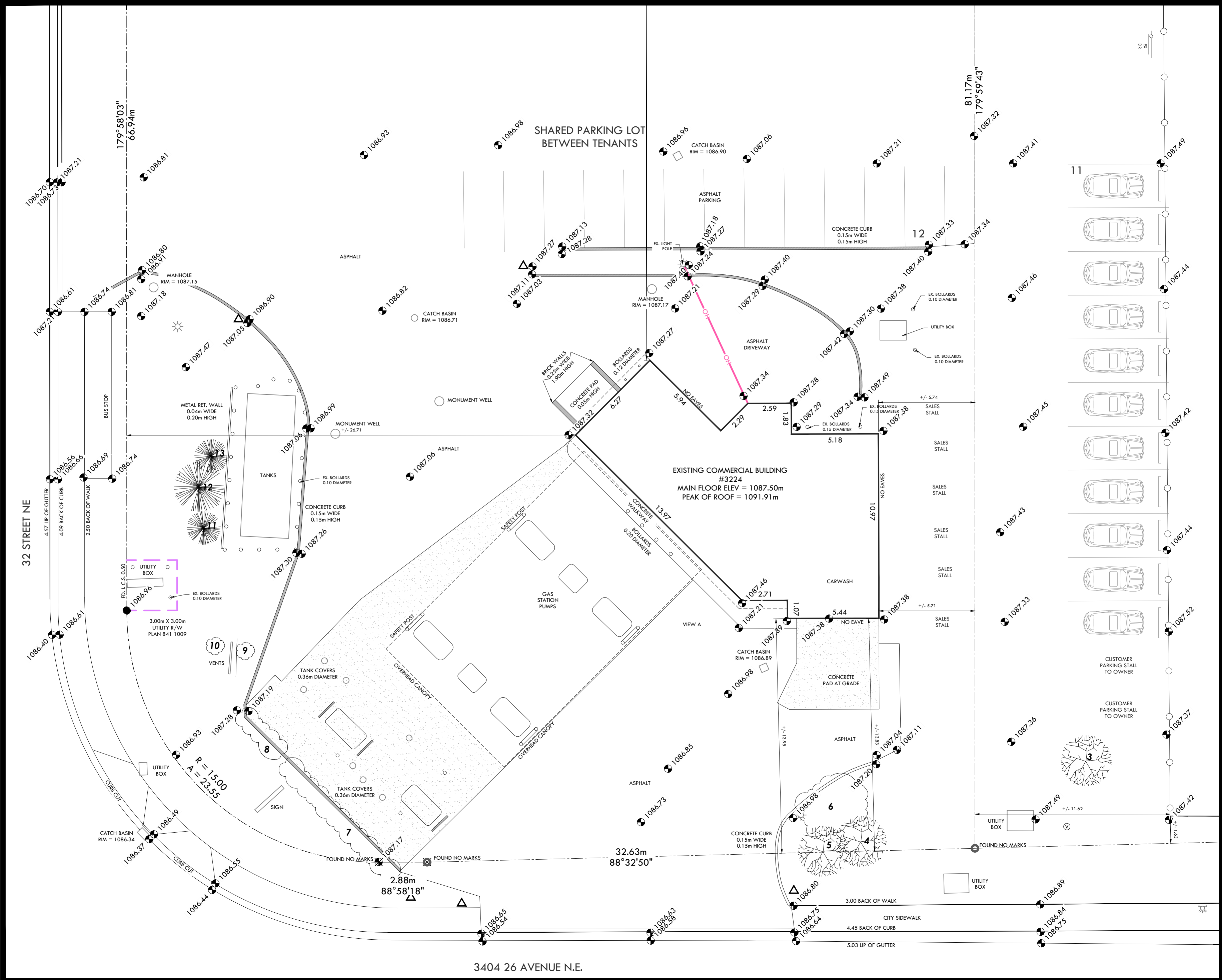




EXISTING SITE PLAN LEGEND

- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING FENCE
- EXISTING ROOF OVERHANG
- LINE OF ITEMS TO BE REMOVED
- EX. OVERHEAD POWER-LINES
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY LINE
- EXISTING ELECTRICAL CABLE
- POWER-LINE AERIAL TRESPASS
- TEMP. CONSTRUCTION FENCE
- TEMP. PROTECTION FENCE

--- WIN --- EXISTING FOUNDATION WINDOW

--- DR --- EXISTING FOUNDATION MAIN DOOR

● 1164.44 EXISTING GEODEC ELEVATION

○ END OF SEGMENT

● FOUND I PIN

○ EXISTING WATER VALVE

+/- 2.76 EXISTING DIMENSIONS

EXISTING WOOD DECK

EXISTING AREA OF STRUCTURE ABOVE

AREA OF EXISTING BUILDING

AREA OF EXISTING UR/W

EX. GENERAL SITE PLAN INFORMATION

LEGAL DESCRIPTION

LOT: 1 AND 2
BLOCK: 2
PLAN: 841, 1008
MUNICIPAL ADDRESS: 2748 32 STREET NE, CALGARY, ALBERTA

EXISTING LOT INFORMATION

AREA OF EXISTING LOT: 4075.61 m² - PARCEL ARE TO BE ZONED DC 3622008.
LOT IS OUTSIDE OF FLOODWAY FLOOD FENCE ZONE.

GROSS FLOOR AREA OF EXISTING BUILDING: 3226.64 m²

EXISTING LOT COVERAGE: 21.79%

EXISTING MAIN FLOOR ELEV.: 1087.50m

EXISTING BUILDING HEIGHT: 4.41m

EXISTING ROOF PEAK: 1091.91m

EXISTING PARKING STALLS: 23 (SHARED BETWEEN BUSINESSES)

PLEASE NOTE: THE NOTES REFLECTED ABOVE REFER TO THE REAR OF THE PROPERTY. ANY CHANGES TO THE MAIN DWELLING WILL BE REFERENCED WITHIN THE PROPOSED DATA. IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ANOMALY DRAFTING AND DESIGN.

EXISTING LANDSCAPING LEGEND

EXISTING POURED CONCRETE - EXISTING CONCRETE TO REMAIN

EXISTING FENCE GATE - SEE EXISTING SITE PHOTOS FOR CLARIFICATION

EXISTING CONIFEROUS TREE TO REMAIN

EXISTING DECIDUOUS TREE TO REMAIN

EXISTING SITE PLAN
SCALE: 1= 150m

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.



ANOMALY
DRAFTING AND DESIGN

PROJECT TYPE:
TENANCY CHANGE

AREA OF FLOOR:
N/A

TOTAL DEV. SQFT:
4705 SQFT

PROJECT ADDRESS:
2748 STREET NE CALGARY, AB

ISSUED TO:
MUNICIPALITY

PROJECT STATUS:
DEVELOPMENT PERMIT

PROJECT NO.:
DA086

DWG DATE M/D/Y:
06/08/26

SHEET TITLE:
EXISTING SITE PLAN

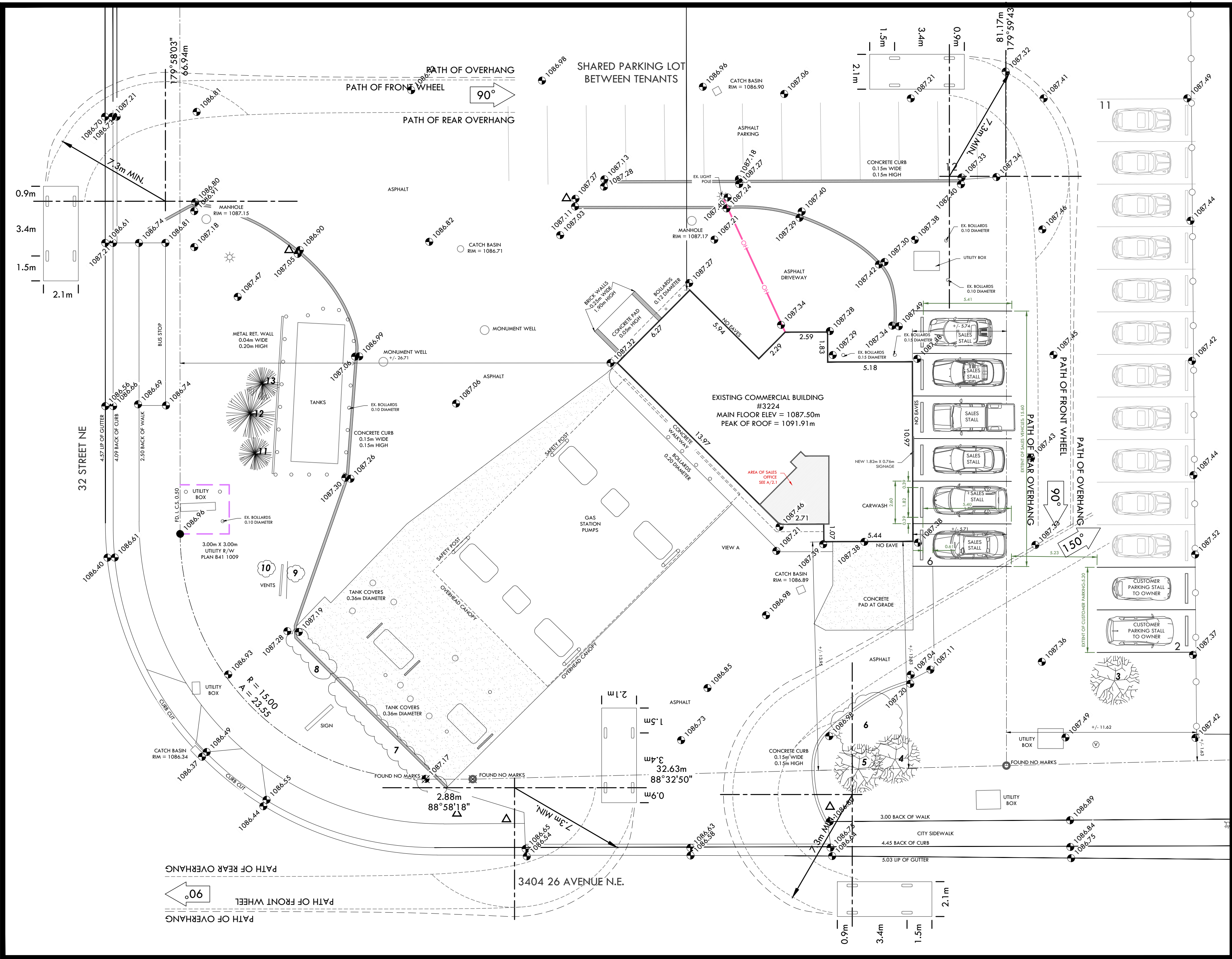
SCALE:
1:150

ISSUE DATE M/D/Y:
06/30/26

DRAFTER:
EKS

REVISION ISSUE #:
1

SHEET NO.:
A1.2



PROPOSED SITE PLAN LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	PROPOSED SETBACK LINE
	EXISTING SETBACK LINE
	PROPOSED FENCE LINE
	EXISTING FENCE LINE
	PROPOSED ROOF OVERHANG
	EXISTING ROOF OVERHANG
	PROPOSED O/H POWER-LINES
	EXIST. OVERHEAD POWER-LINES
	PROPOSED GAS LINE
	EXISTING GAS LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROP. BURIED ELECTRICAL LINE
	EXISTING ELECTRICAL CABLE
	PROPOSED SANITARY LINE
	EXIST. SANITARY LINE
	PROPOSED STORM LINE
	EXIST. STORM LINE
	PROP. FOUNDATION WINDOW
	MAN DOOR WITH FOUNDATION
	PROP. GEODEC ELEVATION
	EX. GEODEC ELEVATION
	PROPOSED SLOPE
	PROP. DIMENSIONS
	POURED CONCRETE
	AREA OF STRUCTURE ABOVE
	WOODEN DECK
	AREA OF PROP. BUILDING
	AREA OF MAIN FLOOR PROJECTION
	AREA OF BALCONY ABOVE
	AREA OF NEW UR/W
	PRESSURE TREATED WOOD CURB AND/OR RETAINING WALL
	PRESSURE TREATED PRIVACY SCREEN - SEE ELEVATIONS FOR CONFIRMATION

EX. GENERAL SITE PLAN INFORMATION	
LEGAL DESCRIPTION	
LOT: 1 AND 2 BLOCK: 2 PLAN: B41 1008 MUNICIPAL ADDRESS: 2748 32 STREET NE, CALGARY, ALBERTA	
EXISTING LOT INFORMATION	
AREA OF EXISTING LOT: 4075.61 m ² - PARCEL ARE TO BE ZONED DC 3622008. LOT IS OUTSIDE OF FLOODWAY FLOOD FRINGE ZONE.	
GROSS FLOOR AREA OF EXISTING BUILDING: 326.64 m ²	
EXISTING LOT COVERAGE: 21.79%	
EXISTING MAIN FLOOR ELEV.: 1087.50m	
EXISTING BUILDING HEIGHT: 4.41m	
EXISTING ROOF PEAK: 1091.91m	
EXISTING PARKING STALLS: 23 (SHARED BETWEEN BUSINESSES)	
PLEASE NOTE: THE NOTES REFLECTED ABOVE REFER TO THE REAR OF THE PROPERTY. ANY CHANGES TO THE MAIN DWELLING WILL BE REFERENCED WITHIN THE PROPOSED DATA. IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ANOMALY DRAFTING AND DESIGN.	

PROPOSED DEVELOPMENT INFORMATION	
LEGAL DESCRIPTION	
LOT: 1 AND 2 BLOCK: 2 PLAN: B41 1008 MUNICIPAL ADDRESS: 2748 32 STREET NE, CALGARY, ALBERTA	
PROPOSED SITE INFORMATION	
AREA OF EXISTING LOT:	4075.61 m ²
NUMBER OF SALES STALLS:	6
NUMBER OF CUSTOMER STALLS:	2

PROPOSED SITE PLAN
SCALE: 1= 150m

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

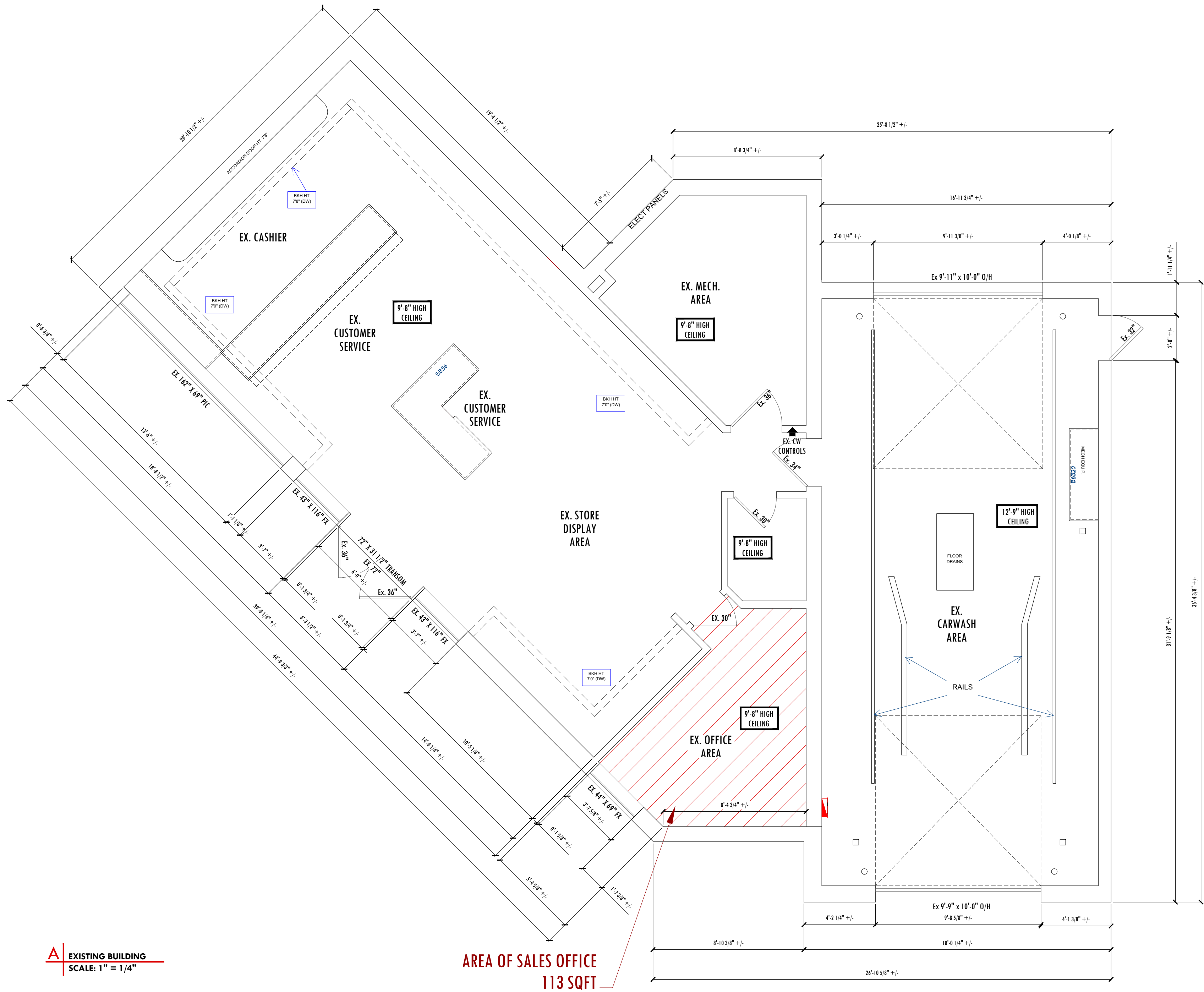
email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT STATUS:
DEVELOPMENT PERMIT

SHEET TITLE:
PROPOSED SITE PLAN

PROJECT TYPE: TENANCY CHANGE	PROJECT ADDRESS: 2748 STREET NE CALGARY, AB	PROJECT NO.: DA086	SCALE: 1:150	DRAFTER: EKS	SHEET NO.: A1.3
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 4705 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 06/30/26	ISSUE DATE M/D/Y: 06/30/26	REVISION ISSUE #: 1



A EXISTING BUILDING
SCALE: 1" = 1/4"

EXISTING BUILDING NOTES

PLEASE NOTE:

Existing measurements are provided by **Urban Measure Inc.** Therefore, all discrepancies are to be brought to **Anomaly Drafting and Design**, for augmentation the architectural drawings as per existing site conditions. GC is to review drawings provided and the existing site conditions **before commencement of work.**

- All existing measurements shown refer to FACE OF DRYWALL. Therefore, existing measurements have a tolerance of $\frac{1}{16}$ " of Inch. GC is to confirm measurements before commencement of work
- Existing mechanical room is unfinished.
- Existing suite ceiling is ceiling tile throughout.
- Existing structural members shown are approximate and to be verified on site by an engineer.

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

email: info@anomalydraftinganddesign.com
phone: 403 921 9275



PROJECT STATUS:

DEVELOPMENT PERMIT

SHEET TITLE:

OFFICE LAYOUT

PROJECT TYPE:
TENANCY CHANGE

PROJECT ADDRESS:
2748 STREET NE CALGARY, AB

PROJECT NO:
DA086

SCALE:
1:150

DRAFTER:
EKS

SHEET NO.:

A2.1

AREA OF FLOOR:
N/A

TOTAL DEV. SQFT:
4705 SQFT

ISSUED TO:
MUNICIPALITY

DWG DATE M/D/Y:
06/30/26

ISSUE DATE M/D/Y:
06/30/26

REVISION ISSUE #:
1