

This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



Contextual Single Detached Dwelling

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- ☒ The City
- ☒ The public

Single Detached Dwelling

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- ☒ The City
- ☒ The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Single Detached dwelling applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Single Detached** dwelling which would allow The City and the public to comment.

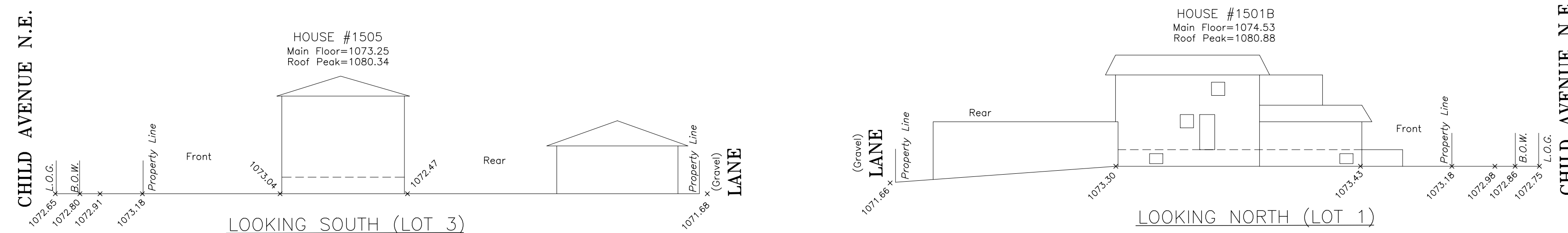
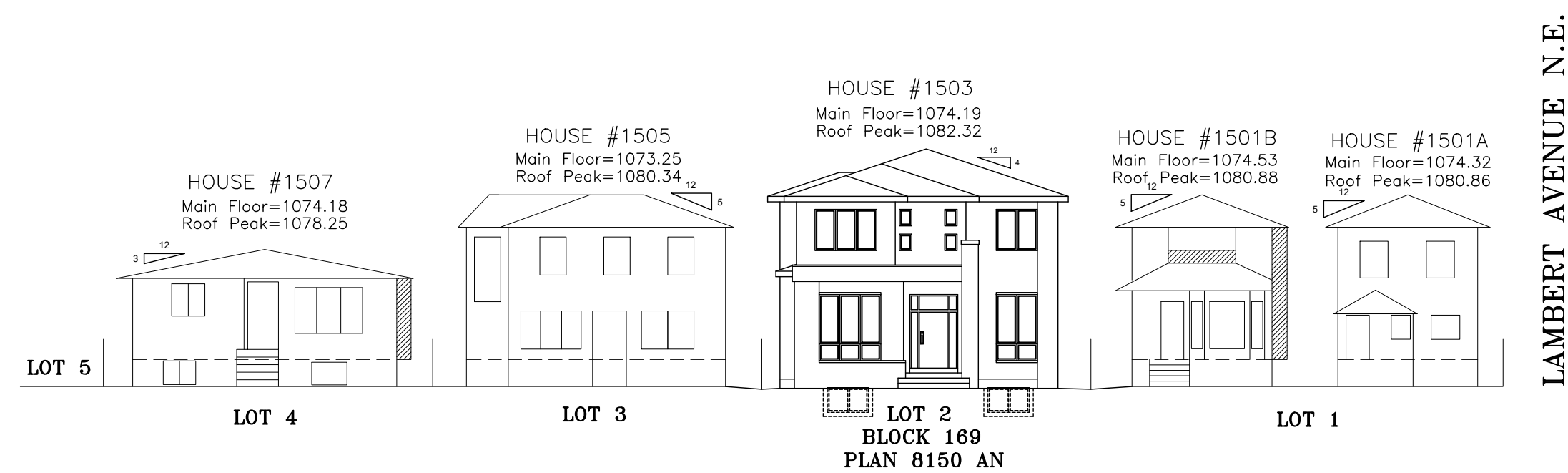
The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development



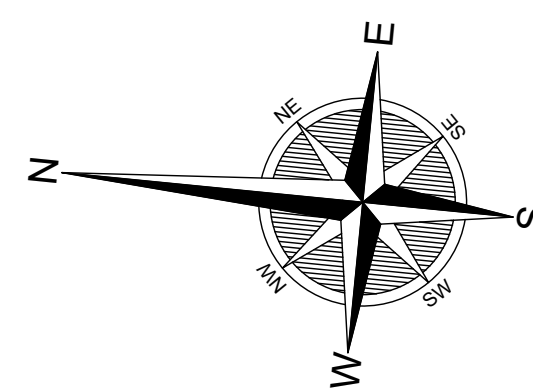
NEW STREETSCAPE



BUILDING HEIGHT 438 (1) (a):
HIGHEST AVERAGE GRADE FRONT = 1073.180m
HIGHEST AVERAGE GRADE REAR = 1071.670m
HIGHEST AVERAGE GRADE + 1.00 = 1074.180m
HIGHEST AVERAGE GRADE + 8.60 = 1082.780m
MAXIMUM HEIGHT FOR 438 (1) (a) = 1082.780m

BUILDING HEIGHT 438 (1) (b):
ADJACENT DWELLING ROOF PEAK 1 = 1080.34m
ADJACENT DWELLING ROOF PEAK 2 = 1080.88m
AVERAGE OF TWO ADJACENT LOTS IS
1080.34 + 1080.88 = 2161.22 / 2 = 1080.61
CONTEXTUAL AVERAGE - HIGHEST LOT GRADE =
CONTEXTUAL HEIGHT 1080.61m - 1073.18m = 7.43m
CONTEXTUAL HEIGHT 7.43m + 1.5m = 8.93m
ROUND DOWN IF OVER 10.00m
MAXIMUM HEIGHT FOR 438 (1) (b) = 8.93m

HIGHEST AVERAGE GRADE FRONT = 1073.180m
HIGHEST AVERAGE GRADE REAR = 1071.670m
HIGHEST AVERAGE GRADE +1.00 = 1074.180m
HIGHEST AVERAGE GRADE + 8.93 = 1083.11m



CHILD AVENUE N.E.

5.24m to Lip of Gutter
3.83m to Back of Sidewalk

1072.75 x
1072.86 x
1072.98 x
1073.18 x
1073.85 x
1072.80 x
1072.96 x
1072.91 x
1073.18 x
1073.19 @ 1m
1073.23 x
1072.74 x
1071.98 x
1071.66 x
1071.52 x
1071.45 x
1071.56 x

LOT 1

LOT 2

DIWELLING
ROOF PEAK = 82.13
TOP OF JOISTS = 74.00
T.O.J. - U.S.J. = 0.38
UNDERSIDE OF JOISTS = 73.62
U.O.J. - U.O.S. = 2.86
UNDERSIDE OF SLAB = 70.76
A.T.F. = 70.72

LOT 2
BLOCK 169
PLAN 8150 AN

DECK
TOP OF DECK = 73.90

GARAGE
ROOF PEAK = 1076.10
TOP OF SLAB = 1071.72

NEW CONC. APRON

Catch Basin

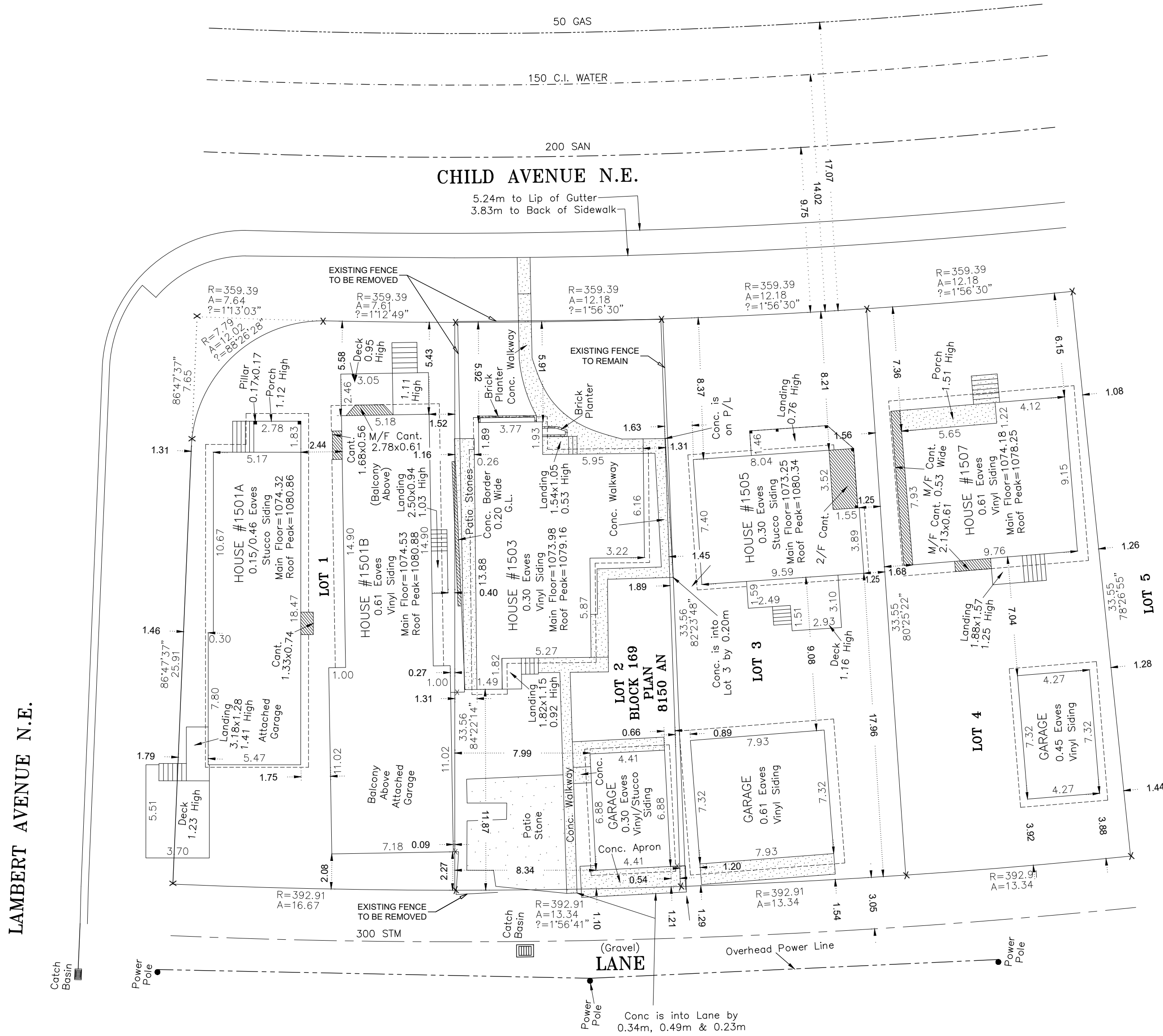
(Gravel)
LANE

CONSTRUCTION ACCESS
TO BE FROM LANE ONLY

Tree No.	Tree Type	Trunk Dia.	Canopy Dia.	Height	Serial Number	Status
1	Deciduous FRANKLIN PENNSYLVANIA	0.50	12.60	20.00	T-32128639	Existing
2	Deciduous	0.40	4.60	13.00	n/a	Existing
3	Deciduous	0.40	5.00	7.00	n/a	Existing
4	Deciduous	Swedish Columnar Aspen 50mm Caliper. Planting Height 1.8m				NEW
5	Deciduous	Swedish Columnar Aspen 50mm Caliper. Planting Height 1.8m				NEW

dhc		DESIGN HOUSE OF CALGARY LTD	
RESIDENTIAL DESIGN AND DRAFTING SERVICES			
133 Hawkbury Close NW Calgary, Alberta T3G 3E3 Telephone 403.451.9595 www.designhouseofcalgary.com			
DRAWING			
DEVELOPMENT PERMIT		PROPOSED PLAN	
SURVEYOR		VISTA GEOMATICS LTD.	
		Bay 28, 2115 - 32nd Ave. N.E. Calgary, Alberta T2E 6Z3 Phone (403) 270-0408 E-mail: admin@vistageomatics.com	
SURVEYOR LEGEND			
Client: Frame + Sol Homes Ltd. Drawn by: CAR		Dated: June 2nd, 2026 V.G. File No. 26055117-DP	
Elevations are geodetic and are shown thus ... x 1072.56 Elevations are derived from ASCM 52738 Marker No.: 52738 Elevation: 1071.302 Bearings are derived from a line adjoining ASCM's 52738 & 209379 Location of underground utilities have been described and located according to Block Profile Plans provided by the City of Calgary Distances are in metres and decimals thereof. This survey was performed between the dates of: <u>May 21st, 2026</u> and <u>May 25th, 2026</u>. Canopies of trees are shown thus ... Coniferous trees are shown thus ... Deciduous trees are shown thus ... Bush are shown thus ... Fences are shown thus ... Manholes shown thus ... Catch Basin shown thus ... Light Standard shown thus ... Fire hydrants shown thus ... Power poles shown thus ... Signs shown thus ... Water valves shown thus ...			
Encumbrances, Liens & Interests			
C. of T. Number 231 344 336 (As to Lot 2, Block 169, Plan 8150 AN)			
Registration No.	Particulars	Comments	
2566 AP	Caveat	Re: Restrictive Covenant	
771 147 064	Zoning Regulations	Re: Subject to Calgary International Airport Zoning Regulations	
241 140 059	Caveat	Re: Encroachment Agreement Pursuant to Municipal Government Act	
WINDOWS SHOWN THUS: DOORS SHOWN THUS: OVERHEAD GARAGE DOOR SHOWN THUS: MAIN FLOOR WINDOWS SHOWN THUS: UPPER FLOOR WINDOWS SHOWN THUS: BASEMENT WINDOWS SHOWN THUS: DR OHGD MW UW BW			
--- This plan represents the best information at the time of survey. --- VISTA GEOMATICS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction. CALL UTILITY SAFETY PARTNERS : 1-800-242-3447			
GEODETIC ELEVATIONS ARE SHOWN THUS: EXISTING ELEVATIONS: ± 41.88 = 1045.88 METERS PROPOSED ELEVATIONS: M 45.88 = 1045.88 METERS INTERPOLATED ELEVATIONS: M 45.88 = 1045.88 METERS			
ALL UNDERGROUND UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION			
0 1 2 3 4 5 10 20m SCALE - 1 : 200 FOR SCALE PRINT ON 24x36 PAPER			
CLIENT			
FRAME + SOL HOMES LTD.			
MUNICIPAL ADDRESS			
1503 CHILD AVENUE NE			
LEGAL DESCRIPTION			
LOT 2, BLOCK 169, PLAN 8150 AN			
COMMUNITY			
RENFREW			
LAND USE DESIGNATION			
R-C2			
RESIDENTIAL - CONTEXTUAL ONE / TWO DWELLING			
LOT COVERAGE CALCULATION			
LOT AREA		428.106 m²	
MAXIMUM 45% COVERAGE		192.648 m²	
HOUSE AND GARAGE		183.019 m²	
TOTAL COVERAGE		42.751 %	
LOT AREA PROVIDED BY THE REGISTERED ALBERTA LAND SURVEYOR, HOUSE AND GARAGE AREA INCLUDES ALL DECK AND PORCH AREAS COVERED BY A ROOF.			
SQUARE FOOTAGE		JOB	
MAIN FLOOR		1310	
UPPER FLOOR		1273	
TOTAL		2583	
GARAGE		660	
BASEMENT		1064	
DATE		JUNE 12, 2026	
		76-025	
		PERMIT NUMBER	
		DP2026 - ****	
		SHEET	
		1 OF 3	

EXISTING BLOCK PLAN

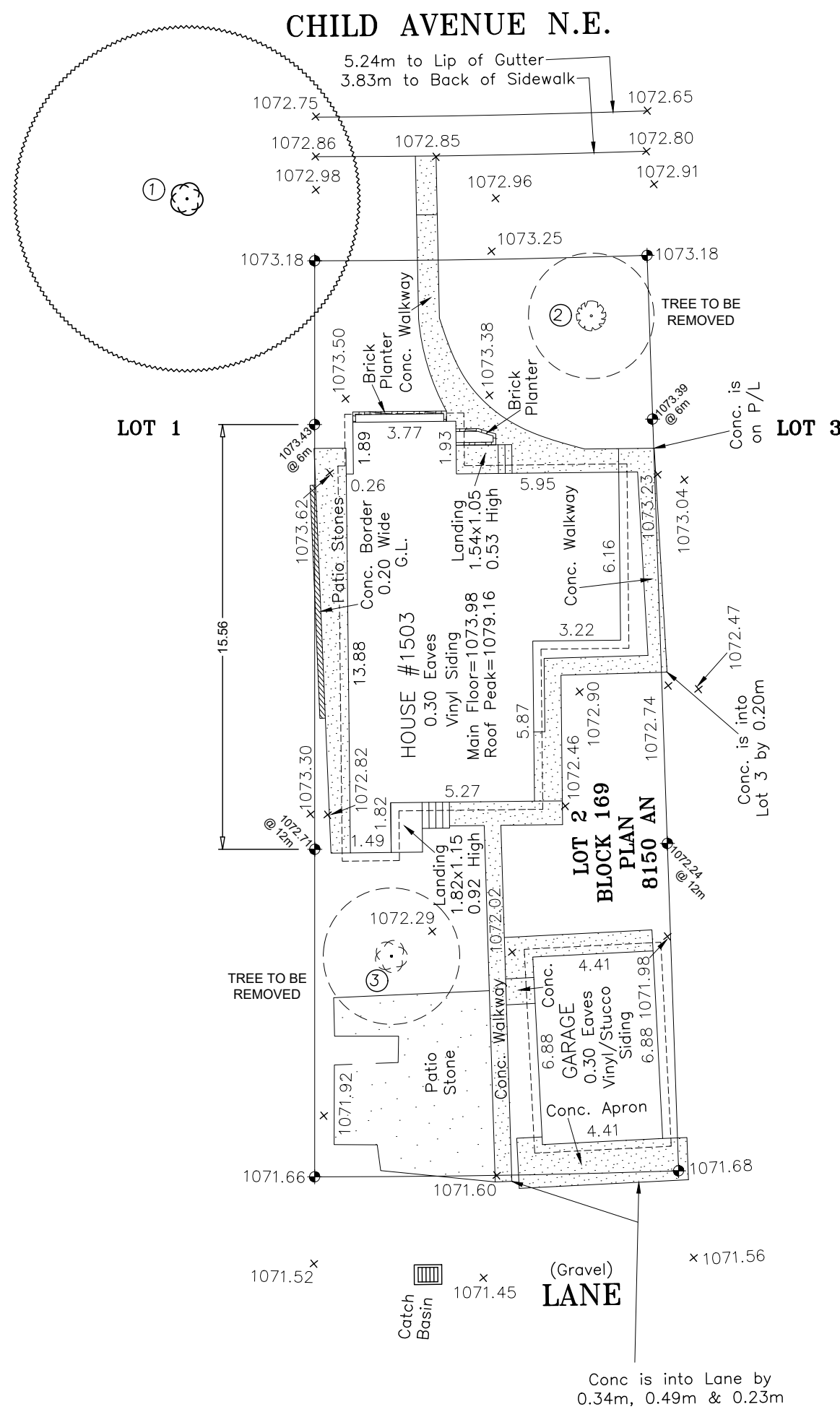
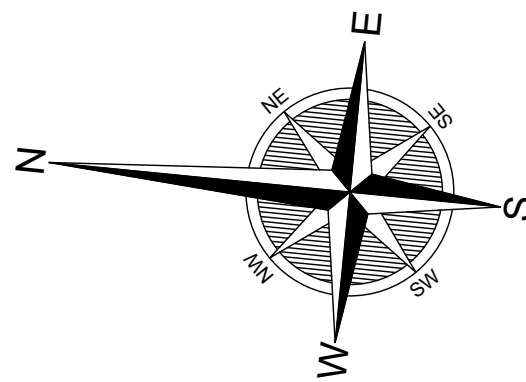


FRONT SETBACK CALCULATIONS
AVERAGE OF TWO ADJACENT LOTS MINUS 1.50m
5.43 + 8.21 = 13.64 / 2 = 6.82 - 1.50 = 5.32m
THUS THE MINIMUM FRONT SETBACK = 5.32m

BUILDING HEIGHT 438 (1) (a):
HIGHEST AVERAGE GRADE FRONT = 1073.180m
HIGHEST AVERAGE GRADE REAR = 1071.670m
HIGHEST AVERAGE GRADE + 1.00 = 1074.180m
HIGHEST AVERAGE GRADE + 8.60 = 1082.780m
MAXIMUM HEIGHT FOR 438 (1) (a) = 1082.780m

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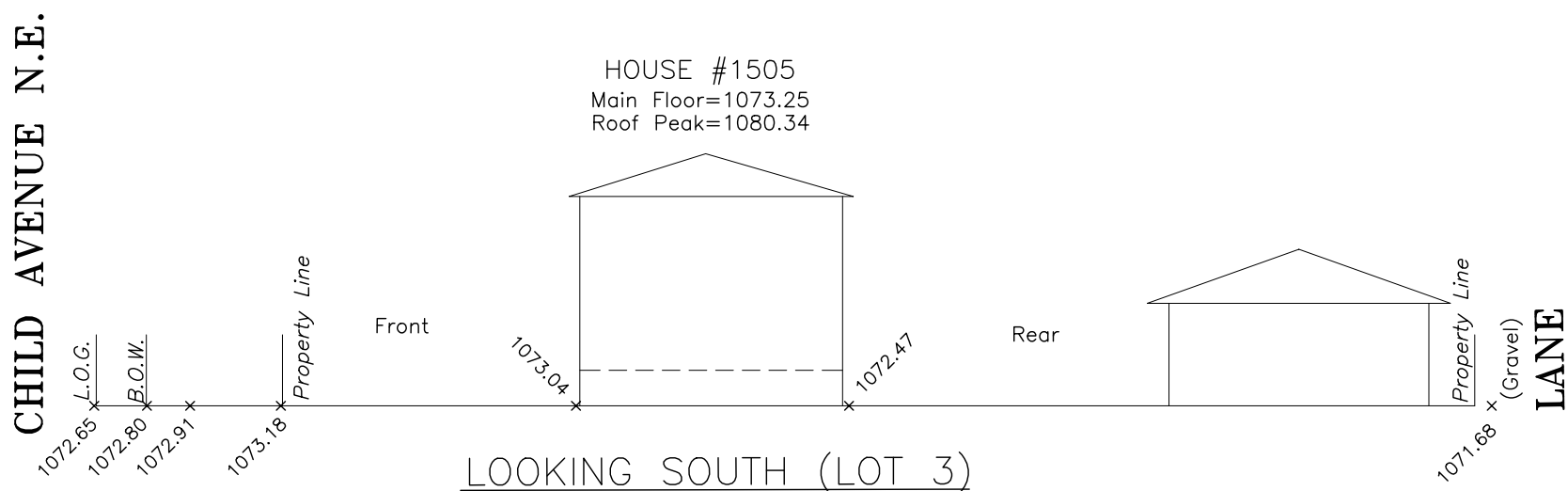
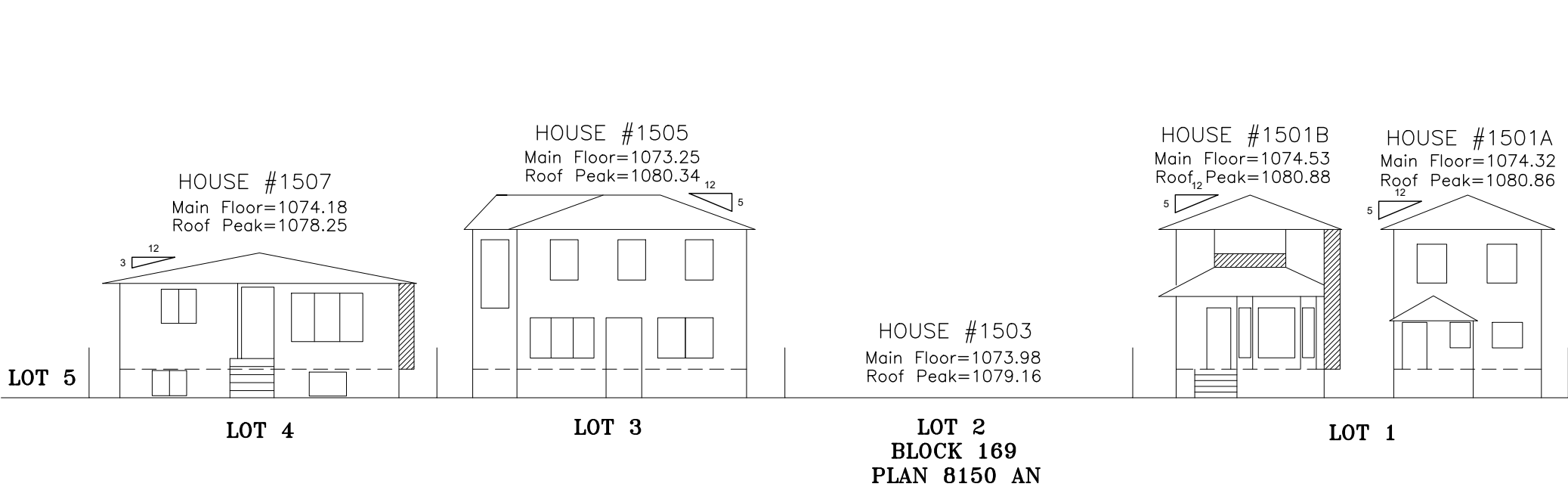
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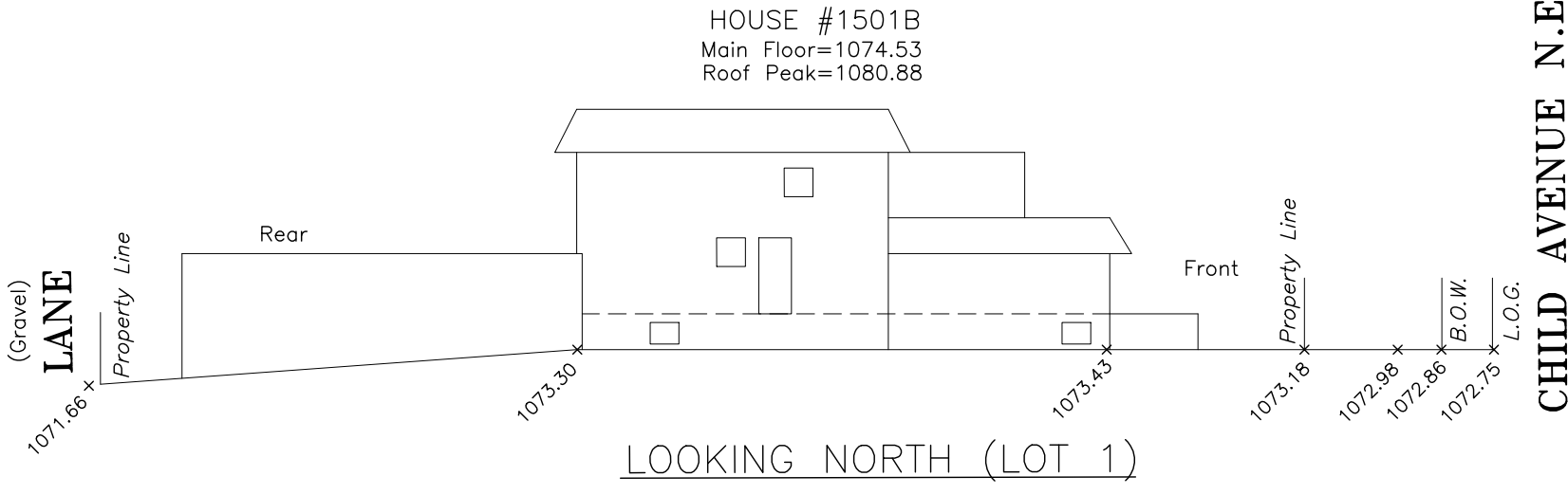
Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia.	Height	Serial Number	Status
1	Deciduous FRAXINUS PENNSYLVANICA	0.50	12.60	20.00	T-32128639	Existing
2	Coniferous	0.40	4.60	13.00	n/a	Existing
3	Deciduous	0.40	5.00	7.00	n/a	Existing
4						
5						

EXISTING STREETSCAPE



LAMBERT AVENUE N.E.



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133 Hawkbury Close NW
Calgary, Alberta T3G 3E3
Telephone 403.451.8688
www.designhouseofcalgary.com

DEVELOPMENT PERMIT EXISTING PLAN

VISTA GEOMATICS LTD.
Alberta Land Surveyors

Bay 28, 2115 - 32nd Ave. N.E.
Calgary, Alberta T2E 6Z3
Phone (403) 270-4048
E-mail: admin@vistageomatics.com

SURVEYOR LEGEND

Client: Frame + Sol Homes Ltd.
Drawn by: CAR
Dated: June 2nd, 2026
V.G. File No. 26055117-DP

Elevations are geodetic and are shown thus ...
Elevations are derived from ASCM 52738
Marker No. 52738
Bearing is derived from a line adjoining ASCM's 52738 & 209379
Location of underground utilities have been described
and located according to Block Profile Plans
provided by the City of Calgary
Distances are in metres and decimals thereof.
This survey was performed between the dates of:
May 21st, 2026 and May 25th, 2026.
Canopies of trees are shown thus ...
Coniferous trees are shown thus ...
Deciduous trees are shown thus ...
Bush are shown thus ...
Fences are shown thus ...
Manholes shown thus ...
Catch Basin shown thus ...
Light Standard shown thus ...
Fire hydrants shown thus ...
Power poles shown thus ...
Signs shown thus ...
Water valves shown thus ...

Encumbrances, Liens & Interests

C. of T. Number 231 344 336 (As to Lot 2, Block 169, Plan 8150 AN)

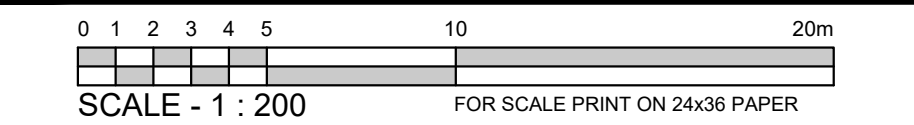
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771 147 064	Zoning Regulations	Re: Subject to Calgary International Airport Zoning Regulations
241 140 059	Caveat	Re: Encroachment Agreement Pursuant to Municipal Government Act

WINDOWS SHOWN THUS:
DOORS SHOWN THUS: DR
OVERHEAD GARAGE DOOR SHOWN THUS: OHGD
MAIN FLOOR WINDOWS SHOWN THUS: MW
UPPER FLOOR WINDOWS SHOWN THUS: UW
BASEMENT WINDOWS SHOWN THUS: BW

*** This plan represents the best information at the time of survey. ***
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CALL UTILITY SAFETY PARTNERS : 1-800-242-3447

GEODETIC ELEVATIONS ARE SHOWN THUS:
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PROPOSED ELEVATIONS: +45.88 = 1045.88 METERS
INTERPOLATED ELEVATIONS: +45.88 = 1045.88 METERS

ALL UNDERGROUND UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION



CLIENT

FRAME + SOL HOMES LTD.

MUNICIPAL ADDRESS
1503 CHILD AVENUE NE

LEGAL DESCRIPTION
LOT 2, BLOCK 169, PLAN 8150 AN

COMMUNITY
RENFREW

LAND USE DESIGNATION
R-C2
RESIDENTIAL - CONTEXTUAL ONE / TWO DWELLING

LOT COVERAGE CALCULATION

LOT AREA	428.106 m²
MAXIMUM 45% COVERAGE	192.648 m²
HOUSE AND GARAGE	141.483 m²
TOTAL COVERAGE	33.049 %

LOT AREA PROVIDED BY THE REGISTERED ALBERTA LAND SURVEYOR. HOUSE AND GARAGE AREA INCLUDES ALL DECK AND PORCH AREAS COVERED BY A ROOF.

SQUARE FOOTAGE

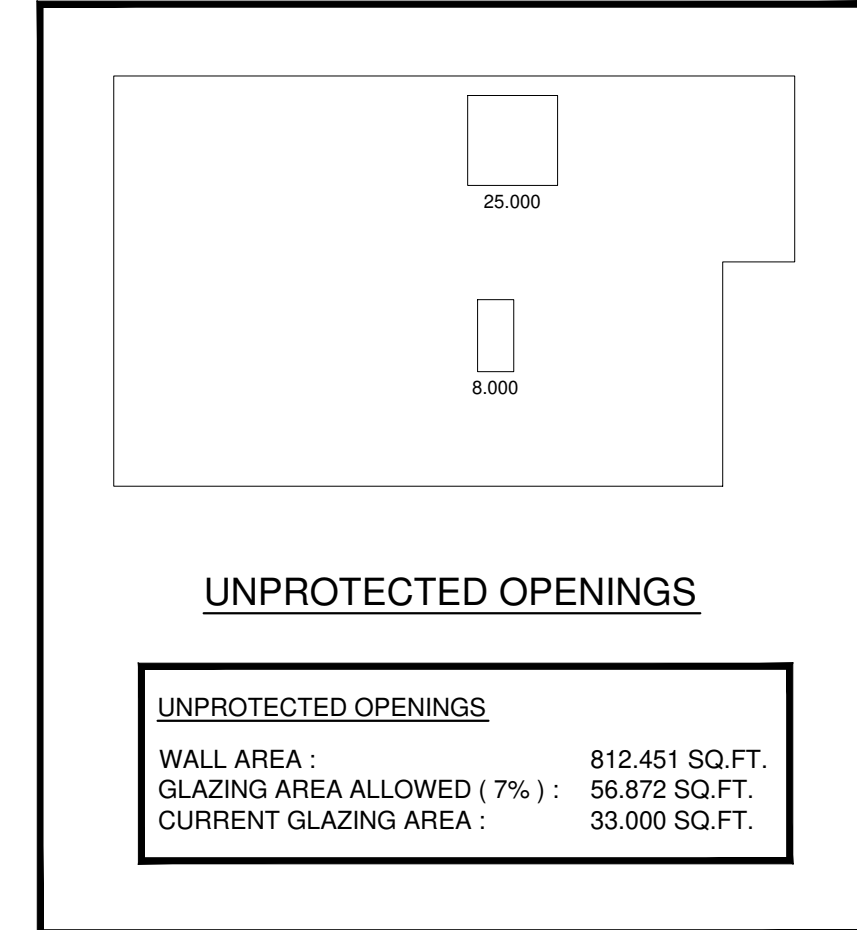
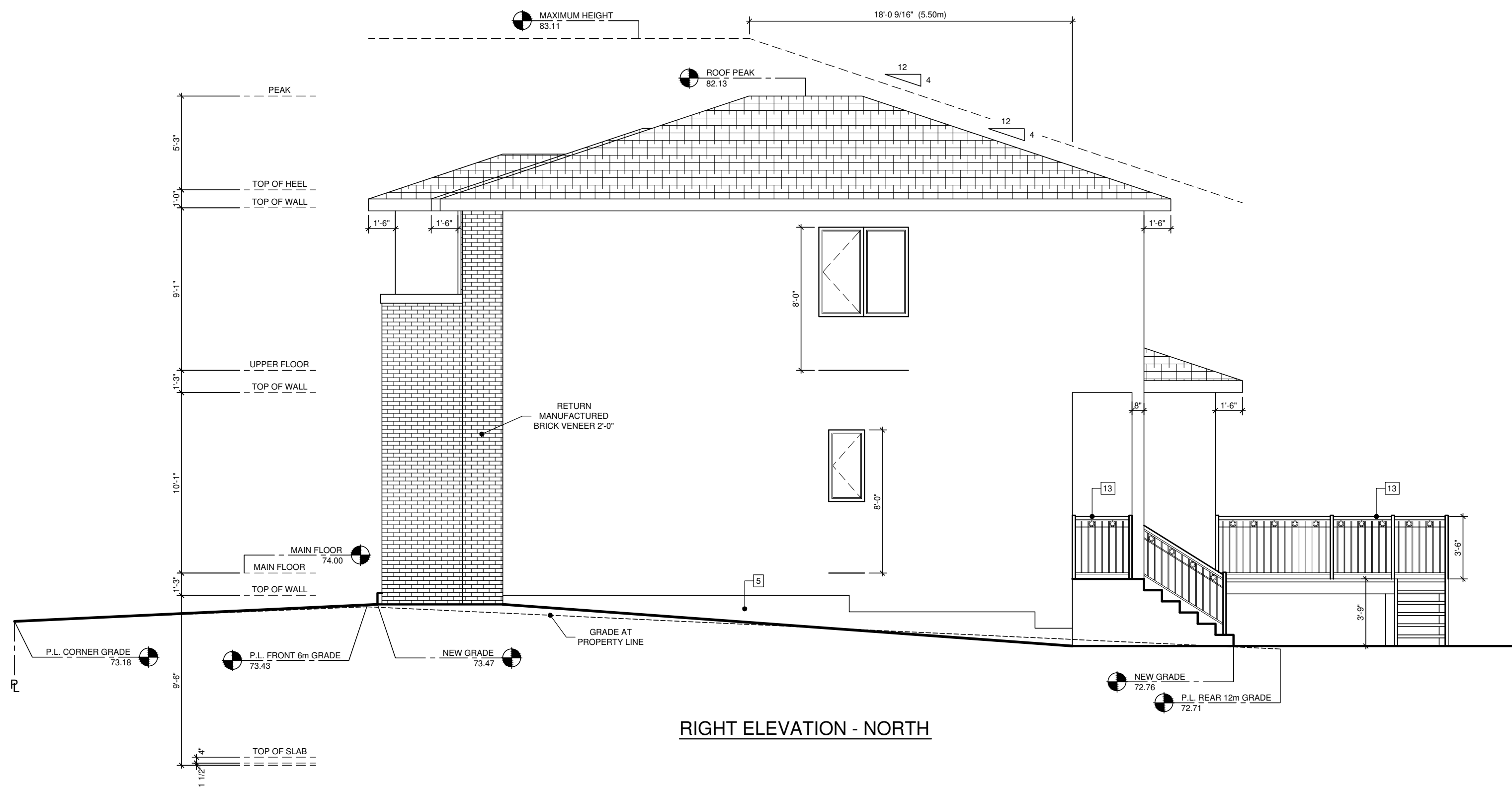
MAIN FLOOR	1310
UPPER FLOOR	1273
TOTAL	2583
GARAGE	660
BASEMENT	1064

DATE: JUNE 12, 2026

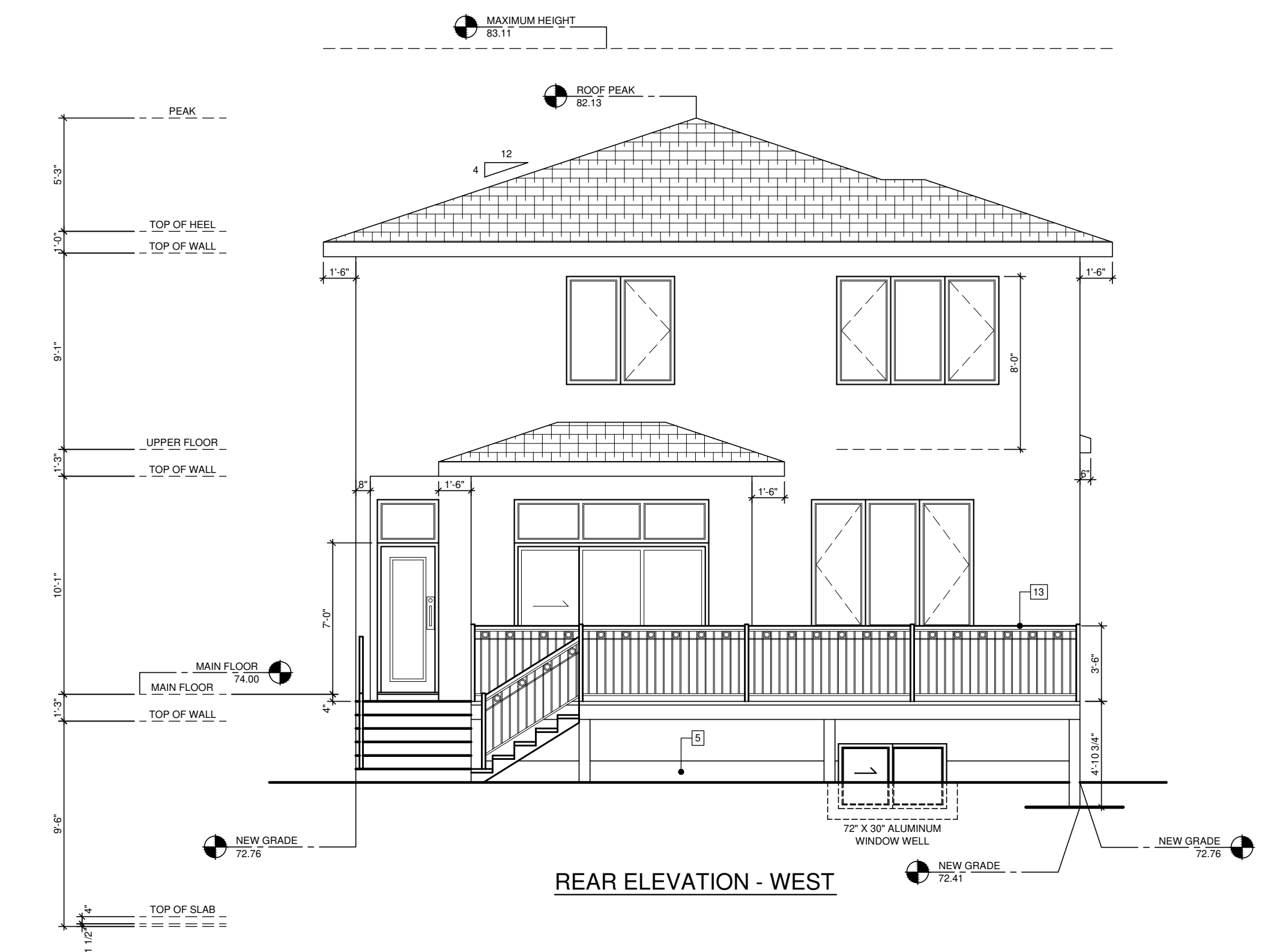
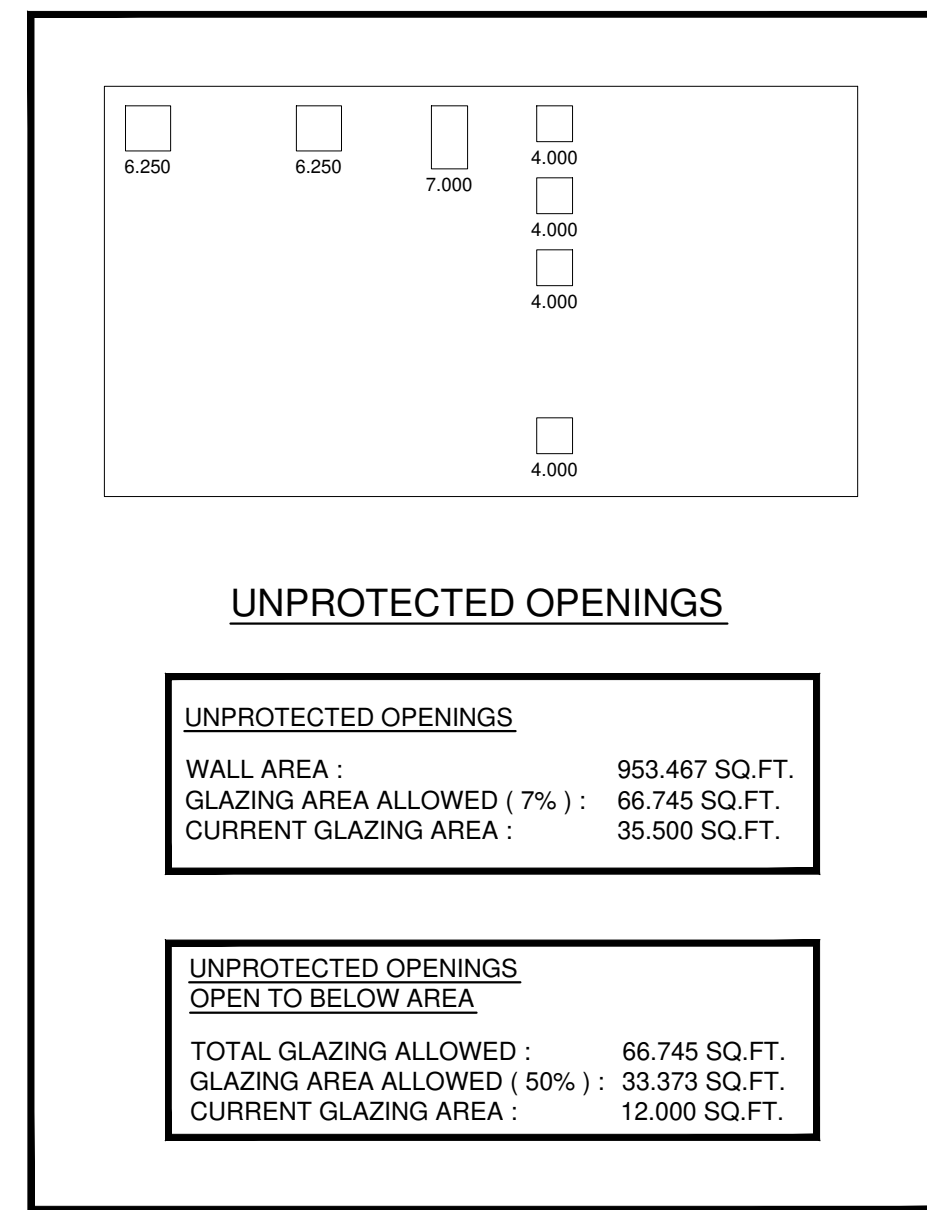
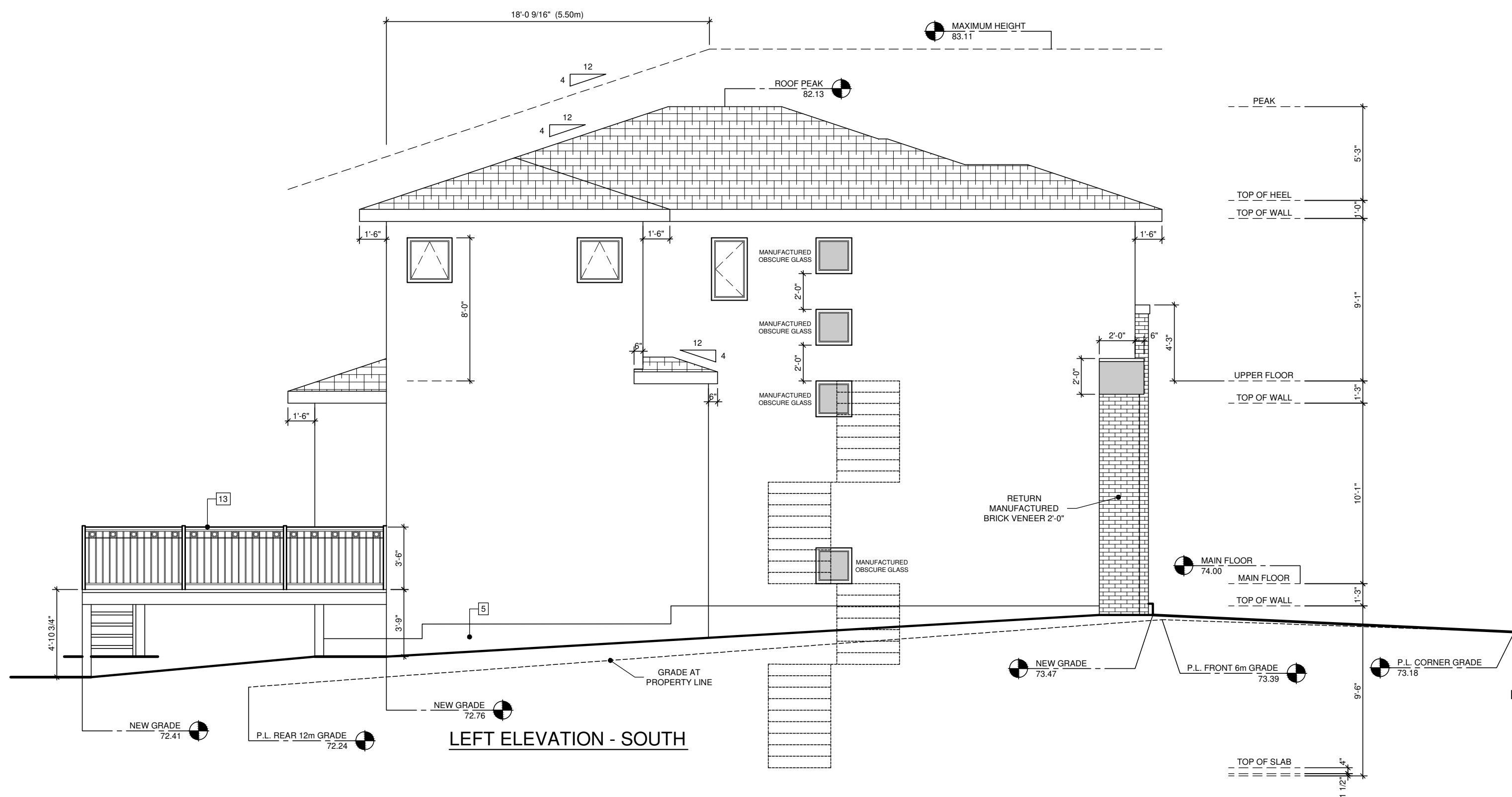
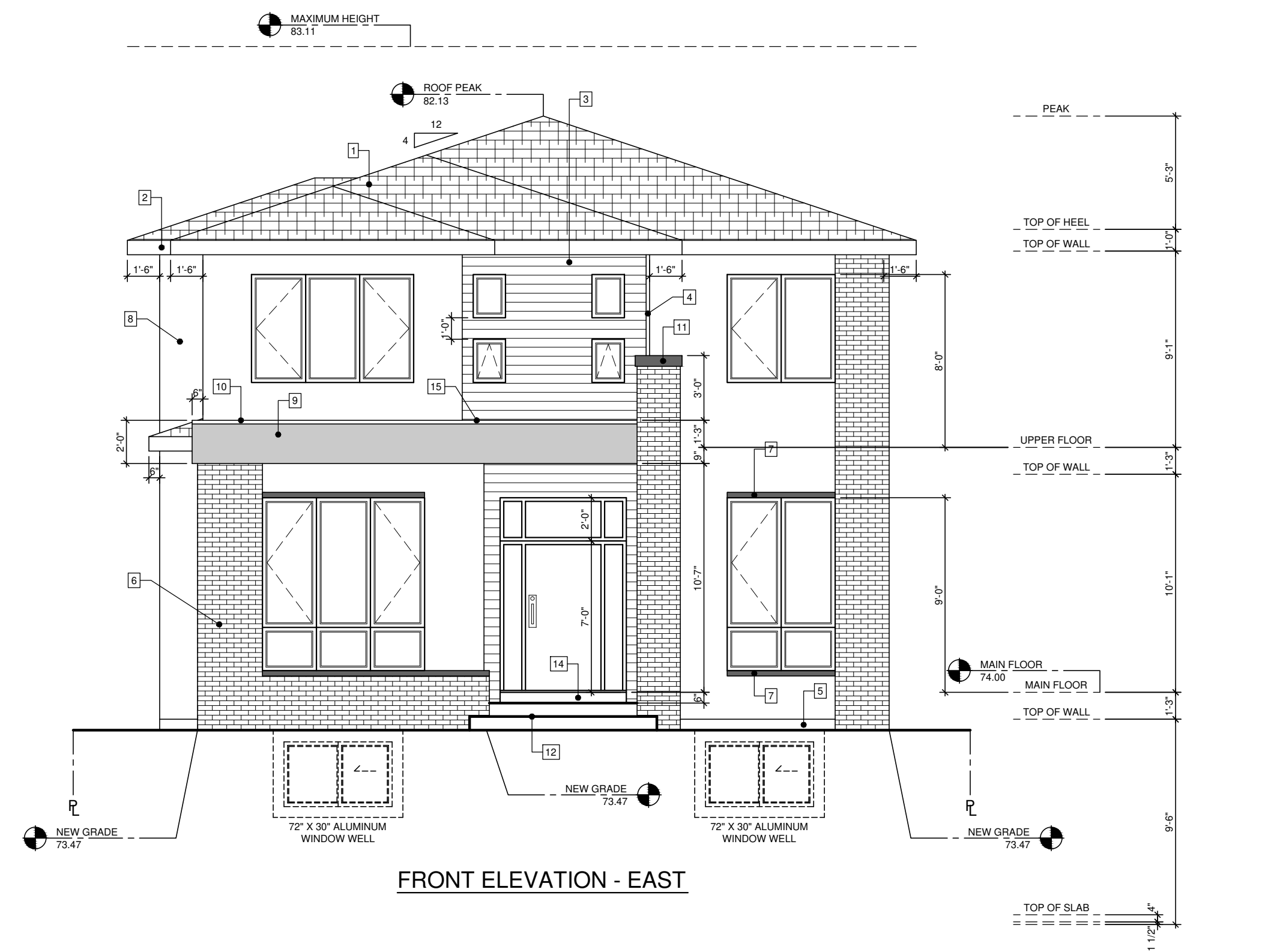
JOB
26-025

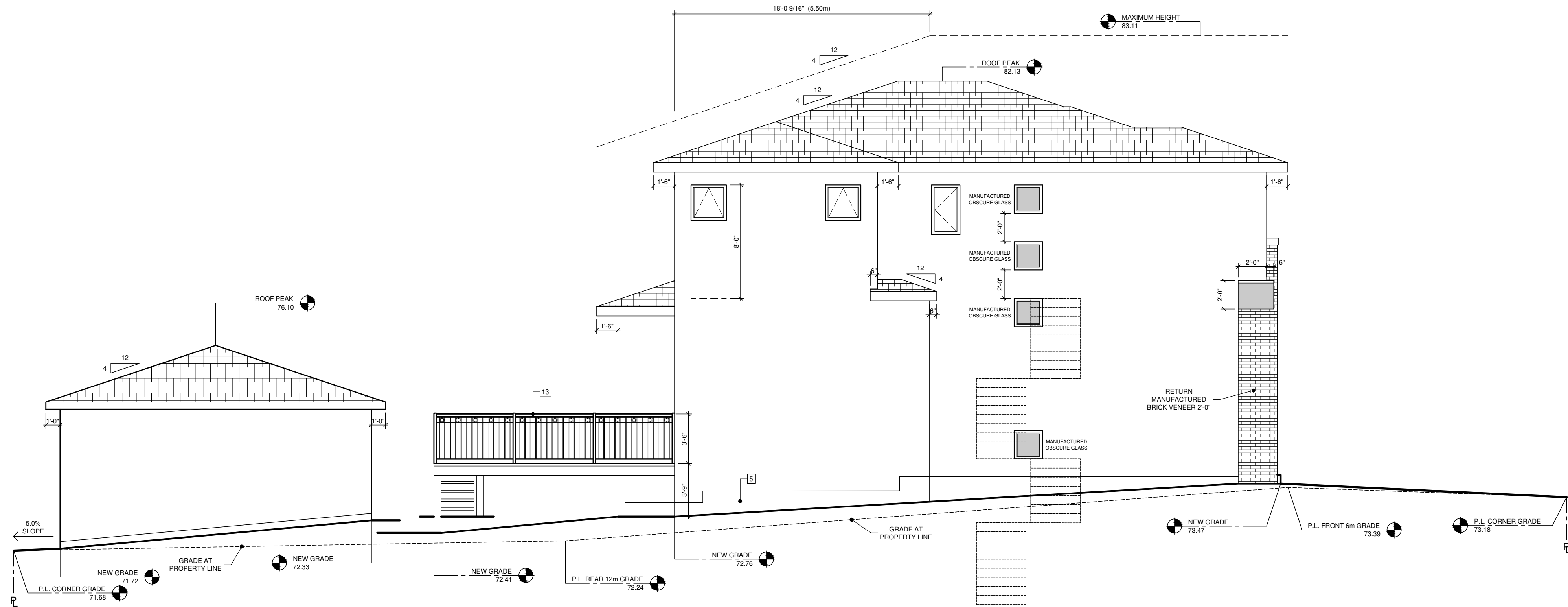
PERMIT NUMBER
DP2026 - ****

SHEET
3 OF 3

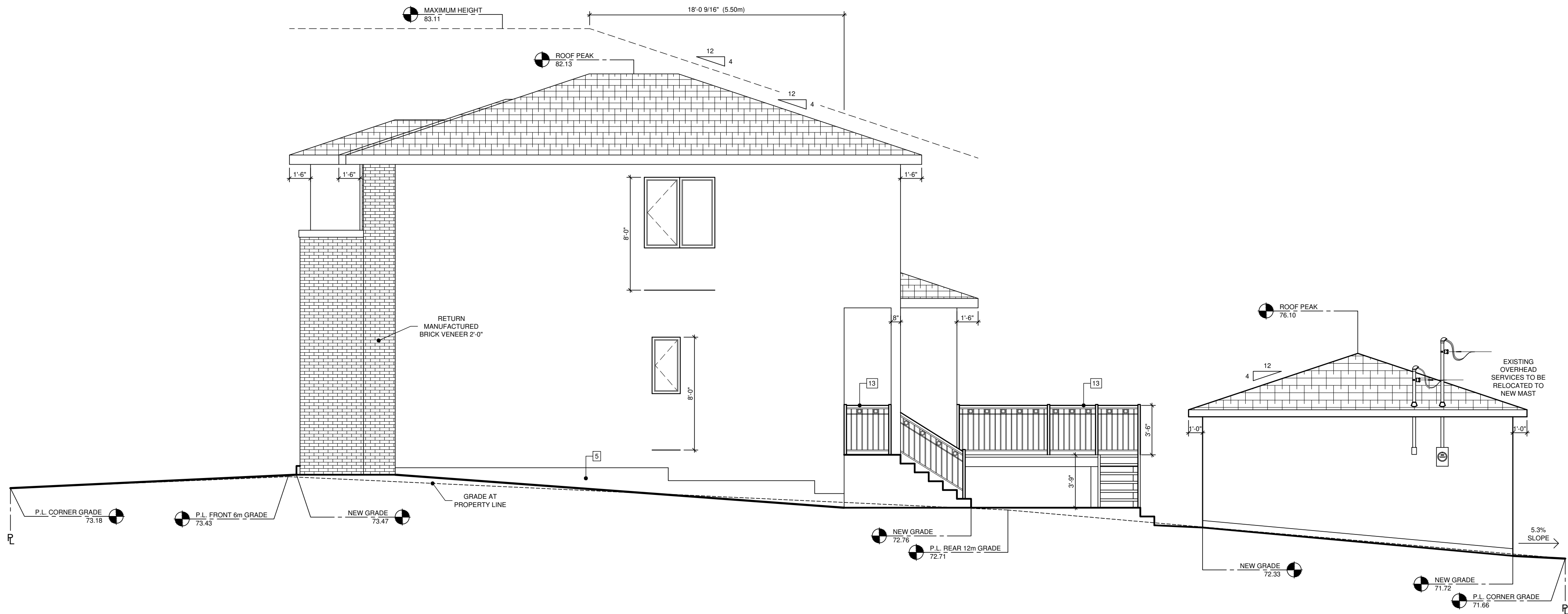


EXTERIOR MATERIALS	
TYPICAL ON ALL ELEVATIONS UNLESS NOTED OTHERWISE	
1	ARCHITECTURAL ASPHALT SHINGLES FOR ALL ROOF SLOPES OVER 3 IN 12
2	PINE FINISHED 8" ALUMINUM FASCIA C/W VENTED AND NON-VENTED PRE-FINISHED ALUMINUM SOFFIT AS PER N.B.C.
3	VERTICAL HARD BOARD SIDING
4	4" SMARTBOARD SMOOTH BATTEN CORNER BOARD
5	PARGING ABOVE GRADE - MAXIMUM 18" HIGH
6	MANUFACTURED BRICK VENEER C/W 3" SMARTBOARD CAP
7	PRECAST CONCRETE 3" SILL AND 3" HEADER
8	STUCCO FINISH COLOUR #1
9	STUCCO FINISH COLOUR #2
10	PRE-FINISHED 2" ALUMINUM DRIP EDGE
11	PRECAST CONCRETE 6" CAP
12	POUR-IN-PLACE CONCRETE LANDING AND STEPS
13	42" HIGH ALUMINUM PICKETS & RAILING AS PER N.B.C.
14	6" SMARTBOARD TOE-KICK
15	MINIMUM 60 MIL WEATHERPROOF ROOFING MEMBRANE FOR ALL ROOF SLOPES LESS THAN 3 IN 12 TO BE FRAMED ON SITE TO SUIT SLOPING TOWARDS GUTTER





GRADE PROFILE - SOUTH PROPERTY LINE



GRADE PROFILE - NORTH PROPERTY LINE

dhc

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133 Hawkbury Close NW
Calgary, Alberta T2G 3E3
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www.designhouseofcalgary.com

CLIENT

FRAME + SOL
HOMES LTD.

MUNICIPAL ADDRESS

1503 CHILD AVENUE NE

LEGAL DESCRIPTION

LOT 2, BLOCK 169, PLAN 8150 AN

SQUARE FOOTAGE	
MAIN FLOOR	1310
UPPER FLOOR	1273
TOTAL	2583
GARAGE	660
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JOB

26-025

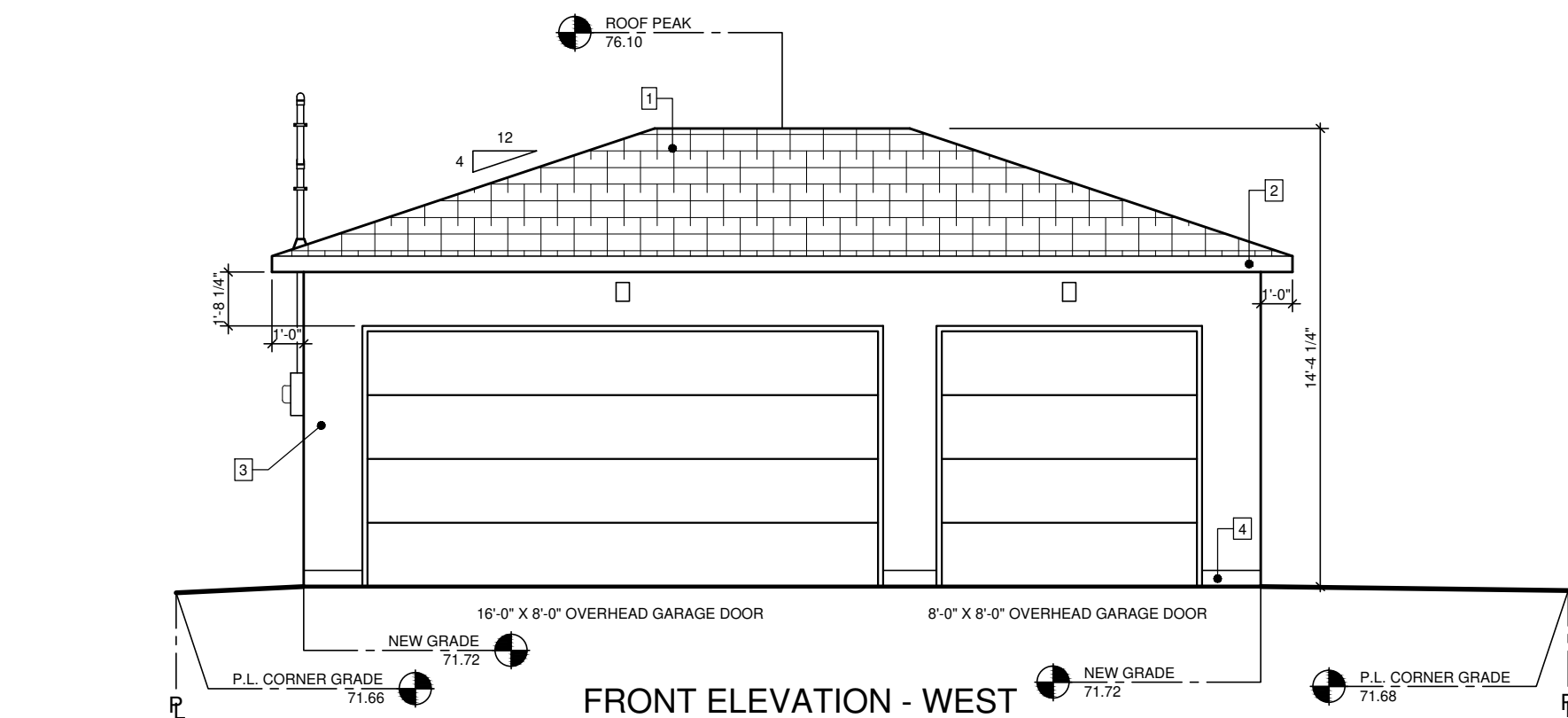
SCALE

3/16" = 1'-0"

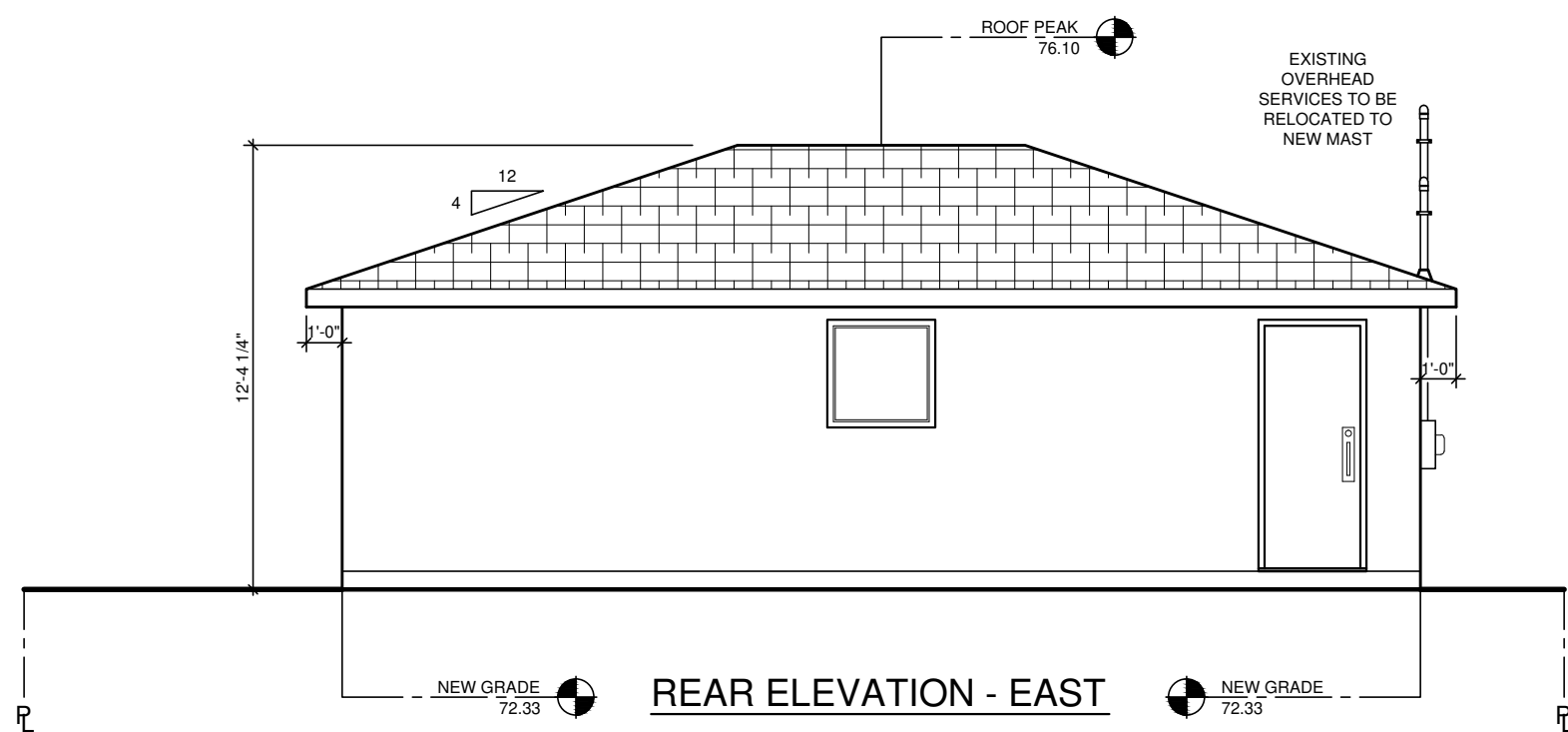
FOR SCALE PRINT ON 24x36 PAPER

SHEET

2 OF 5

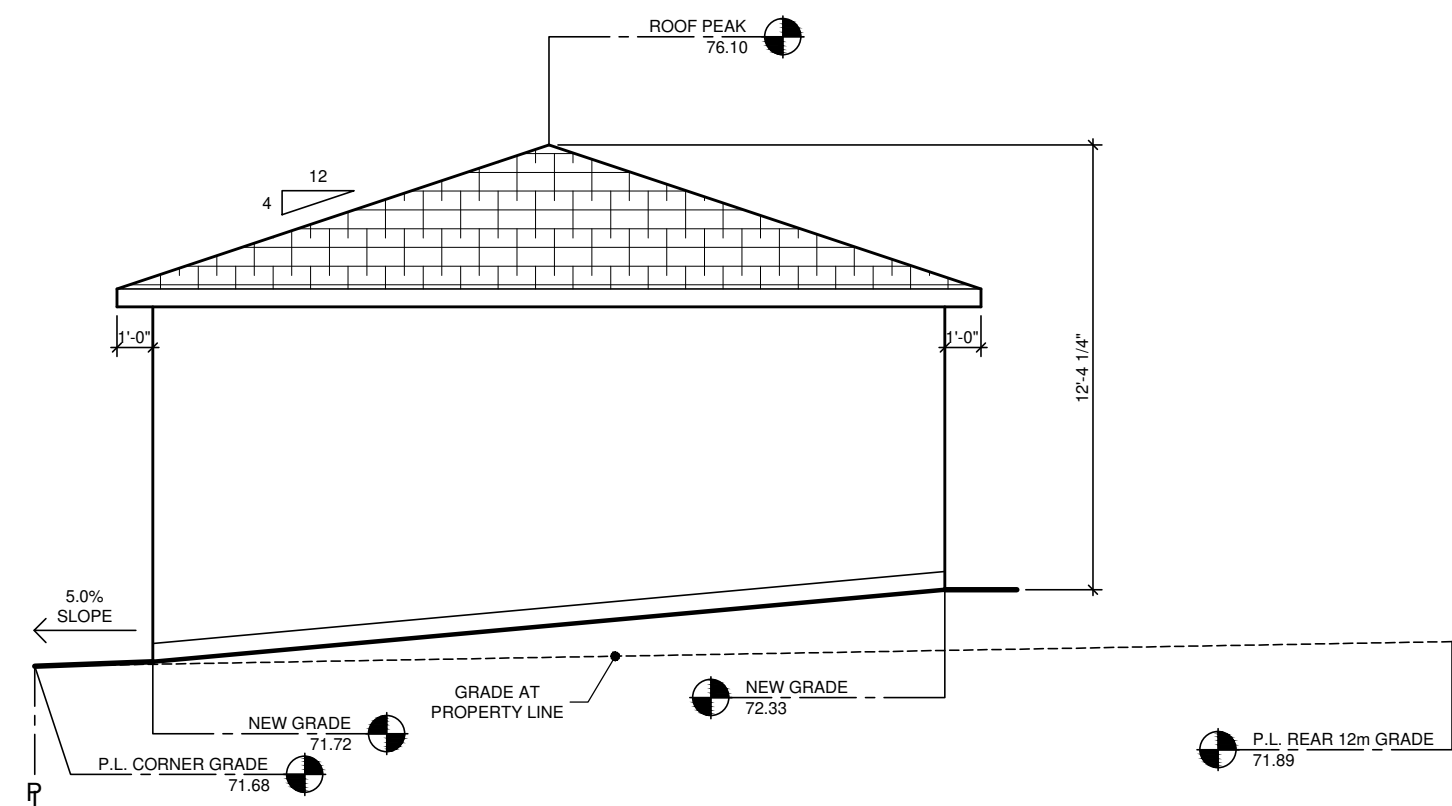


FRONT ELEVATION - WEST

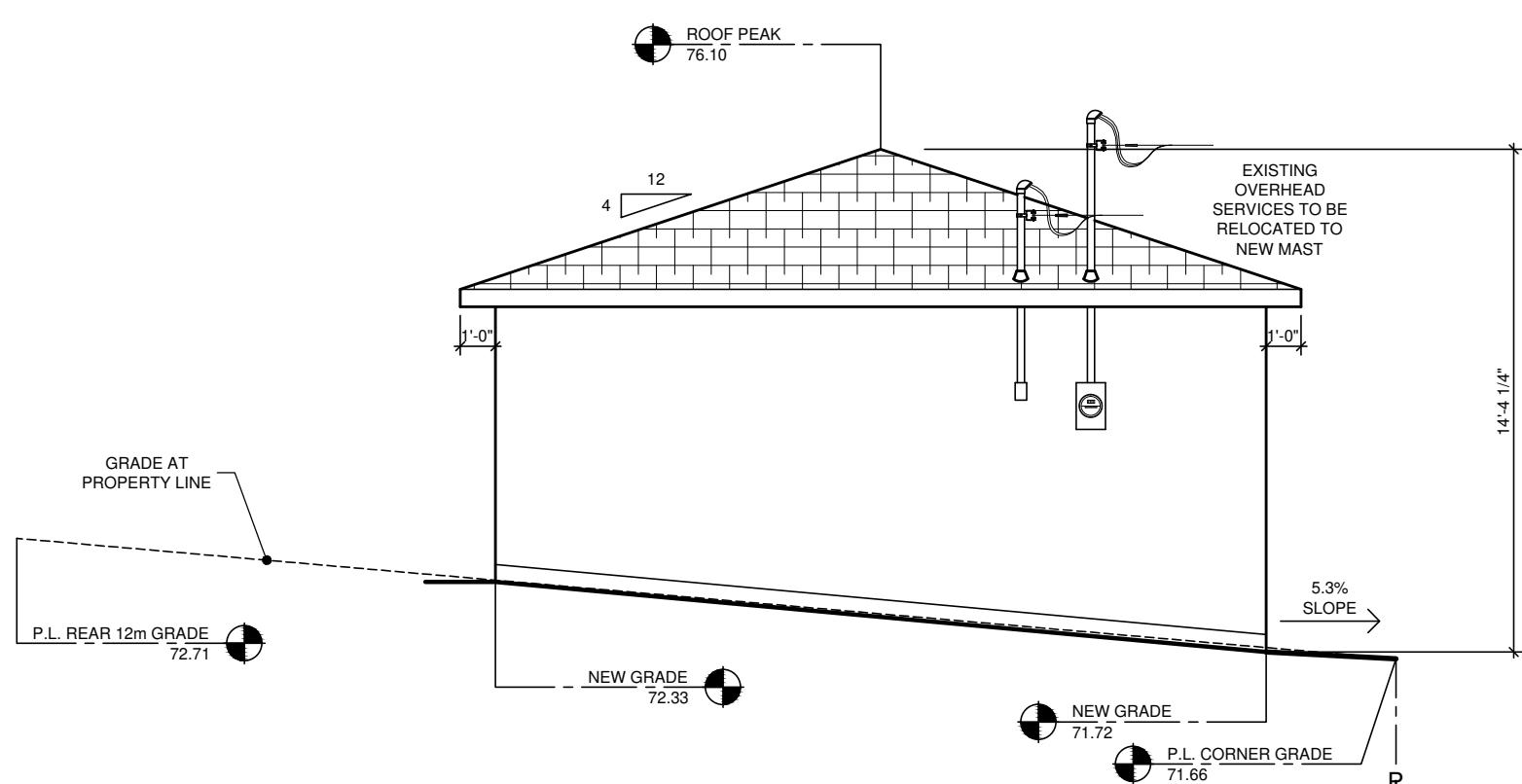


REAR ELEVATION - EAST

EXTERIOR MATERIALS	
TYPICAL ON ALL ELEVATIONS UNLESS NOTED OTHERWISE	
1	ARCHITECTURAL ASPHALT SHINGLES FOR ALL ROOF SLOPES OVER 3 IN 12
2	PRE-FINISHED 6" ALUMINUM FASCIA C/W VENTED AND NON-VENTED PRE-FINISHED ALUMINUM SOFFIT AS PER N.B.C.
3	STUCCO FINISH COLOUR #1
4	PARGING ABOVE GRADE - MAXIMUM 18" HIGH



RIGHT ELEVATION - SOUTH



LEFT ELEVATION - NORTH

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CALGARY LTD.

RESIDENTIAL DESIGN AND DRAFTING SERVICES

133 Hawkbury Close NW
Calgary, Alberta T2C 3E3
Telephone 403.451.9595
www.designhouseofcalgary.com

CLIENT
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MUNICIPAL ADDRESS
1503 CHILD AVENUE NE

LEGAL DESCRIPTION
LOT 2, BLOCK 169, PLAN 8150 AN

SQUARE FOOTAGE

MAIN FLOOR	1310
UPPER FLOOR	1273
TOTAL	2583
GARAGE	660
BASEMENT	1064

DATE
JUNE 12, 2026

JOB
26-025

SCALE
3/16" = 1'-0"

FOR SCALE PRINT ON 24x36 PAPER

SHEET
5 OF **5**