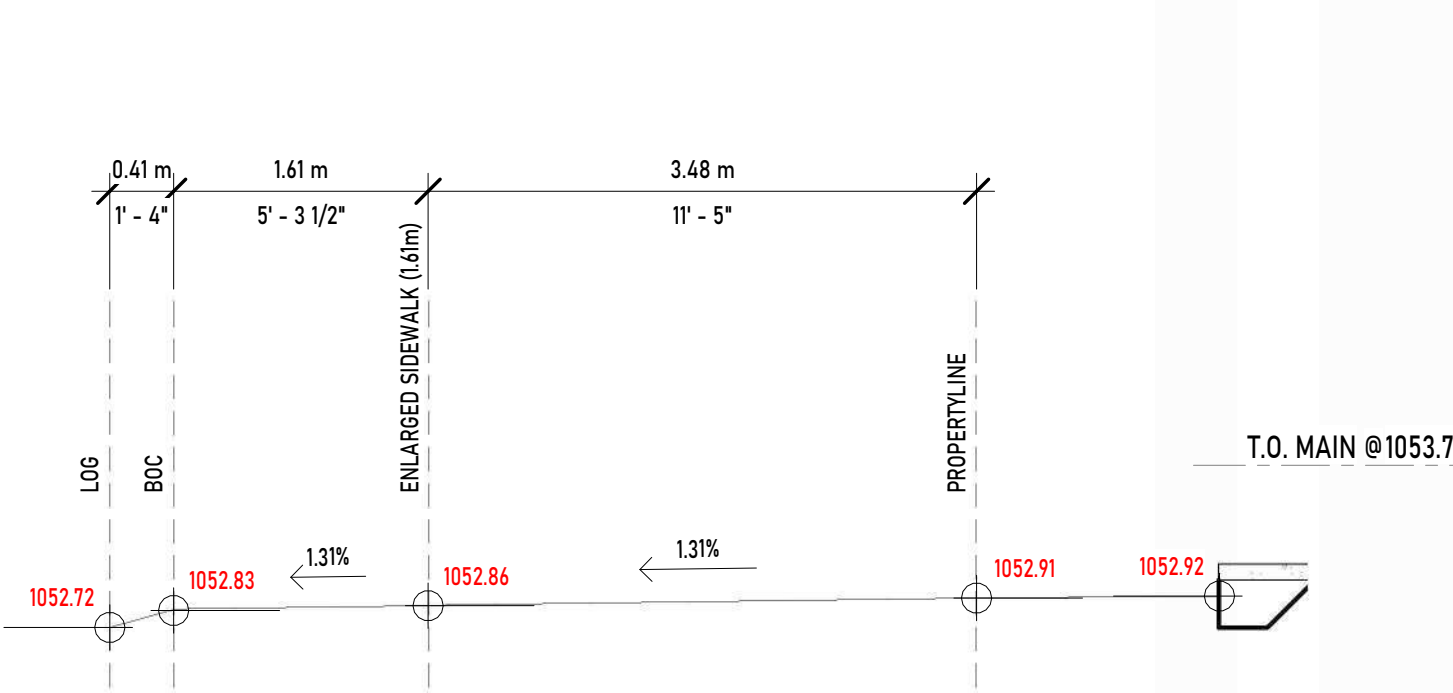
A0

COVERSHEET

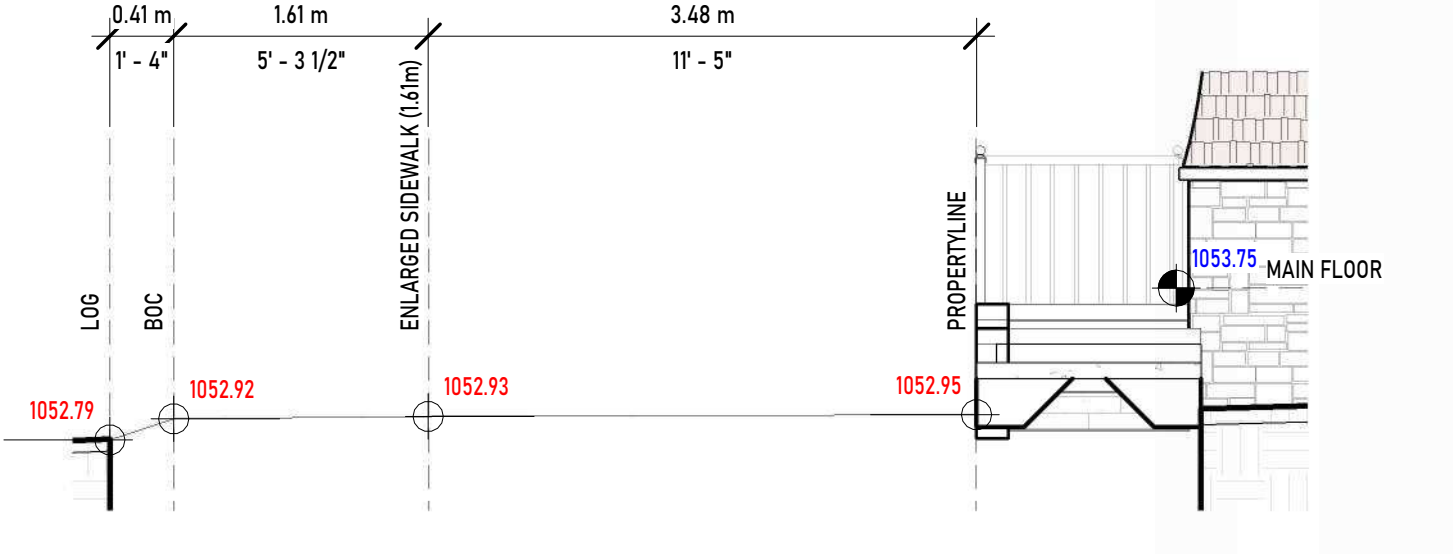
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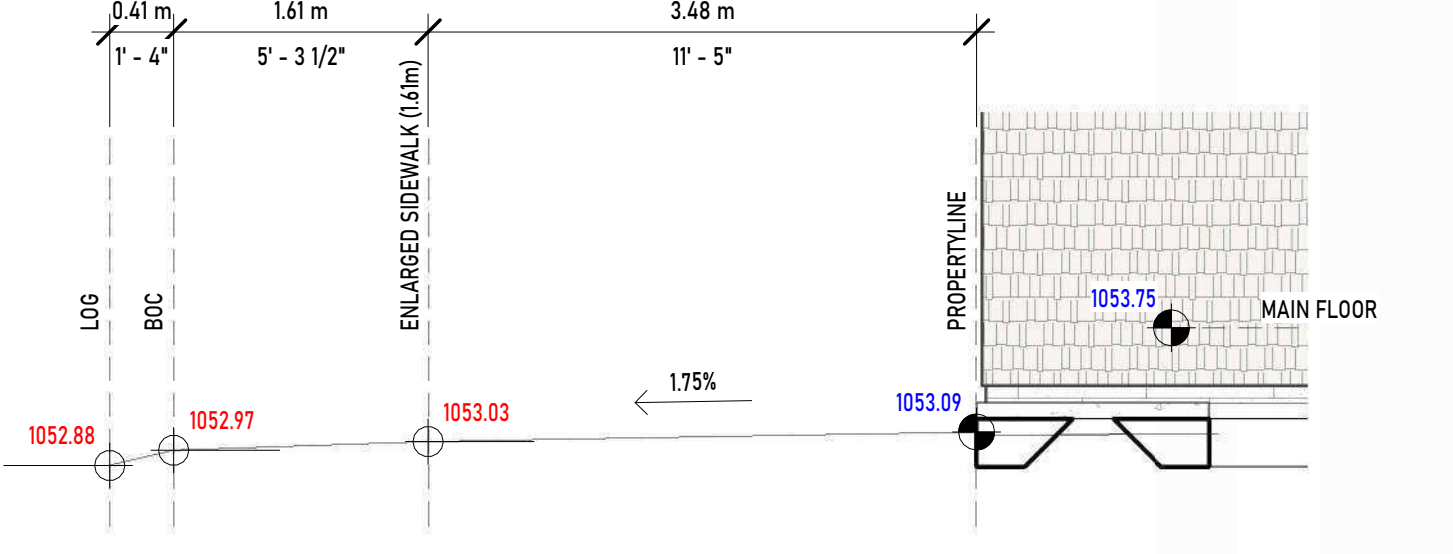
CHAMBOIX



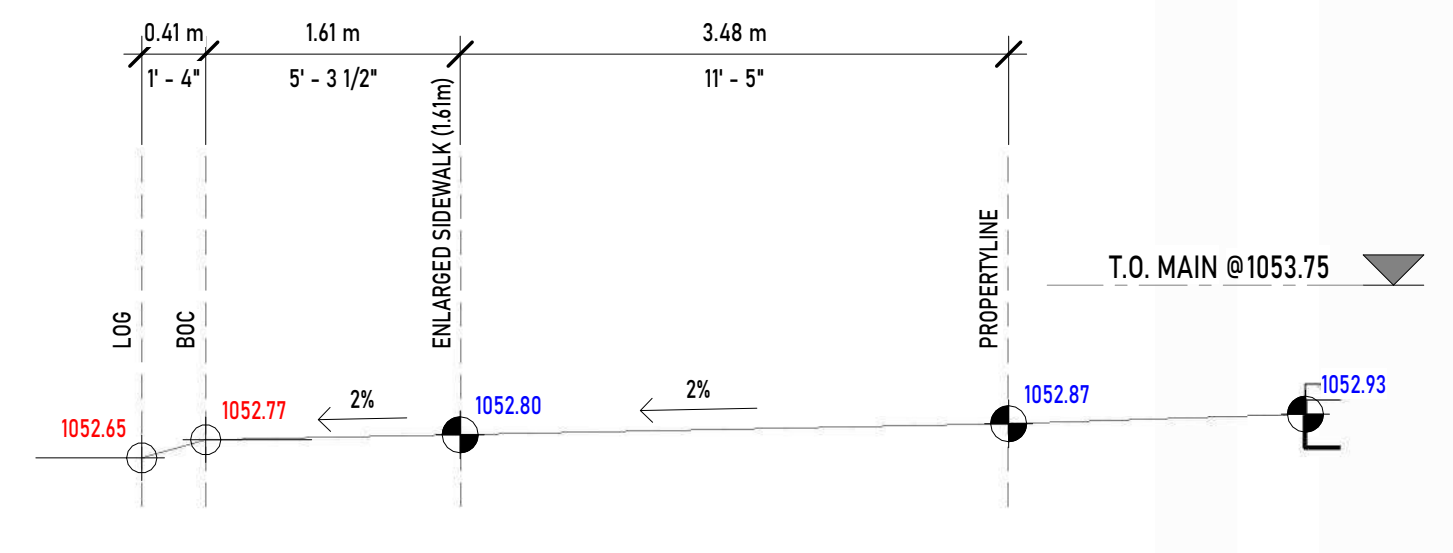
2 22ND STREET BLVD SECTION 1
1/4" = 1'-0"



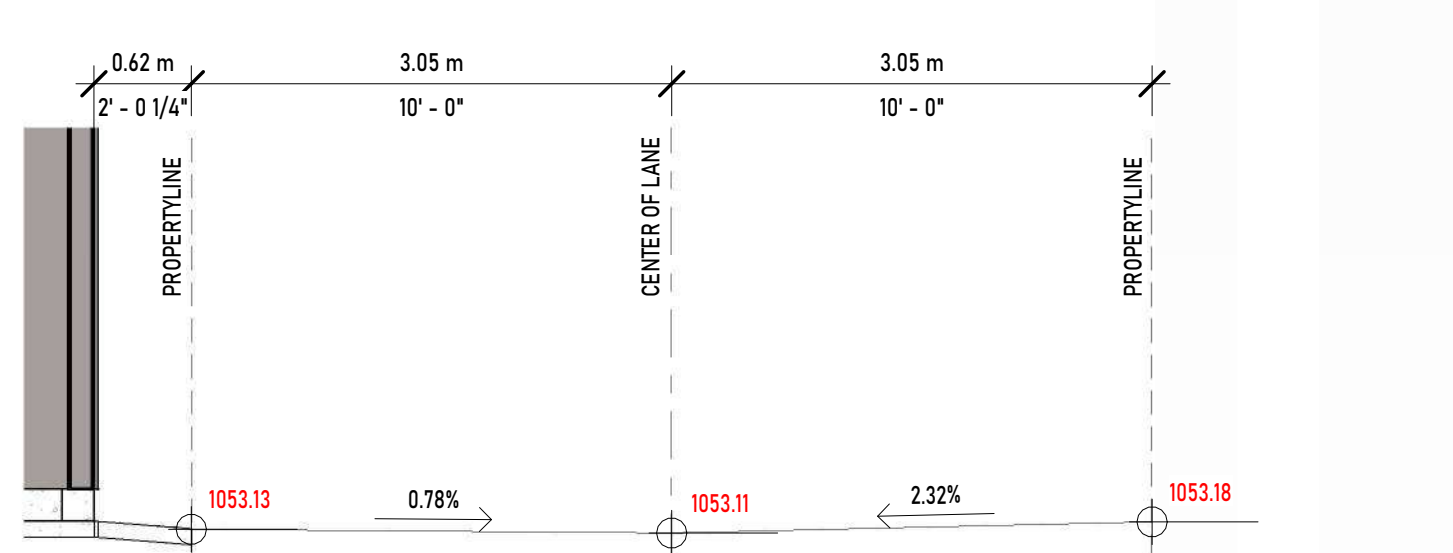
3 22ND STREET BLVD SECTION 2
1/4" = 1'-0"



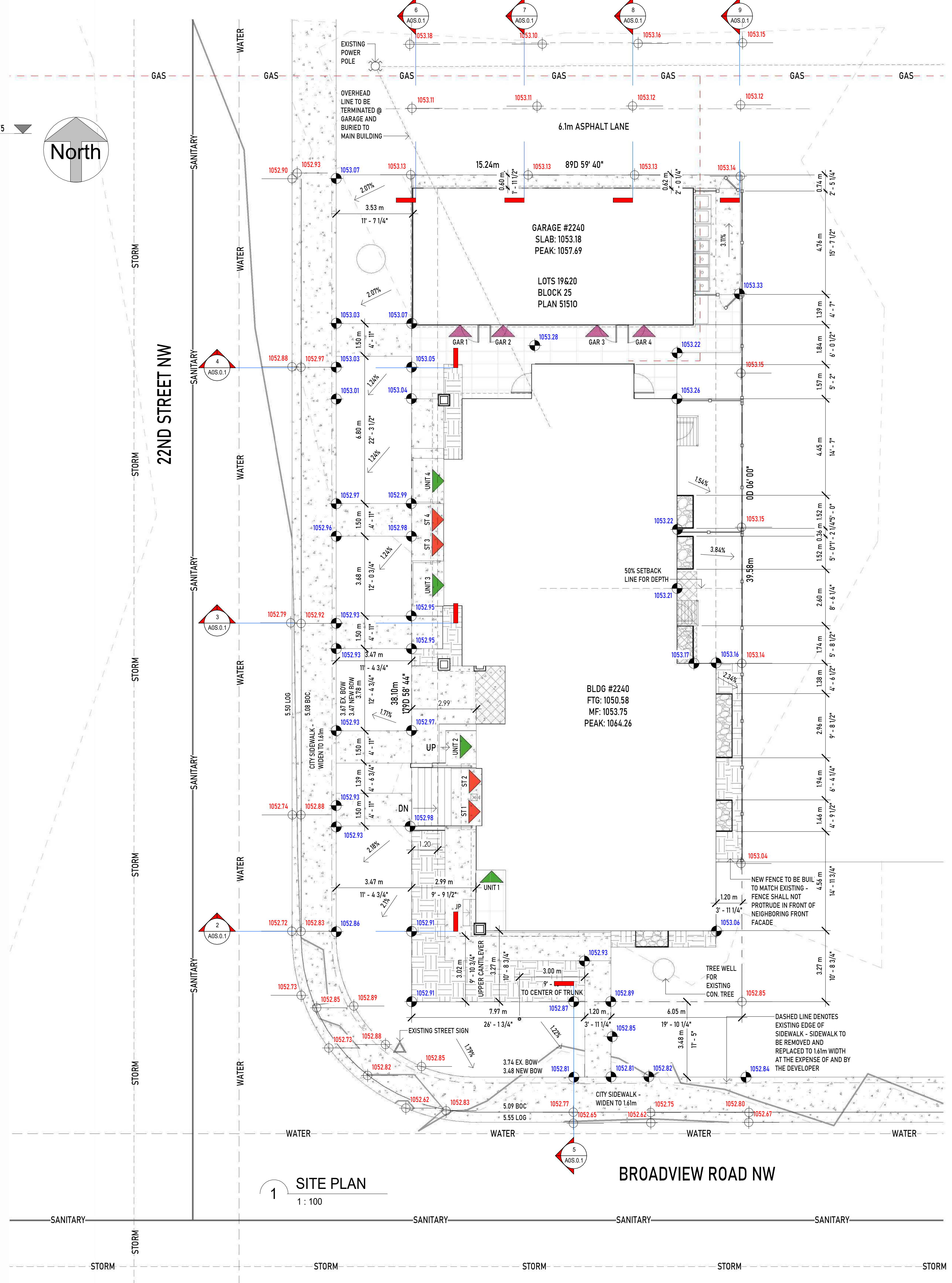
4 22ND STREET BLVD SECTION 3
1/4" = 1'-0"



5 BROADVIEW ROAD BLVD SECTION 1
1/4" = 1'-0"



6 LANE SECTION 1
1/4" = 1'-0"



1 SITE PLAN
1 : 100

ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN

ELEVATIONS ARE GEODETIC AND DERIVED FROM MARKER ASCM XXXXX

PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:
- N/A

- 72.49 (circle with dot) INDICATES EXISTING GEODETIC
- 72.49 (circle with cross) INDICATES PROPOSED GEODETIC
- TOW 72.49 TOP OF WALL
- BOW 72.49 BOTTOM OF WALL
- 72.49 (circle with cross) ELEVATION REFERENCE POINTS

- Denotes WINDOW WELL
- Denotes CONCRETE DRIVE OR WALKWAY - BROOM FINISH CONCRETE
- Denotes PATIO w/ HAND-TROWELED SMOOTH FINISH
- Denotes ENMAX URW
- Denotes CANTILEVER OF UPPER FLOOR
- Denotes PUBLIC ZONE
- FOOTPRINT OF SUBJECT PROPERTY
- Denotes BLACK MULCH GROUND COVER
- Denotes DROUGHT TOLERANT BLUE VELVET KENTUCKY BLUEGRASS
- CLASS 1 BIKE LOCKER

NOTE: ALL AREAS NOT DESIGNATED WITH MATERIAL SHALL BE SOD

- Denotes EXISTING TREE TO BE REMOVED
- Denotes EXISTING TREE TO REMAIN

Denotes UNIT ENTRY POINT (green triangle)

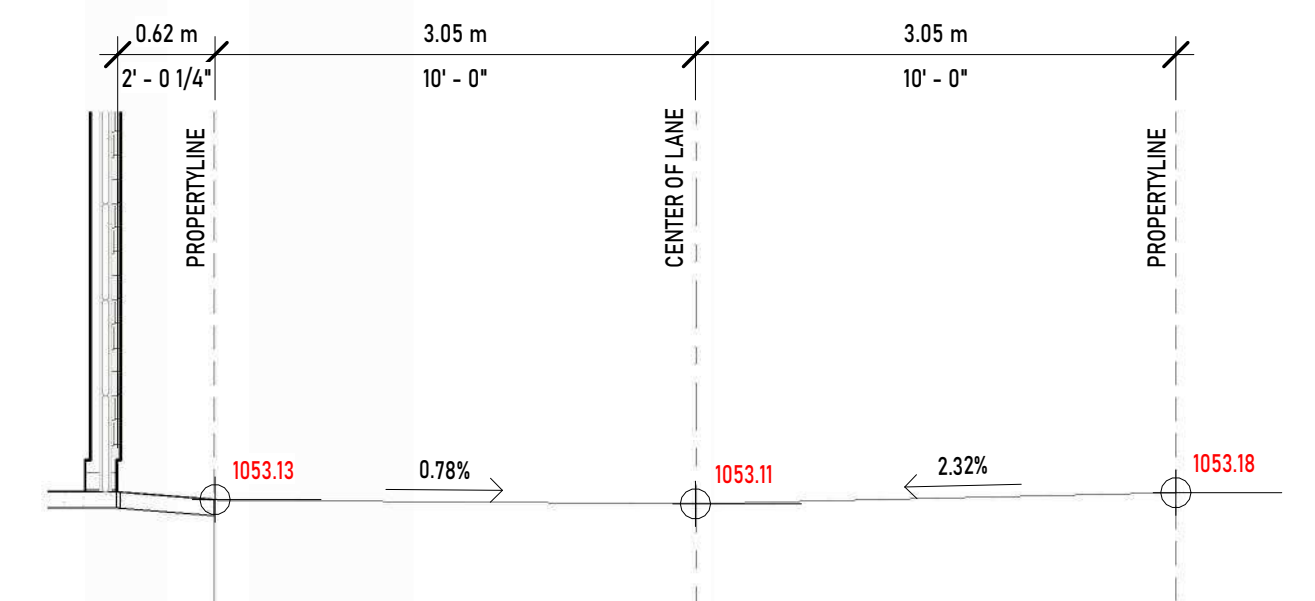
Denotes GARAGE ENTRY POINT (purple triangle)

Denotes SUITE ENTRY POINT (red triangle)

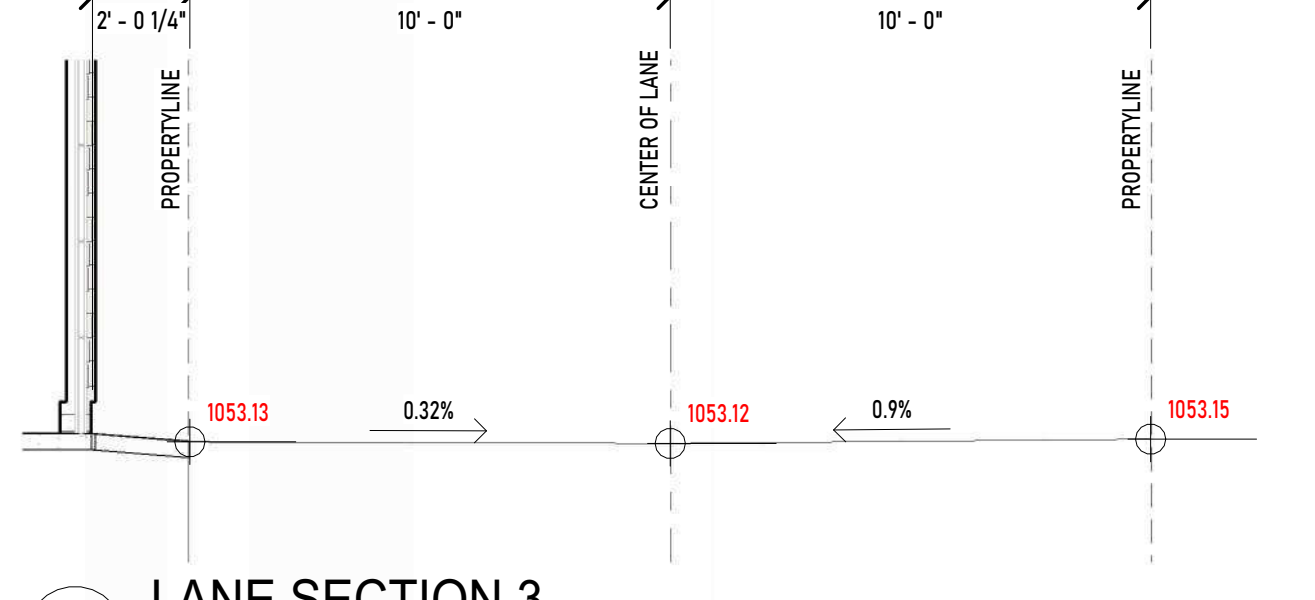
UNIT # (green triangle)

GARAGE # (purple triangle)

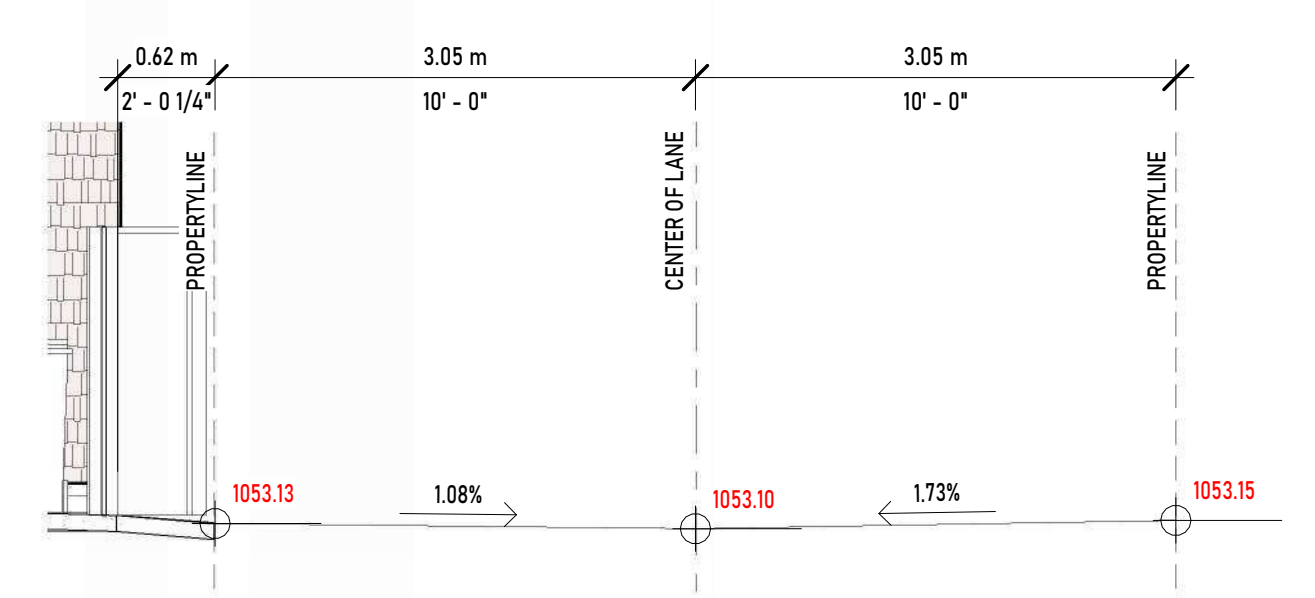
ST # (red triangle)



7 LANE SECTION 2
1/4" = 1'-0"



8 LANE SECTION 3
1/4" = 1'-0"



9 LANE SECTION 4
1/4" = 1'-0"

CLIENT

EXQUISITE HOMES

DESIGNER

MIDNIGHT DESIGN STUDIO

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTS	5/27/26

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DESIGN BY: MKK
SCALE: As indicated

LOTS 19&20, BLOCK 25, PLAN 51510
2403 1ST AVE NW
CALGARY, ALBERTA

AOS.0.1

SITE PLAN

CONCEPTS

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CHAMBOIX

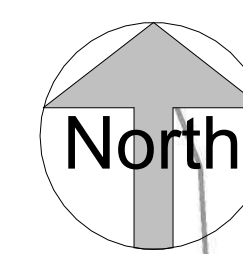
PLANTING LEGEND

- DENOTES NEW COLUMNAR ASPEN (POPULUS TREMULA 'ERECTA')
80mm CALLIPER
4.3m HEIGHT
SPREAD: 1.5m
- DENOTES NEW SUTHERLAND CARAGANA (CARAGANA ARBORESCENS 'SUTHERLAND')
- 4.5m HEIGHT
- DENOTES NEW SHRUB - GLOBE CARAGANA (CARAGANA FRUTEX 'GLOBOSA')
SPREAD: 0.60m MINIMUM
- DENOTES NEW SHRUB - ROSE GLOW BARBERRY (BERBERIS THUNBERGII)
SPREAD: 0.60m MINIMUM
- DENOTES NEW TANNENBAUM MUGO PINE (PINUS MUGO 'TANNENBAUM')
- 4.5m HEIGHT
- DENOTES NEW COLUMNAR SPRUCE - 20 GAL.
- 3.5m HEIGHT
- DENOTES NEW SHRUB - NINEBARK - 10 GAL.
- 1.2m HEIGHT
- 1.0m SPREAD
- DENOTES NEW SHRUB - JUNIPER CREEPER - 10 GAL.
- 0.60m HEIGHT
- 1.0m SPREAD
- DENOTES NEW SOD - KENTUCKY BLUE GRASS 'BLUE VELVET'
- DENOTES BLACK WOOD MULCH @ PLANTER
- DENOTES GRAVEL PLANTER
- DENOTES PATH LIGHT
- DENOTES OVERHEAD FLOOR/SECURITY LIGHT

PLANTING DEPTH NOTATION:
- PROVIDE 300mm TOPSOIL DEPTH FOR ALL SODDED AREAS
- PROVIDE 600mm TOPSOIL DEPTH FOR ALL SHRUB AND TREE BEDS

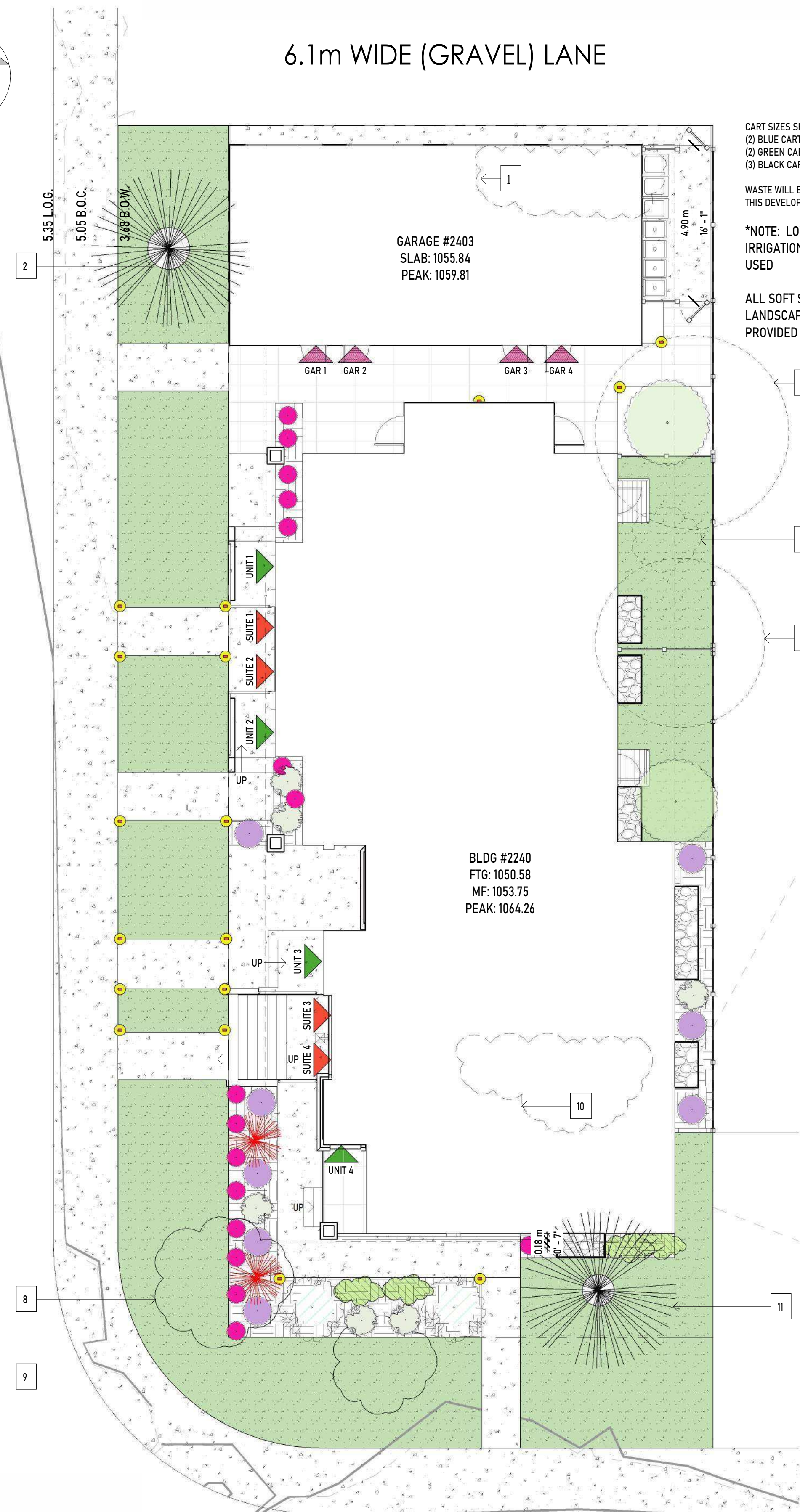
TREE SCHEDULE

Tree No.	Tree Type	Trunk Dia.	Canopy Dia.	Height	Tree ID	Disposition
1	BUSH	--	--	2.00		
2	COLORADO SPRUCE	0.30	5.00	16.00	T-32107721	TO REMAIN
3	CONIFEROUS	0.10	1.00	5.00		
4	DECIDUOUS	0.25	6.00	6.00		
5	BUSH	--	--	2.00		
6	BUSH	--	--	2.00		
7	DECIDUOUS	0.20	5.00	6.00		
8	BUSH	--	--	1.80	T-32478209	TO REMAIN
9	BUSH	--	--	1.80	T-3239563	TO REMAIN
10	BUSH	--	--	0.60		
11	CONIFEROUS	0.60	5.00	16.00		



22ND STREET NW

6.1m WIDE (GRAVEL) LANE



CART SIZES SHALL BE AS FOLLOW:
(2) BLUE CARTS - 107cm X 59cm X 73cm
(2) GREEN CARTS - 109cm X 62cm X 72cm
(3) BLACK CARTS - 103cm X 68cm X 71cm

WASTE WILL BE PICKED UP PRIVATELY FOR THIS DEVELOPMENT

*NOTE: LOW WATER IRRIGATION SYSTEM TO BE USED

ALL SOFT SURFACE LANDSCAPE AREAS ARE TO BE PROVIDED WITH IRRIGATION

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- 72.49 ELEVATION REFERENCE POINTS

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- 11 - DENOTES EXISTING TREE TO BE REMOVED
- 11 - DENOTES EXISTING TREE TO REMAIN

- DENOTES UNIT ENTRY POINT
- DENOTES GARAGE ENTRY POINT
- DENOTES SUITE ENTRY POINT
- UNIT #
- GARAGE #
- ST #

- DENOTES WINDOW WELL
- DENOTES CONCRETE DRIVE OR WALKWAY - BROOM FINISH CONCRETE
- DENOTES PATIO w/ HAND-TROWELED SMOOTH FINISH
- DENOTES ENMAX URW
- DENOTES CANTILEVER OF UPPER FLOOR
- DENOTES PUBLIC ZONE
- FOOTPRINT OF SUBJECT PROPERTY
- DENOTES BLACK MULCH GROUNDCOVER
- DENOTES DROUGHT TOLERANT BLUE VELVET KENTUCKY BLUEGRASS
- CLASS 1 BIKE LOCKER



PATH LIGHTING
3/16" = 1'-0"

Dimensions	
Weight	2.10 LBS
Height	22.00"
Length	6.00"
Width	3.00"

Light Source	
Lamp Included	Not Included
Lamp Type	TS
Light Source	Bulb
Max or Nominal Watt	16.25 W
# of Bulbs/LED Modules	1
Socket Type	Wedge (Wedge Base)

Product/Ordering Information	
SKU	108440KT
Finish	Textured Black
UPC	18327516132

Electrical	
Input Voltage	12 V
Operating Voltage Range	9-15 AC

1 LANDSCAPE PLAN
1:100

BROADVIEW ROAD NW

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTS	5/27/26

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SCALE: As indicated

LOTS 19&20, BLOCK 25, PLAN 51510
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CALGARY, ALBERTA

A0S.1

LANDSCAPE PLAN

CONCEPTS

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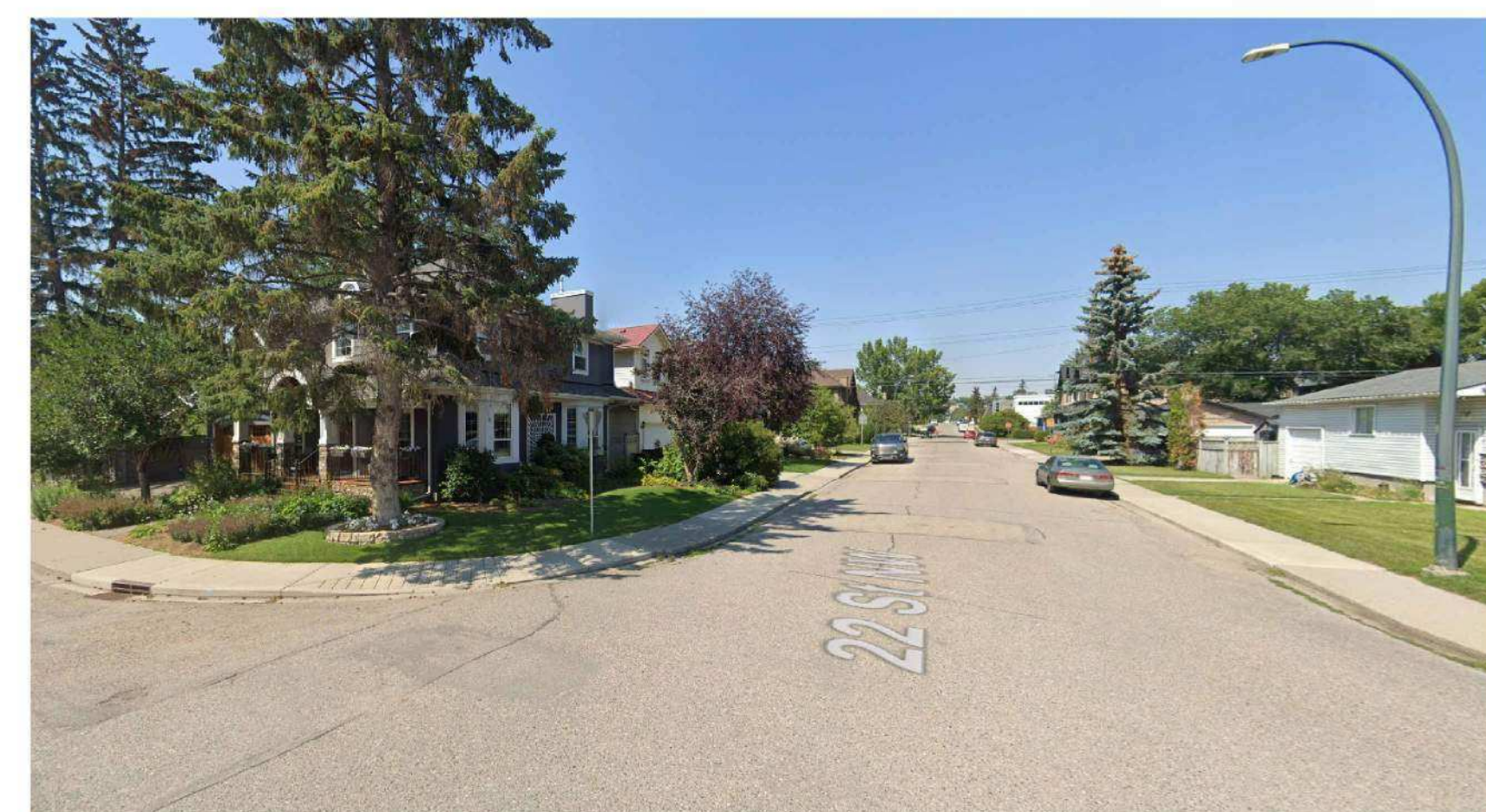
Google Maps

SUBJECT PROPERTY - 2240 BROADVIEW RD NW



Google Maps

WEST NEIGHBOR

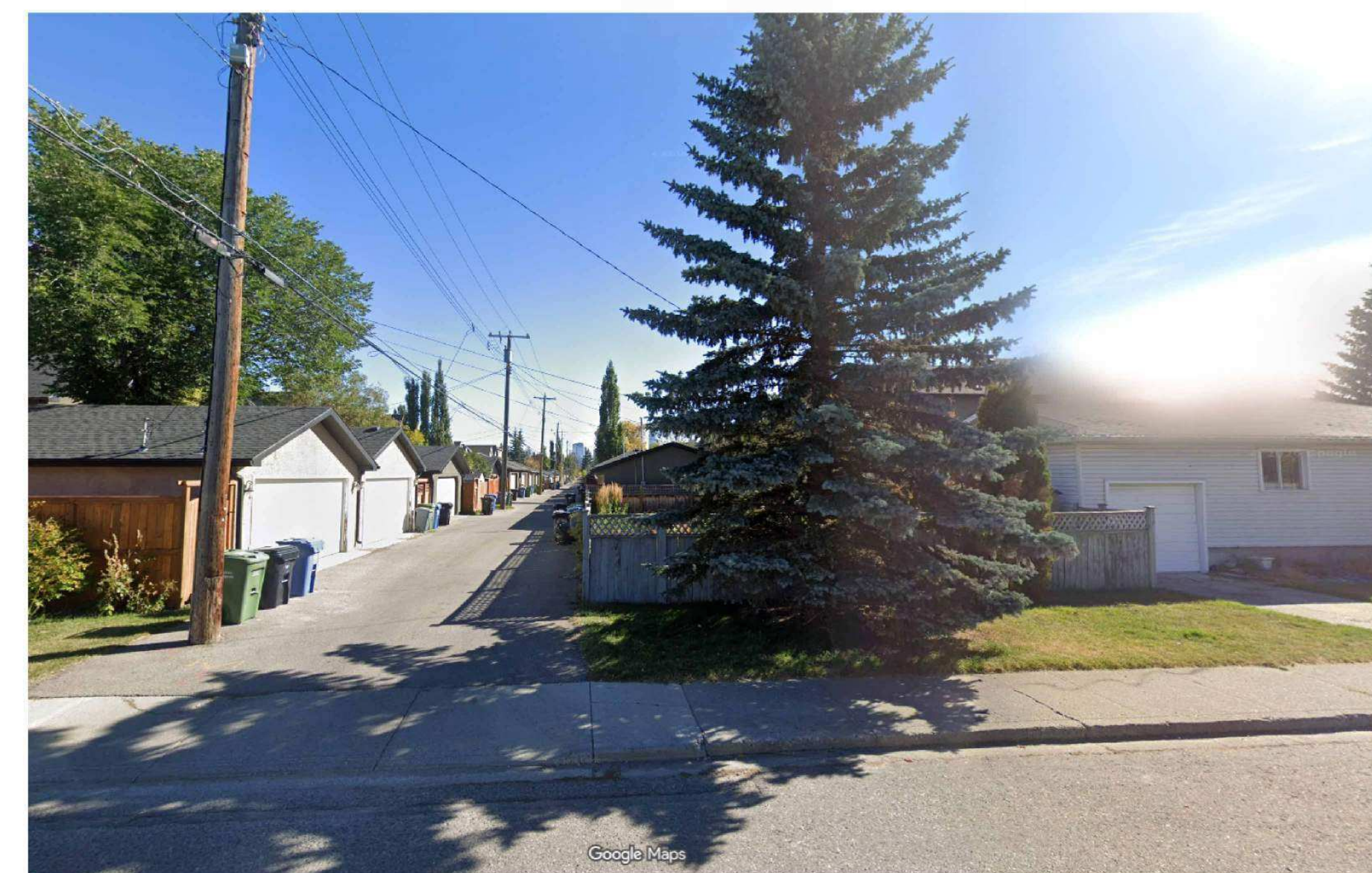


EAST NEIGHBOR @ INTERSECTION



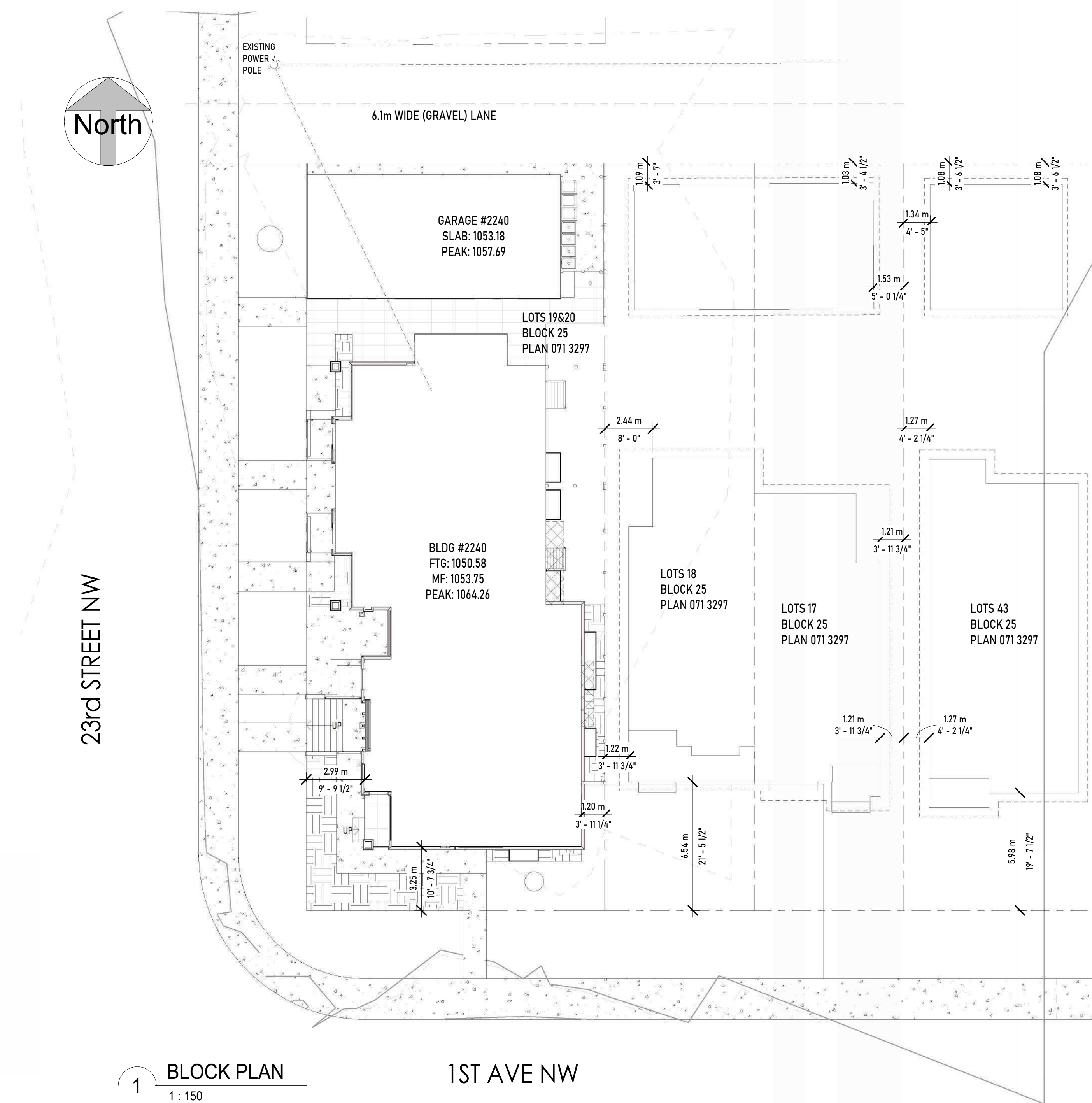
Google Maps

SOUTH NEIGHBOR ACROSS STREET




Google Maps

REAR SUBJECT



1 BLOCK PLAN
1: 150

CLIENT

 EXQUISITE HOMES
DESIGNER

MIDNIGHT
DESIGN STUDIO

NO.	REVISION DESCRIPTION	DATE
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DATE ISSUED: 5/27/06
DESIGN BY: Designer
SCALE: 1:150

LOTS 19&20, BLOCK 25, PLAN 51510
2403 1ST AVE NW
CALGARY, ALBERTA

A0S.2

BLOCK PLAN

CONCEPTS

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EXQUISITE HOMES

DESIGNER

MIDNIGHT
DESIGN
STUDIO

DATE
5/27/26

REVISION DESCRIPTION

CONCEPTS

NO.
1

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SCALE:

LOTS 19&20, BLOCK 25, PLAN
51510
2403 1ST AVE NW
CALGARY, ALBERTA

A300

EXTERIOR PERSPECTIVES

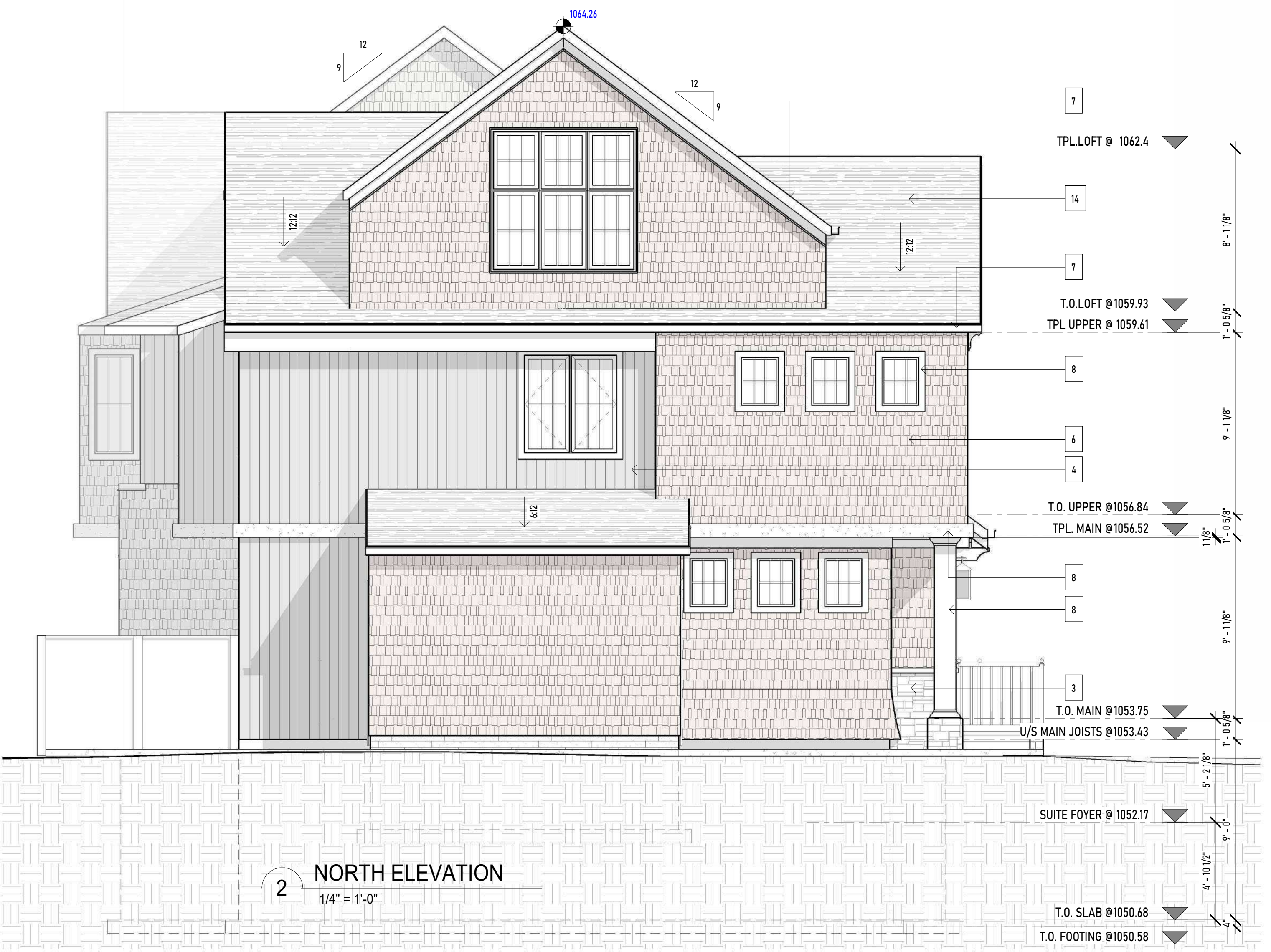
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5319 3rd Street SE, CALGARY
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CHAMBOIX



1 WEST (FRONT) ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES

- CONCRETE FOUNDATION WALL - NO WATERPROOFING ABOVE GRADE - PROVIDE PARGING AT ALL EXPOSED FACES
- EXPOSED DECORATIVE CONCRETE RETAINING WALL w/ STRIATED DETAIL - SEAL EXPOSED CONCRETE w/ SPRAY-ON RADONSEAL PLUS CONCRETE PENETRATING SEALER
- MASONRY FINISH - SEE OWNERS' SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS
- LUX PRODUCTS LUXLAP V-GROOVE - WHITE OAK 1250 - INSTALL PER MANUFACTURER'S INSTRUCTIONS
- LUX SIMULATED WOOD SOFFITS - INSTALL AS PER MFR SPECIFICATIONS AND ENVELOPE ENGINEER'S SPECS IF VENTING REQUIRED.
- HARDI-SHAKE CLADDING INSTALLED AS PER MFR SPECIFICATIONS.
- PRE-FINISHED ALUMINUM FASCIA PROVIDE DRIP CAP ABOVE OR AS PER MFR SPECIFICATIONS ON SPECIFIED FASCIAS
- SMOOTH SMART-TRIM 6/ BUILDING PAPER AND SHEATHING - SEE DETAIL WHERE NOTED
- 2 1/2 GAUGE ALUMINUM WALL CAP - BACKSLOPE TO ROOF
- ALUMINUM K-STYLE GUTTER - COLOUR TO MATCH TRIM
- STANDING SEAM OR CORRUGATED STEEL SIDING - SEE FINISH MATRIX PER BUILDER
- ALUMINUM CORNER CONNECTING WINDOWS BY BDW MANUFACTURER
- 12mm GLASS RAILING w/ STAINLESS STEEL STAND-OFFS OR BLACK ALUMINUM POSTS PER ELEVATION
- ASPHALT SHINGLES w/ 30# FELT UNDERLAYMENT

PERFORMANCE REQUIREMENTS PER NAFS CANADA:
 MINIMUM PERFORMANCE GRADE (PG) : 25
 MINIMUM POSITIVE DESIGN PRESSURE: 1200 PA
 MINIMUM NEGATIVE DESIGN PRESSURE: 1200 PA
 MINIMUM WATER PENETRATION
 RESISTANCE TEST PRESSURE: 240 PA
 MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION: A2
 ALL WINDOWS AND DOORS MUST MEET THE MINIMUM STANDARD U-VALUE OF 1.6

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 DESIGN BY: Designer
 SCALE: As indicated

LOTS 19&20, BLOCK 25, PLAN 51510
 2403 1ST AVE NW
 CALGARY, ALBERTA

A301
 EXTERIOR SCHEMATICS
 CONCEPTS

MIDNIGHT DESIGN STUDIO, INC.
 5319 3rd Street SE, CALGARY
 (403)815-0604
 www.midnightdesignstudio.ca

CHAMBOIX

DATE	5/27/26
REVISION DESCRIPTION	
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CONCEPTS	

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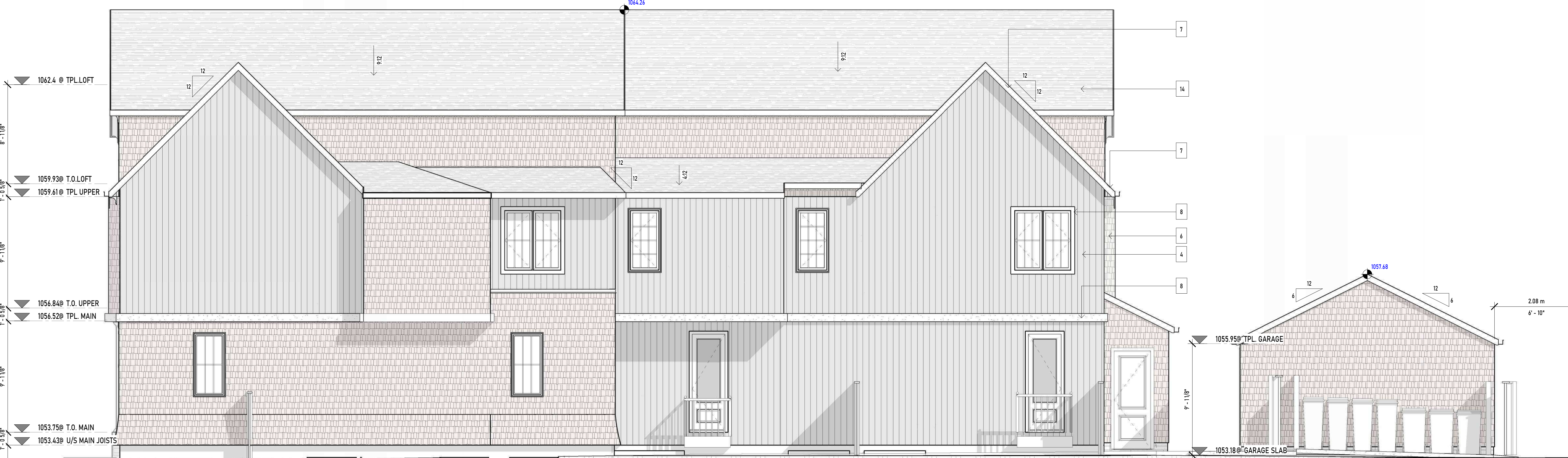
LOTS 19&20, BLOCK 25, PLAN
51510
2403 1ST AVE NW
CALGARY, ALBERTA

A302
EXTERIOR SCHEMATICS

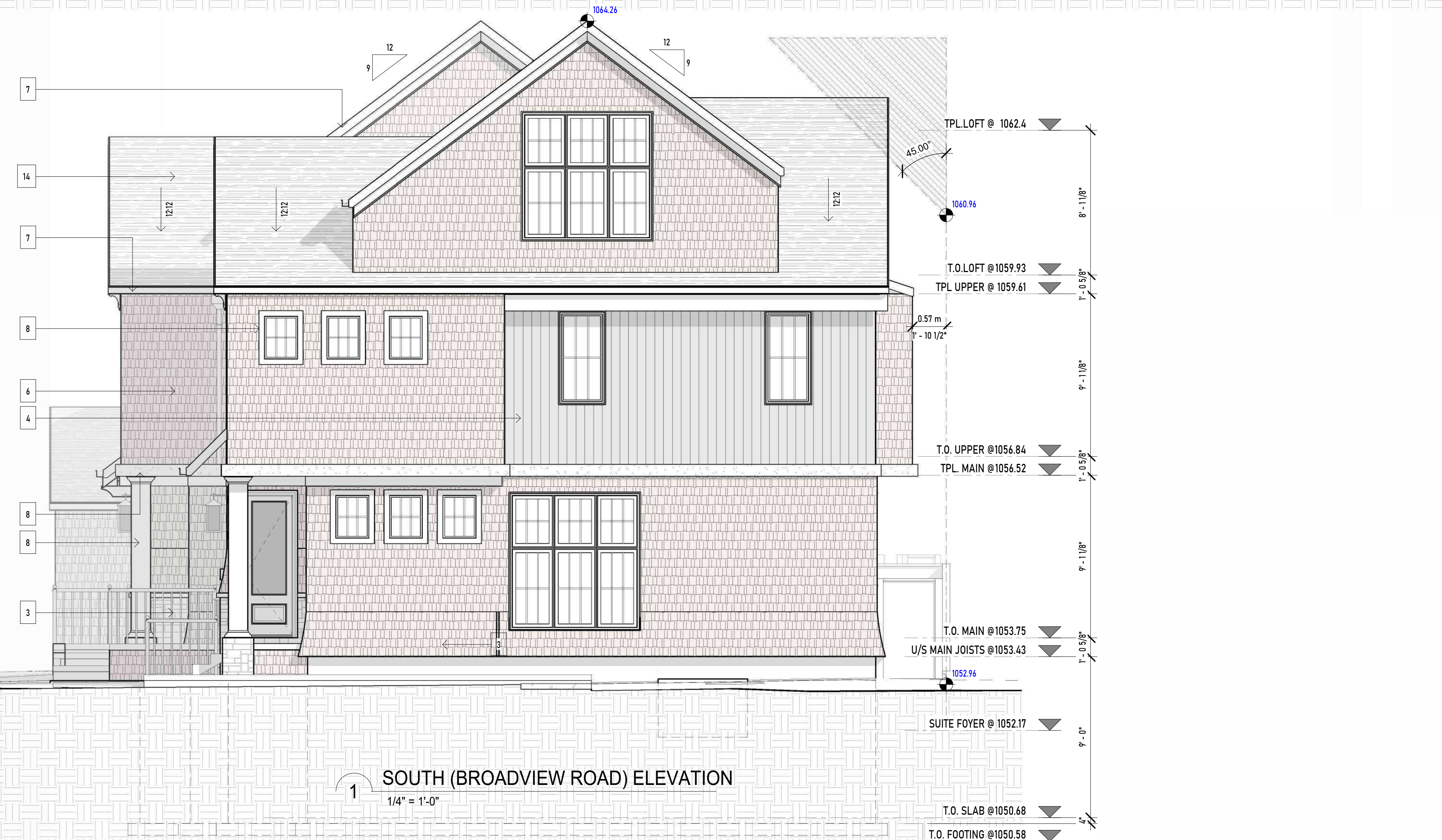
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CHAMBOIX



2 EAST (REAR) ELEVATION
1/4" = 1'-0"



1 SOUTH (BROADVIEW ROAD) ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES

- CONCRETE FOUNDATION WALL - NO WATERPROOFING ABOVE GRADE - PROVIDE PARGING AT ALL EXPOSED FACES
- EXPOSED DECORATIVE CONCRETE RETAINING WALL w/ STRIATED DETAIL - SEAL EXPOSED CONCRETE w/ SPRAY-ON RADONSEAL PLUS CONCRETE PENETRATING SEALER
- MASONRY FINISH - SEE OWNERS' SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS
- LUX PRODUCTS LUXLAP V-GROOVE - WHITE OAK 1250 - INSTALL PER MANUFACTURER'S INSTRUCTIONS
- LUX SIMULATED WOOD SOFFITS - INSTALL AS PER MFR SPECIFICATIONS AND ENVELOPE ENGINEER'S SPECS IF VENTING REQUIRED.
- HARDI-SHAKE CLADDING INSTALLED AS PER MFR SPECIFICATIONS.
- PRE-FINISHED ALUMINUM FASCIA PROVIDE DRIP CAP ABOVE OR AS PER MFR SPECIFICATIONS ON SPECIFIED FASCIAS - SEE DETAIL WHERE NOTED
- SMOOTH SMART-TRIM w/ BUILDING PAPER AND SHEATHING - SEE DETAIL WHERE NOTED
- 26 GAUGE ALUMINUM WALL CAP - BACKSLOPE TO ROOF
- ALUMINUM K-STYLE GUTTER - COLOUR TO MATCH TRIM
- STANDING SEAM OR CORRUGATED STEEL SIDING - SEE FINISH MATRIX PER BUILDER
- ALUMINUM CORNER CONNECTING WINDOWS BY WDW MANUFACTURER
- 12mm GLASS RAILING w/ STAINLESS STEEL STAND-OFFS OR BLACK ALUMINUM POSTS PER ELEVATION
- ASPHALT SHINGLES w/ 30# FELT UNDERLAYMENT

PERFORMANCE REQUIREMENTS PER NAFS CANADA:

- MINIMUM PERFORMANCE GRADE (PG) : 25
- MINIMUM POSITIVE DESIGN PRESSURE: 1200 PA
- MINIMUM NEGATIVE DESIGN PRESSURE: 1200 PA
- MINIMUM WATER PENETRATION RESISTANCE TEST PRESSURE: 240 PA
- MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION: A2

ALL WINDOWS AND DOORS MUST MEET THE MINIMUM STANDARD U-VALUE OF 1.6



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTS	5/27/26

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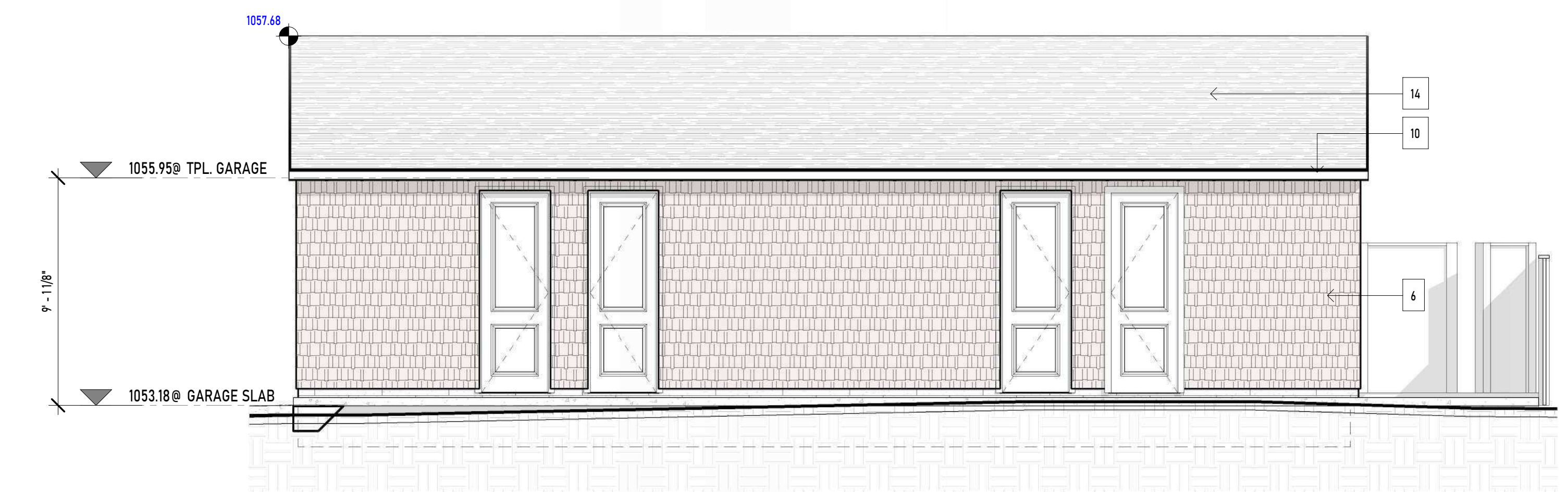
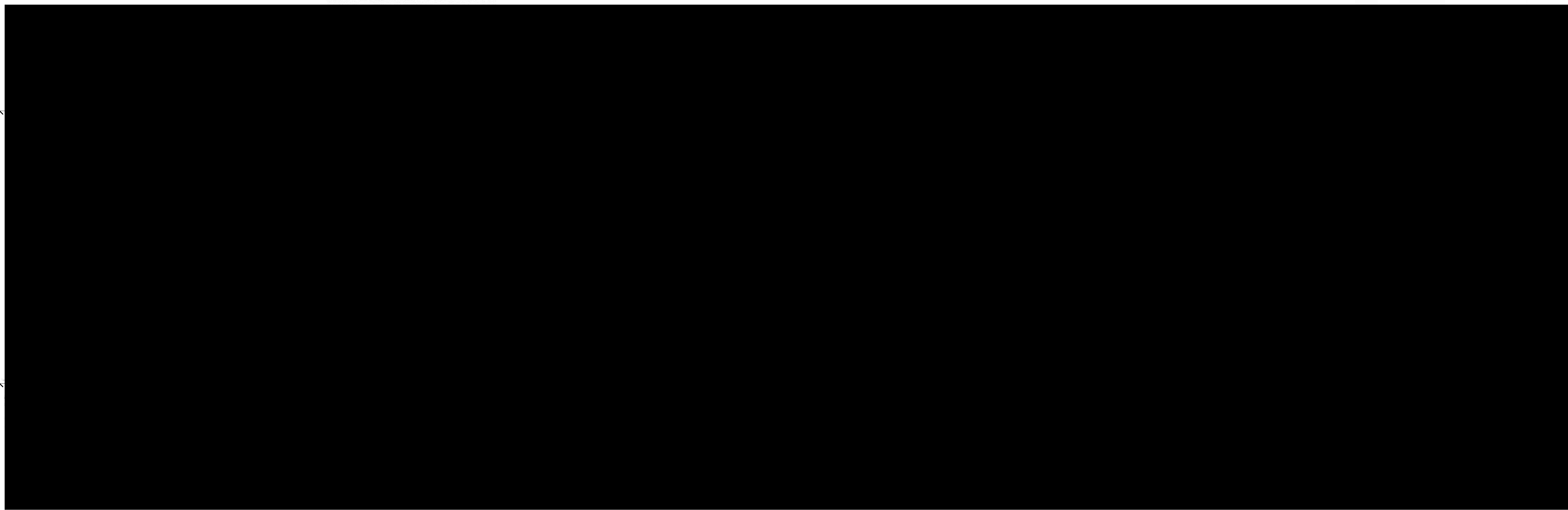
A600

GARAGE PLANS

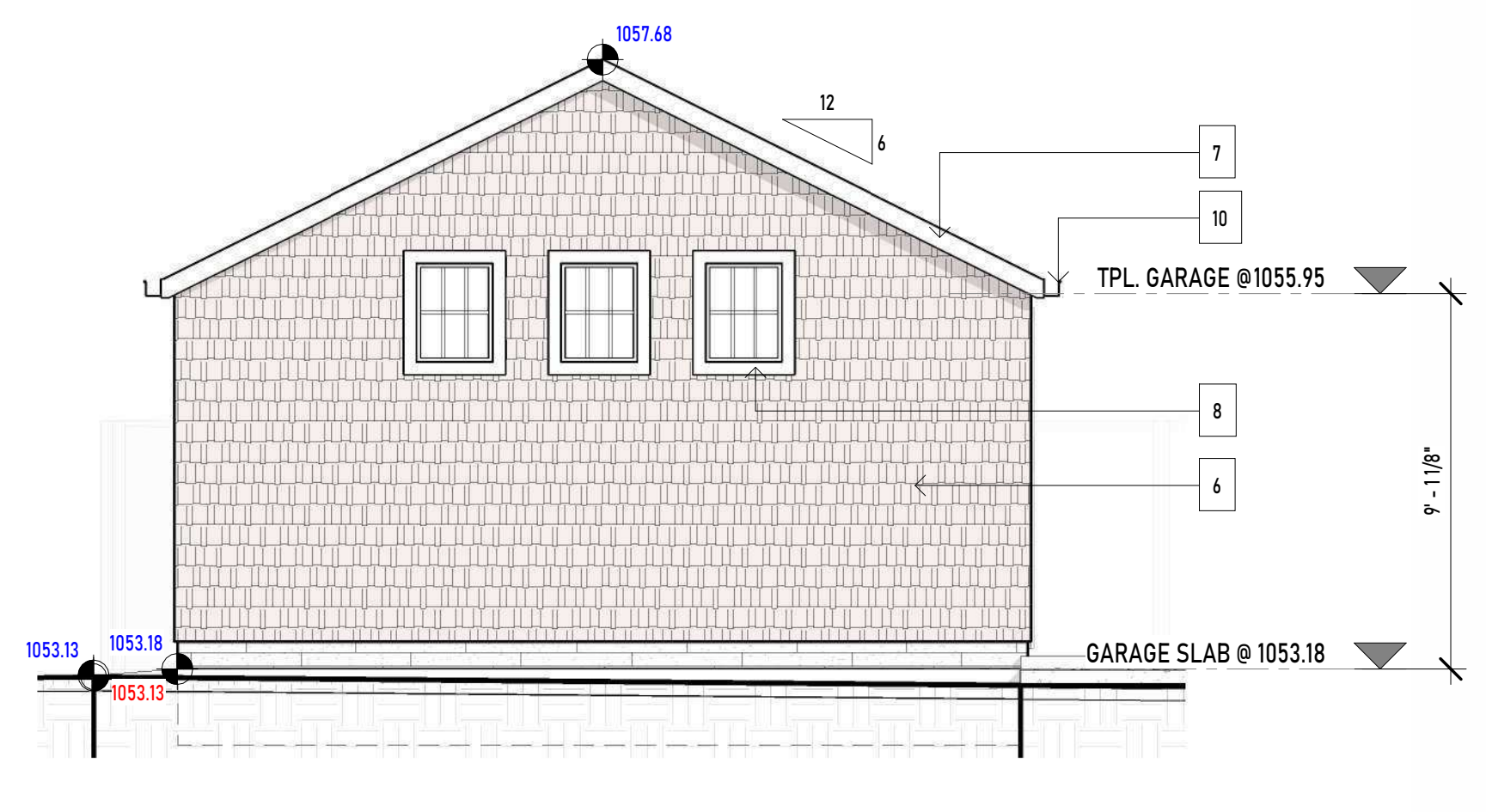
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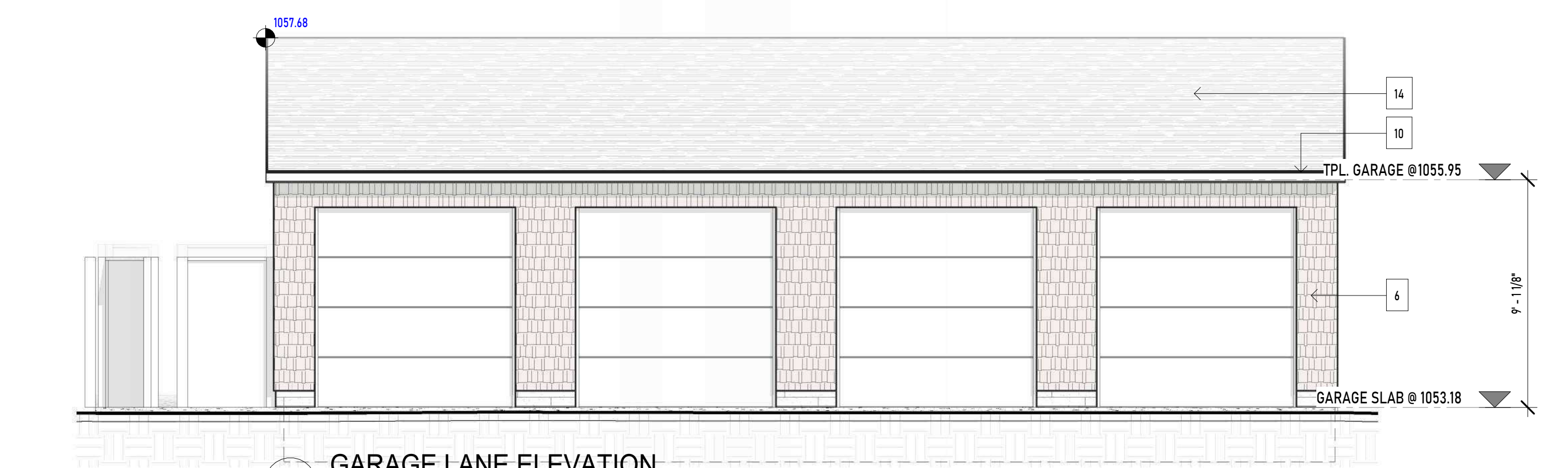
CHAMBOIX



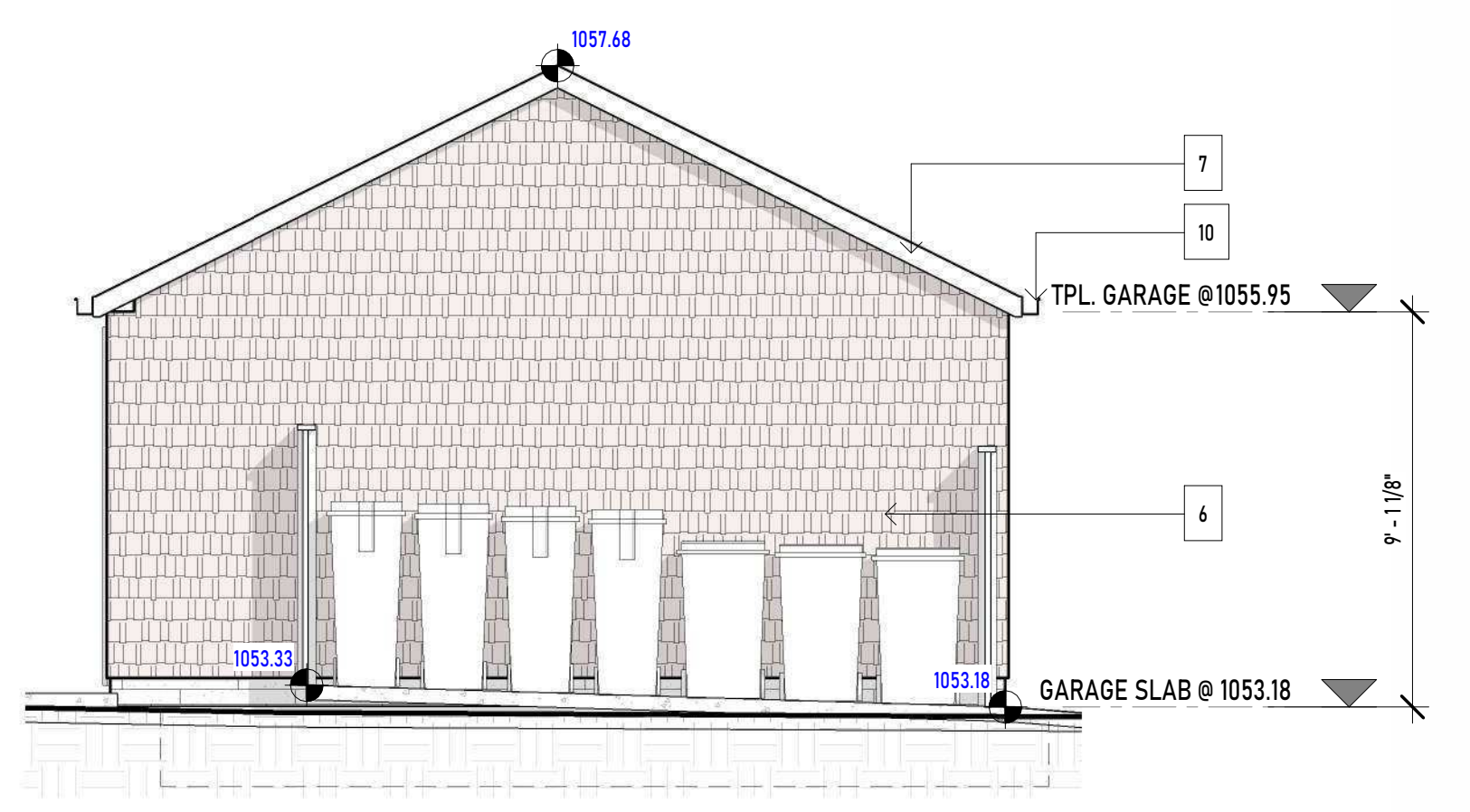
2 GARAGE YARD ELEVATION
1/4" = 1'-0"



3 GARAGE EAST ELEVATION
1/4" = 1'-0"



4 GARAGE LANE ELEVATION
1/4" = 1'-0"



5 GARAGE WEST ELEVATION
1/4" = 1'-0"

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