

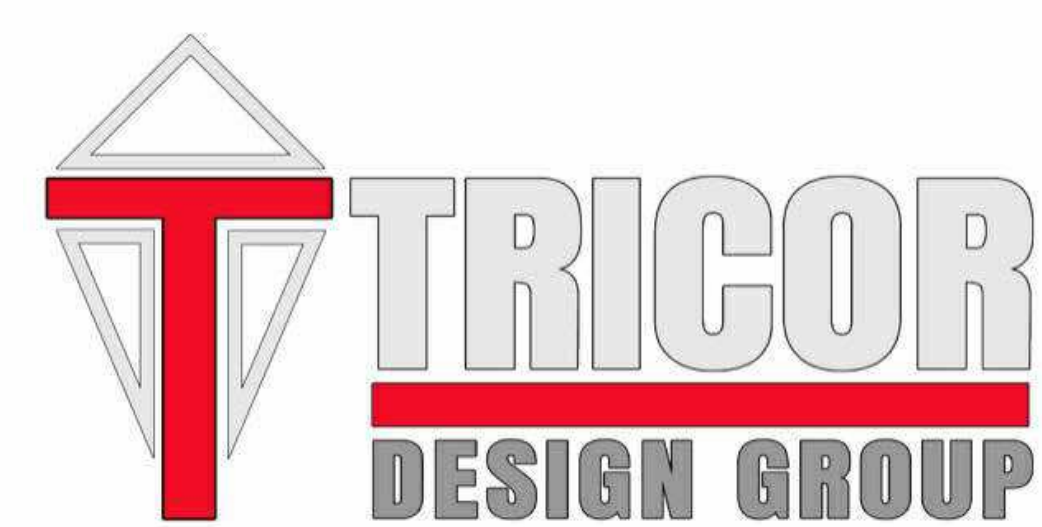
SINGLE HOME(2ND UNIT)
420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT 31&32



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-06-01

REVISION DATE : 2026-06-10



#202 - 4216 10 STREET NE,
CALGARY, AB
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

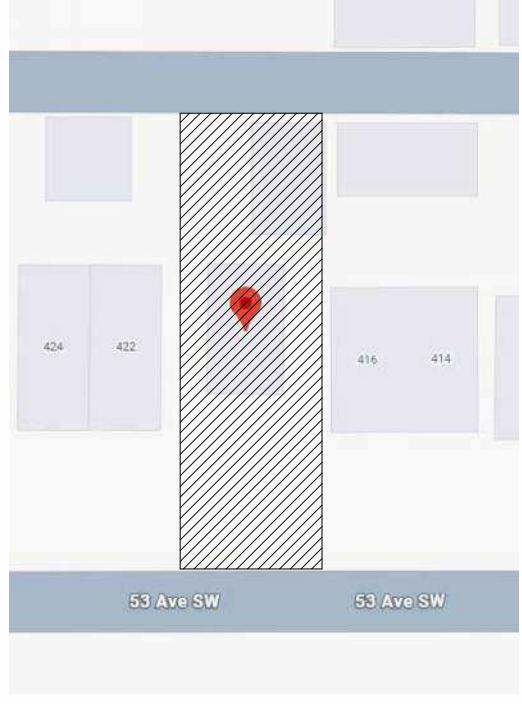
LIST OF DRAWINGS:

- G-001 GENERAL NOTES
- G-002 3D SHOTS
- A-001 EXISTING SURVEY
- A-002 PROPOSED AND EXISTING SITE PLAN
- A-003 PROPOSED SITE PLAN
- A-004 PROPOSED GRADE
- A-005 STREET SCAPE
- A-006 CONSTRUCTION ACCESS AREA
- A-007 APRON& BOULEVARD SECTIONS
- A-008 COVERAGE CALCULATIONS

- A-101 PROPOSED BASEMENT& MAIN FLOOR PLANS
- A-102 PROPOSED UPPER FLOOR & ROOF PLANS
- A-103 AREA PLANS
- A-201 PROPOSED FRONT & REAR ELEVATIONS
- A-202 PROPOSED RIGHT & LEFT ELEVATIONS
- A-301 BUILDING SECTION
- A-501 GARAGE (ACCESSORYBUILDING)

UNIT 1ST			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	953.96	88.63
	UPPER FLOOR	971.08	90.22
	TOTAL	1925.04	178.84
	BASEMENT FLOOR	724.33	67.29
	GRAND TOTAL	2649.37	246.13
	GARAGE	386.10	35.87

KEY PLAN :

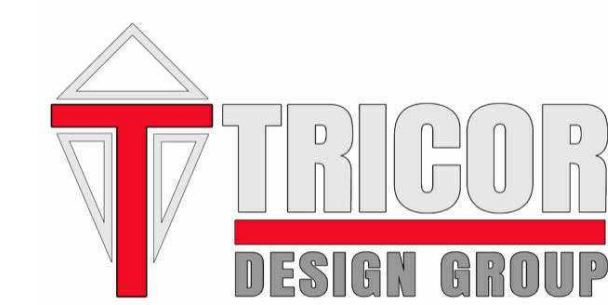


PROJECT NO. :

26-1049



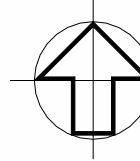
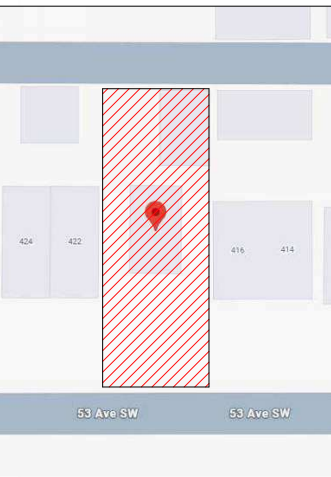
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

tricordesigns.com
#202, 4216 10TH STREET NE
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-01	DEVELOPMENT PERMIT SET	M.A	A.K.
02				
03				
04				
05				

THE CLIENT :

Core Developments

PROJECT :

SINGLE HOME(2ND UNIT)

ADDRESS:

420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT
31&32

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D SHOTS

DRAWING NO.

G-002

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

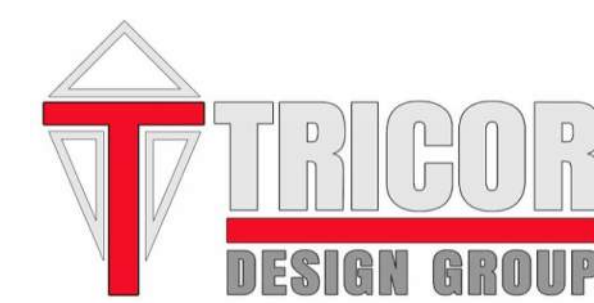
2026-06-10

DRAWN BY:

R.E

SCALE:

DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

#202, 4216 18H STREET NE

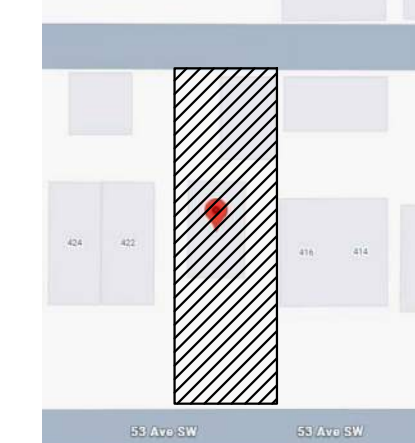
CALGARY, AB.

PHONE: (403)203-1970

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KEY PLAN



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No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-07	CLIENT COMMENTS	R.E.	A.K.
	2026-06-10	CLIENT COMMENTS	H.E.	E.R.

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.

THE CLIENT :

CORE DEVELOPMENTS

PROJECT :

2 SINGLE HOMES

ADDRESS:

420 53 AVENUE S.W.,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

EXISTING SURVEY

DRAWING NO.

A-001

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

2025-06-10

DRAWN BY:

E.R.

SCALE:

1:200

DEVELOPMENT PERMIT PLAN

Legal Description:

LOT 31&32 BLOCK 11 PLAN 1693AF

Client: Core Developments

Municipal Address: 420 53 Avenue SW

Date of Survey: August 19-20, 2025

Legend

Property Boundary	---
Utility Right Of Way	---
Edge of Building/structure	---
Eaves	---
Asphalt	---
Concrete	---
Wood	---
Stone	---
Retain Wall	---
Fence	---
Overhead Utilities	---
Buried Sanitary	---
Buried Storm Water	---
Buried Waterline	---
Buried Gasline	---
Catch basin	---
Manhole	---
Power Pole	---
Sign	---
Hydrant	---
Street Light	---
Spot Elevation	---
Tree:	---
Coniferous	---
Deciduous	---
Bushline	---

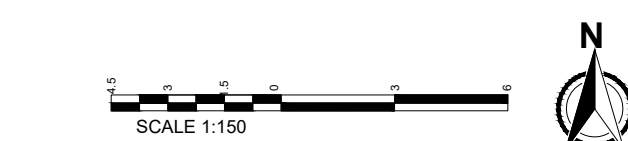
All fences are within 0.2 metres of the property line unless otherwise noted.
All eaves are measured to the fascia unless otherwise shown.
Unless noted lines outside of property are not to scale.

Distances are in metres and decimals thereof.

Elevations are Geoidic and are referred to ASCM 2000/07 Elev. = 1072.322
Bearings are Grid 3TM Zone 114°W and are derived from GNSS observations

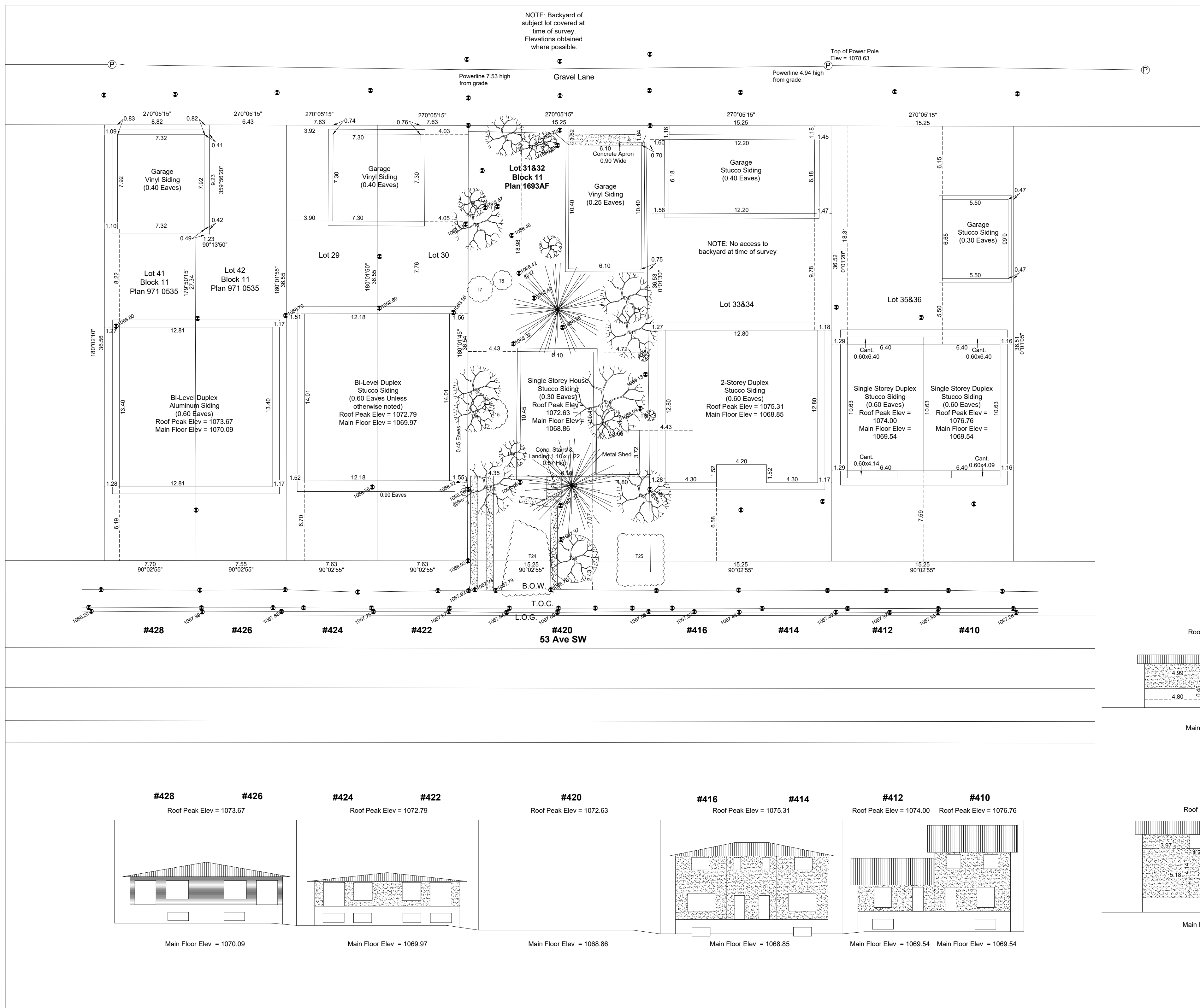
Abbreviations
B.O.C. - back of curb
B.O.W. - back of walk
C.O.T. - Certificate of Title
conc. - concrete
E - East
L.O.G. - lip of gutter
m - metres
N - North
R.W. - Right-of-Way
S - South
W - West

TREE SCHEDULE				
Tree No.	Type	Trunk Dia (m)	Height (m)	Canopy Dia (m)
T1	Deciduous	0.17	6.00	3.50
T2	Deciduous	0.10	4.00	2.20
T3	Deciduous	0.12	4.50	2.00
T4	Deciduous	0.12	4.00	2.60
T5	Deciduous	0.12	5.50	4.50
T6	Deciduous	0.15	4.00	2.00
T7	Bush	--	--	2.00
T8	Bush	--	--	1.50
T9	Coniferous	0.75	12.00	8.00
T10	Coniferous	0.30	5.00	4.50
T11	Coniferous	0.30	5.00	4.50
T12	Deciduous	0.11	4.50	1.00
T13	Deciduous	0.35	6.50	4.00
T14	Deciduous	0.15	5.00	3.50
T15	Bush	--	--	2.40
T16	Deciduous	0.40	6.00	6.50
T17	Deciduous	0.22	4.50	3.00
T18	Deciduous	0.10	4.00	1.00
T19	Deciduous	0.15	5.00	2.40
T20	Deciduous	0.20	6.00	4.40
T21	Coniferous	0.40	6.00	8.00
T22	Deciduous	0.30	6.00	4.50
T23	Deciduous	0.30	5.00	4.00
T24	Bush	--	--	3.90
T25	Bush	--	--	3.70



Canuck Surveys
(403) 883-3385 www.canucksurveys.ca
Note: This plan represents the best information at the time of survey. Canuck Surveys and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown or omitted from this plan. It should not be assumed that all buried facilities are shown and facilities which are shown should not be construed as located until physically reported.
Utility Safety Partners: 1-800-240-3447
Field Crew: KK Draft: MJ Check: NMH DWG: CLG-0023-25 DP

Modifications should be located by the



SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

420 53 AVENUE SW. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 1693AF , BLOCK 11 , LOT 31&32

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 557.29 m²
MAXIMUM COVERAGE (45%) = 250.78 m²
PROPOSED BUILDINGS COVERAGE = 177.74 m²
PROPOSED GARAGE COVERAGE = 71.74 m²
TOTAL PROPOSED COVERAGE = 249.48 m² = 44.77%

PROJECT SETBACK REQUIREMENTS:

- CONTEXTUAL FRONT SETBACK = (A+ B)/2 - 1.5
= (6.70 + 6.57)/2 - 1.5 = 5.13 m
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
- MINIMUM 1.20m GARAGE SETBACK
- MINIMUM 1.22m SIDEYARD SETBACK
- BUILDING DEPTH :-
THE MAXIMUM BUILDING DEPTH IS THE CONTEXTUAL BUILDING DEPTH AVERAGE. (THE AVERAGE BUILDING DEPTH OF THE CONTEXTUAL ADJACENT BUILDINGS PLUS 4.6 METRES)

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

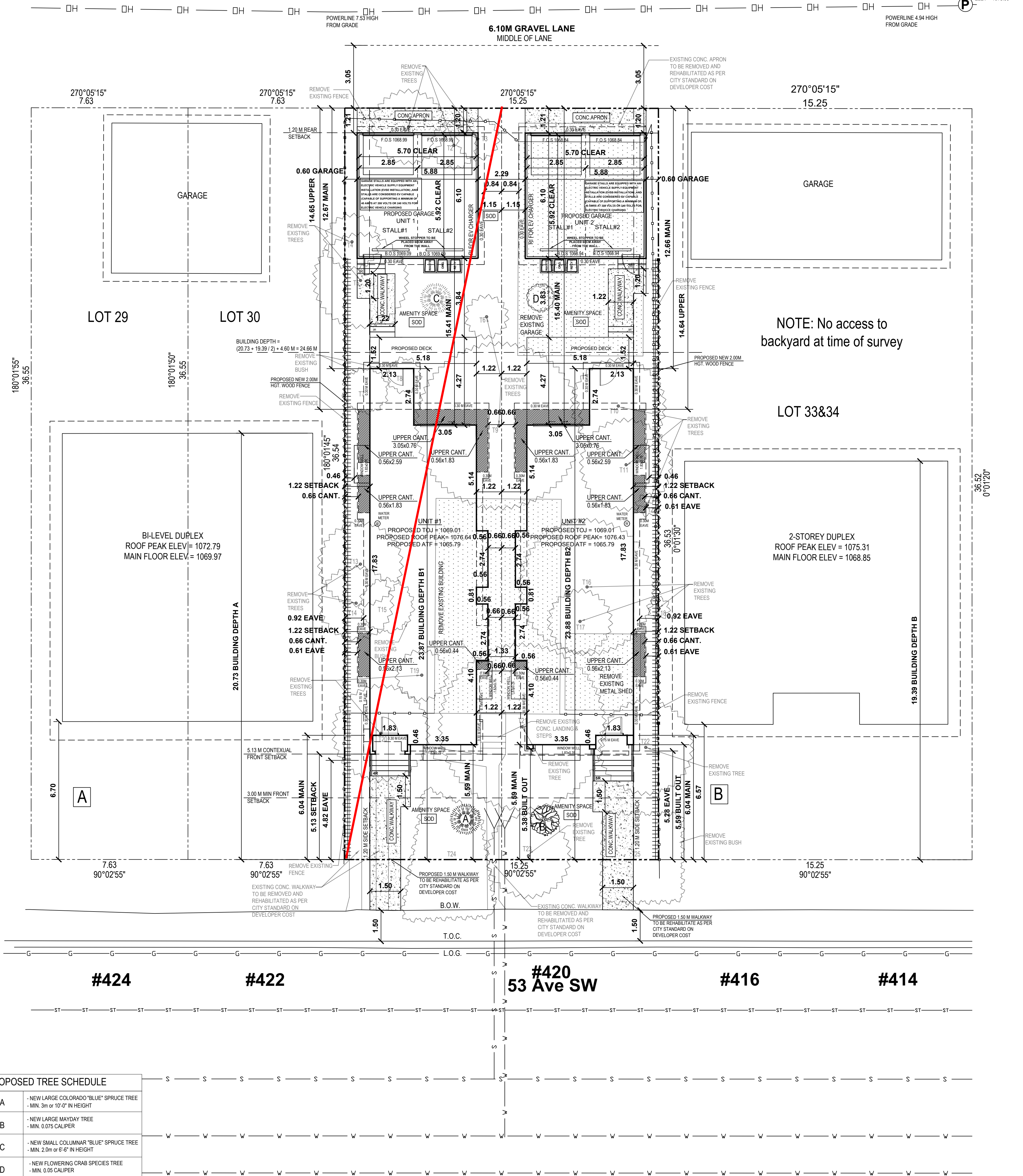
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	P/W LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

-ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
-BUILDING READY FOR SOLAR PANEL INSTALLATION
-ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
-BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

TREE SCHEDULE						
TREE NO.	TYPE	TRUNK DIA (M)	HEIGHT (M)	CANOPY DIA (M)	LOCATION	
T1	DECIDUOUS	0.17	6.00	3.50	IN SUBJECT PROPERTY	REMOVED
T2	DECIDUOUS	0.10	4.00	2.20	IN SUBJECT PROPERTY	REMOVED
T3	DECIDUOUS	0.12	4.50	2.00	IN SUBJECT PROPERTY	REMOVED
T4	DECIDUOUS	0.12	4.00	2.60	IN SUBJECT PROPERTY	REMOVED
T5	DECIDUOUS	0.12	5.50	4.50	IN SUBJECT PROPERTY	REMOVED
T6	DECIDUOUS	0.15	4.00	2.00	IN SUBJECT PROPERTY	REMOVED
T7	BUSH	--	--	2.00	IN SUBJECT PROPERTY	REMOVED
T8	BUSH	--	--	1.50	IN SUBJECT PROPERTY	REMOVED
T9	CONIFEROUS	0.75	12.00	8.00	IN SUBJECT PROPERTY	REMOVED
T10	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY	REMOVED
T11	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY	REMOVED
T12	DECIDUOUS	0.11	4.50	1.00	IN SUBJECT PROPERTY	REMOVED
T13	DECIDUOUS	0.35	6.50	4.00	IN SUBJECT PROPERTY	REMOVED
T14	DECIDUOUS	0.15	5.00	3.50	IN SUBJECT PROPERTY	REMOVED
T15	BUSH	--	--	2.40	IN SUBJECT PROPERTY	REMOVED
T16	DECIDUOUS	0.40	6.00	6.50	IN SUBJECT PROPERTY	REMOVED
T17	DECIDUOUS	0.22	4.50	3.00	IN SUBJECT PROPERTY	REMOVED
T18	DECIDUOUS	0.10	4.00	1.00	ON PROPERTY LINE	REMOVED
T19	DECIDUOUS	0.15	5.00	2.40	IN SUBJECT PROPERTY	REMOVED
T20	DECIDUOUS	0.20	6.00	4.40	IN SUBJECT PROPERTY	REMOVED
T21	CONIFEROUS	0.40	6.00	8.00	IN SUBJECT PROPERTY	REMOVED
T22	DECIDUOUS	0.30	6.00	4.50	IN SUBJECT PROPERTY	REMOVED
T23	DECIDUOUS	0.30	5.00	4.00	IN SUBJECT PROPERTY	REMOVED
T24	BUSH	--	--	3.90	IN SUBJECT PROPERTY	REMOVED
T25	BUSH	--	--	3.70	IN SUBJECT PROPERTY	REMOVED

ROADS NOTE:

- CONSTRUCTION OF NEW SIDEWALKS ADJACENT TO 53 AVENUE S.W.
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.



PROPOSED TREE SCHEDULE

A	- NEW LARGE COLORADO "BLUE" SPRUCE TREE - MIN. 3m or 10'-0" IN HEIGHT
B	- NEW LARGE MAYDAY TREE - MIN. 0.075 CALIPER
C	- NEW SMALL COLUMNAR "BLUE" SPRUCE TREE - MIN. 2.0m or 6'-6" IN HEIGHT
D	- NEW FLOWERING CRAB SPECIES TREE - MIN. 0.05 CALIPER

DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202, 4216 16th STREET NE

CALGARY, AB

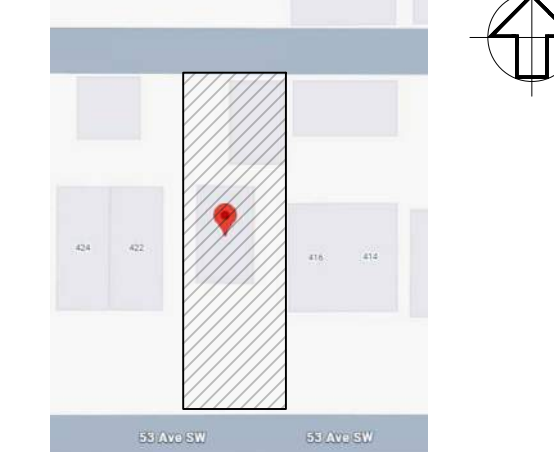
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THE CLIENT :

CORE DEVELOPMENTS

PROJECT :

2 SINGLE HOMES

ADDRESS: 420 53 AVENUE S.W. ,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

EXISTING & PROPOSED
SITE PLAN

DRAWING NO.

A-002

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

E.R.

SCALE:

1:100

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

420 53 AVENUE SW. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 1693AF , BLOCK 11 , LOT 31&32

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 557.29 m²

MAXIMUM COVERAGE (45%) = 250.78 m²

PROPOSED BUILDINGS COVERAGE = 177.74 m²

PROPOSED GARAGE COVERAGE = 71.74 m²
TOTAL PROPOSED COVERAGE = 249.48 m² = 44.77%

PROJECT SETBACK REQUIREMENTS:

1. CONTEXTUAL FRONT SETBACK = $(A + B) / 2 - 1.5$

$$= (6.70 + 6.57)/2 - 1.5 = 5.13 \text{ m}$$

(BAY WINDOWS AND EAVES MAY PROJECT A

MAX. OF .6m INTO THE FRONT SETE

2. MINIMUM 1.20m GARAGE SETBACK

3. MINIMUM 1.22m SID

4. BUILDING DEPTH :-
THE MAXIMUM BUILDING DEPTH IS THE CONTEXTUAL BUILDING DEPTH AVERAGE. (THE AVERAGE BUILDING DEPTH OF THE CONTEXTUAL ADJACENT BUILDINGS PLUS 4.6 METRES)

NOTE:

ALL EXISTING STRUCTURES ON SITE, INCLUDING

EXISTING FENCE, TO BE REMOVED AS NOTED

CONSTRUCTION ACCESS TO BE FROM REAR LANE.

CITY BOULEVARD IS TO REMAIN FREE OF

EXCAVATED MATERIAL AND STORAGE OF

EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND		LEGEND		LEGEND
	PROPOSED NEW FENCE		UTILITY LINES GAS	EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY	 CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE	 CONCRETE
	SETBACK		UTILITY LINES WATER	 BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE	 AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM	 UPPER CANT

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTALLATION ,
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE "SOLAR READY" AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY - FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF FRIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

TREE SCHEDULE						
TREE NO.	TYPE	TRUNK DIA (M)	HEIGHT (M)	CANOPY DIA (M)	LOCATION	
T1	DECIDUOUS	0.17	6.00	3.50	IN SUBJECT PROPERTY	REMOVED
T2	DECIDUOUS	0.10	4.00	2.20	IN SUBJECT PROPERTY	REMOVED
T3	DECIDUOUS	0.12	4.50	2.00	IN SUBJECT PROPERTY	REMOVED
T4	DECIDUOUS	0.12	4.00	2.60	IN SUBJECT PROPERTY	REMOVED
T5	DECIDUOUS	0.12	5.50	4.50	IN SUBJECT PROPERTY	REMOVED
T6	DECIDUOUS	0.15	4.00	2.00	IN SUBJECT PROPERTY	REMOVED
T7	BUSH	--	--	2.00	IN SUBJECT PROPERTY	REMOVED
T8	BUSH	--	--	1.50	IN SUBJECT PROPERTY	REMOVED
T9	CONIFEROUS	0.75	12.00	8.00	IN SUBJECT PROPERTY	REMOVED
T10	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY	REMOVED
T11	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY	REMOVED
T12	DECIDUOUS	0.11	4.50	1.00	IN SUBJECT PROPERTY	REMOVED
T13	DECIDUOUS	0.35	6.50	4.00	IN SUBJECT PROPERTY	REMOVED
T14	DECIDUOUS	0.15	5.00	3.50	IN SUBJECT PROPERTY	REMOVED
T15	BUSH	--	--	2.40	IN SUBJECT PROPERTY	REMOVED
T16	DECIDUOUS	0.40	6.00	6.50	IN SUBJECT PROPERTY	REMOVED
T17	DECIDUOUS	0.22	4.50	3.00	IN SUBJECT PROPERTY	REMOVED
T18	DECIDUOUS	0.10	4.00	1.00	ON PROPERTY LINE	REMOVED
T19	DECIDUOUS	0.15	5.00	2.40	IN SUBJECT PROPERTY	REMOVED
T20	DECIDUOUS	0.20	6.00	4.40	IN SUBJECT PROPERTY	REMOVED
T21	CONIFEROUS	0.40	6.00	8.00	IN SUBJECT PROPERTY	REMOVED
T22	DECIDUOUS	0.30	6.00	4.50	IN SUBJECT PROPERTY	REMOVED
T23	DECIDUOUS	0.30	5.00	4.00	IN SUBJECT PROPERTY	REMOVED
T24	BUSH	--	--	3.90	IN SUBJECT PROPERTY	REMOVED
T25	BUSH	--	--	3.70	IN SUBJECT PROPERTY	REMOVED

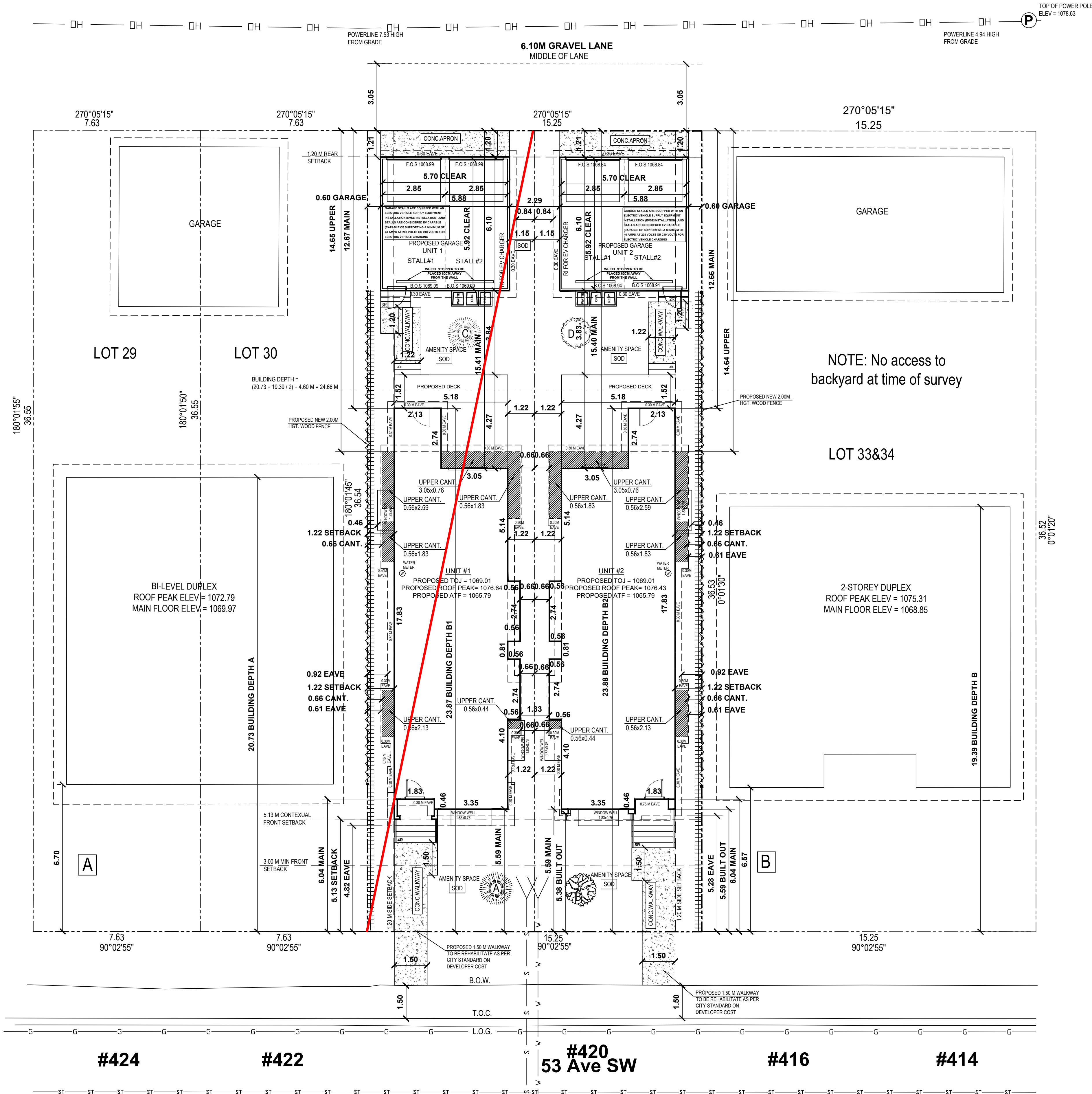
LOADS NOTE:

CONSTRUCTION OF NEW SIDEWALKS ADJACENT TO 53 AVENUE S.W.

REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, CURB AND

GUTTER, ETC., SHOULD IT

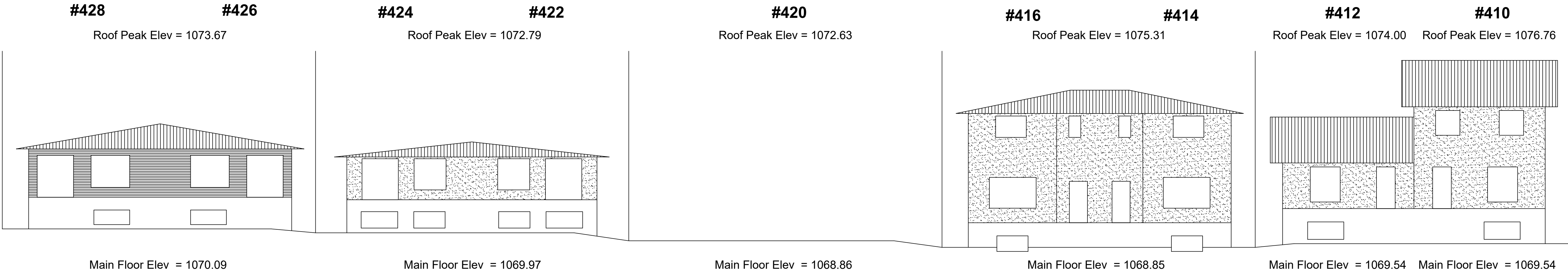
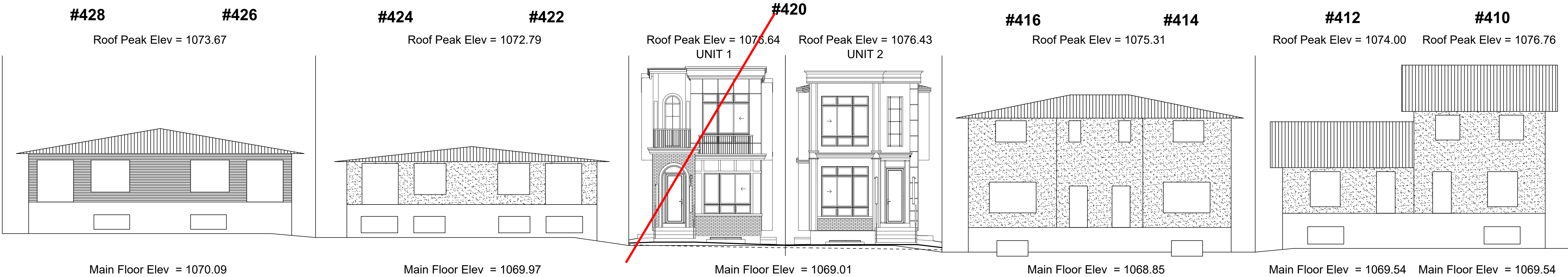
E DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.



PROPOSED TREE SCHEDULE

A	- NEW LARGE COLORADO "BLUE" SPRUCE TREE - MIN. 3m or 10'-0" IN HEIGHT
B	- NEW LARGE MAYDAY TREE - MIN. 0.075 CALIPER
C	- NEW SMALL COLUMNAR "BLUE" SPRUCE TREE - MIN. 2.0m or 6'-6" IN HEIGHT
D	- NEW FLOWERING CRAB SPECIES TREE - MIN. 0.05 CALIPER

DESIGNED BY:				
RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL #202, 4216 19th STREET NE CALGARY, AB. T2E 6K3 PHONE: (403)203-1970 FAX: (403)203-1990 EMAIL: info@tricordg.ca				
KEY PLAN				
NOTES: - DRAWINGS ARE NOT TO BE SCALED. - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION. - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO RESPONSIBLE. - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 – ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. - THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED. - THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC., AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.				
REVISED:				
No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
	2026-06-10	CLIENT COMMENTS	H.E	E.R.
ISSUES:				
No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.
THE CLIENT :				
CORE DEVELOPMENTS				
PROJECT :				
2 SINGLE HOMES				
ADDRESS:				
420 53 AVENUE S.W. , CALGARY, ALBERTA PLAN1693AF, BLOCK11, LOT31&32				
DRAWING SET :				
DEVELOPMENT PERMIT SET				
DRAWING TITLE :				
PROPOSED SITE PLAN				
DRAWING NO.				
A-003				
PROJECT NO. :				
26-1049		CHECKED BY:	A.K.	DATE:
				2026-06-10
		DRAWN BY:	E.R.	SCALE:
				1:100



TRICOR

DESIGN GROUP

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

tricordesigns.com

#202, 4216 10th STREET NE

CALGARY, AB.

T2E 6G3

PHONE: (403)203-1970

FAX: (403)203-1990

EMAIL: info@tricordg.ca

KEY PLAN

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REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
	2026-06-10	CLIENT COMMENTS	H.E	E.R.

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.

THE CLIENT :

CORE DEVELOPMENTS

PROJECT :

2 SINGLE HOMES

ADDRESS:

420 53 AVENUE S.W. ,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

STREETSCAPE

DRAWING NO.

A-005

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

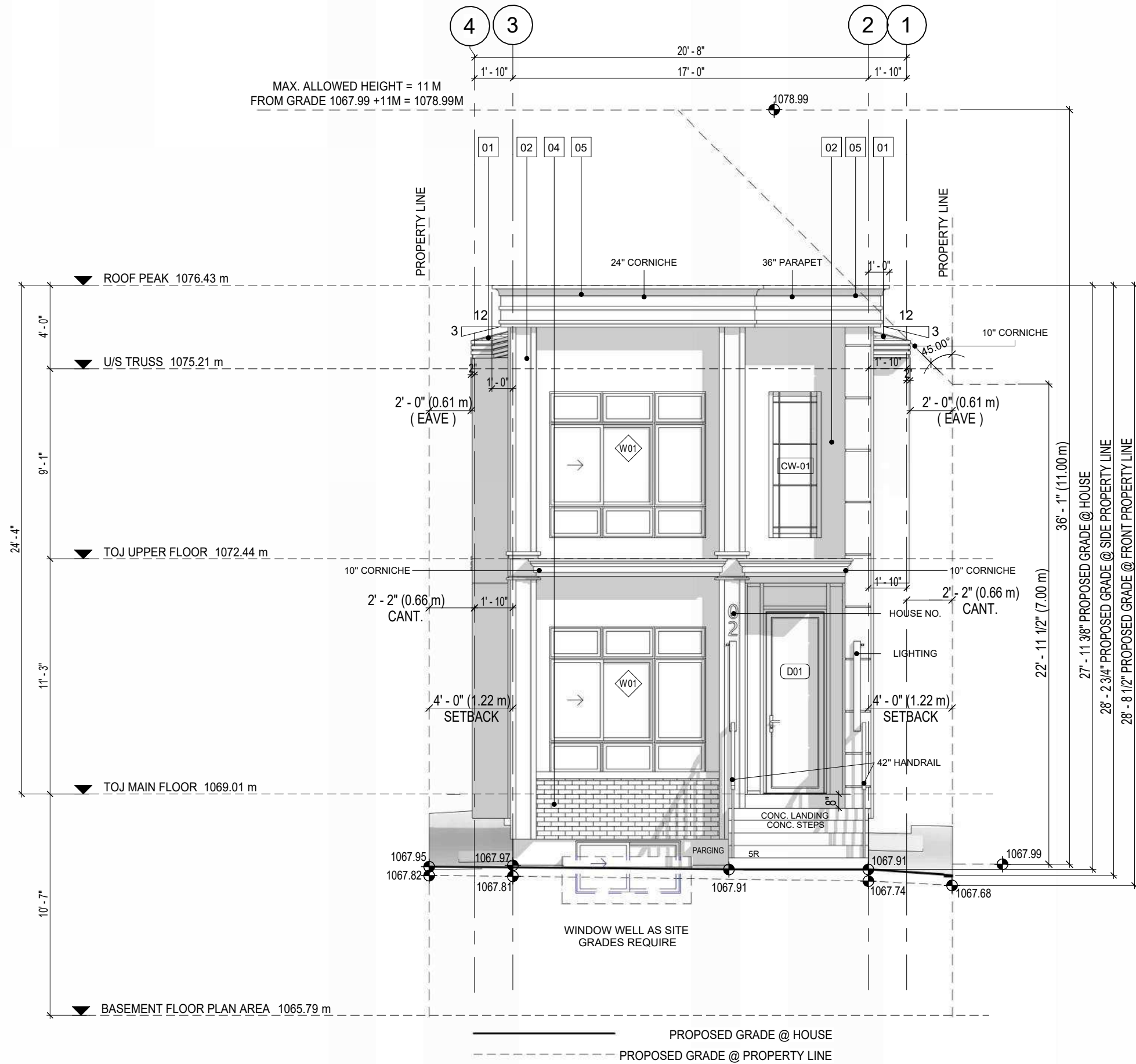
DRAWN BY:

E.R.

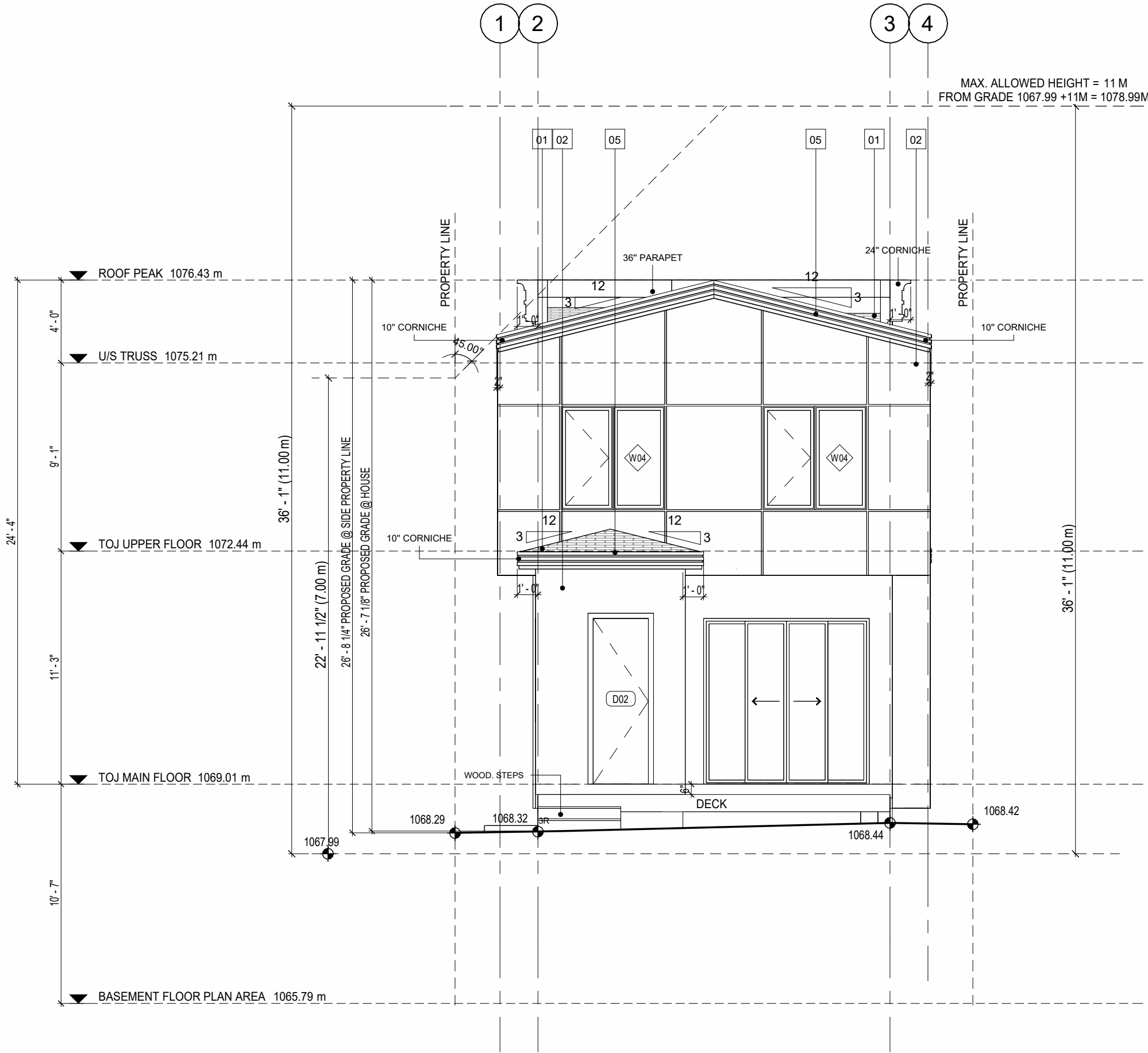
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TRC_SCHEDULE OF FINISHES	
MARK	NAME
01	Asphalt Shingle
02	STUCCO CLADDING OFF WHITE
03	STUCCO CLADING LIGHT
04	EXTERIOR MANUFACTURED BRICK OFF WHITE
05	18" CORNISHA dark
06	PRE-FINISHED METAL FASCIA
07	4" TRIM DARK GRAY

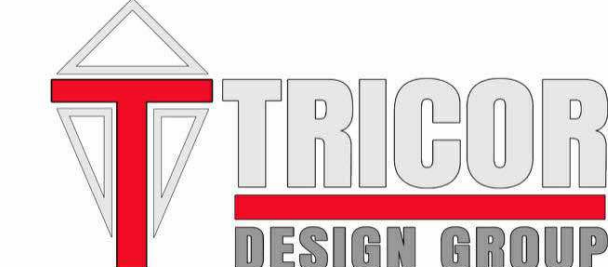


2 PROPOSED FRONT SOUTH ELEVATION
3/16" = 1'-0"



1 REAR NORTH ELEVATION
3/16" = 1'-0"

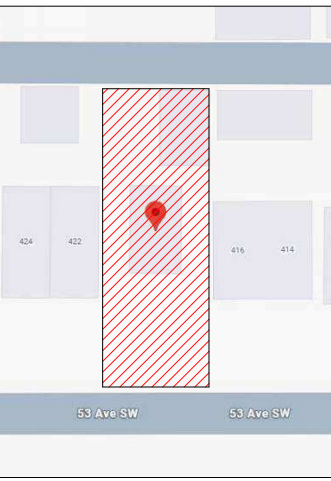
DESIGNED BY:



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tricordesigns.com
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-01	DEVELOPMENT PERMIT SET	M.A	A.K.
02				
03				
04				
05				

THE CLIENT :

Core Developments

PROJECT :

SINGLE HOME(2ND UNIT)

ADDRESS:

420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT
31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

FRONT & REAR ELEVATIONS

DRAWING NO.

A-201

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

R.E

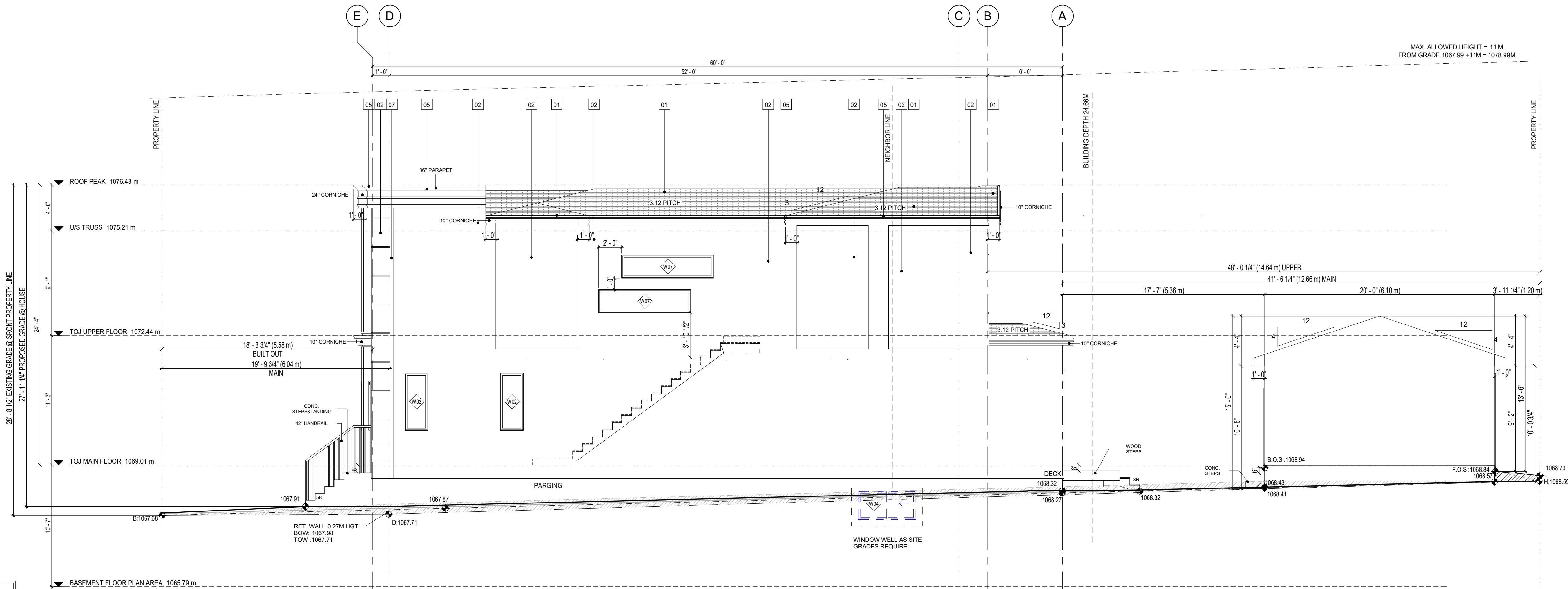
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3/16" = 1'-0"

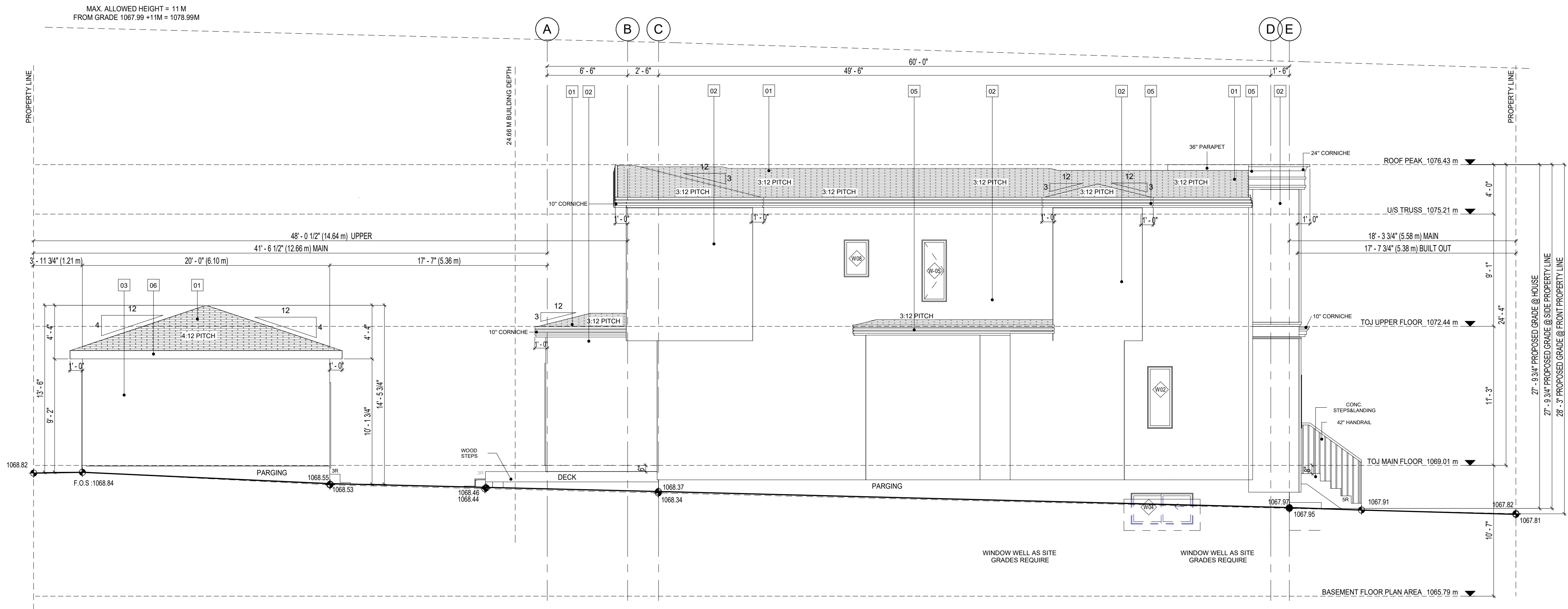
TRC_SCHEDULE OF FINISHES	
MARK	NAME
01	Asphalt Shingle
02	STUCCO CLADDING OFF WHITE
03	STUCCO CLADING LIGHT
04	EXTERIOR MANUFACTURED BRICK OFF WHITE
05	18" CORNISHA dark
06	PRE-FINISHED METAL FASCIA
07	4" TRIM DARK GRAY

UNPROTECTED OPENINGS		
CODE CHECK		
EXPOSED BUILDING FACE	1330.48 SQ. FT.	123.60 SQ.M ²
MINIMUM SETBACK	4'-0"	1.22M
PERCENTAGE OF ALLOWED OPENINGS	93.13 SQ. FT.	8.65 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	52 SQ. FT.	4.83 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	46.56 SQ. FT.	4.32 SQ.M ²

UNPROTECTED OPENINGS		
CODE CHECK		
EXPOSED BUILDING FACE	1218.36 SQ. FT.	113.28 SQ.M ²
MINIMUM SETBACK	4'-0"	1.22M
PERCENTAGE OF ALLOWED OPENINGS	83.35 SQ. FT.	7.80 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	28.42 SQ. FT.	2.64 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	42.67 SQ. FT.	3.96 SQ.M ²



1 PROPOSED RIGHT EAST ELEVATION
3/16" = 1'-0"



2 PROPOSED LEFT WEST ELEVATION
3/16" = 1'-0"

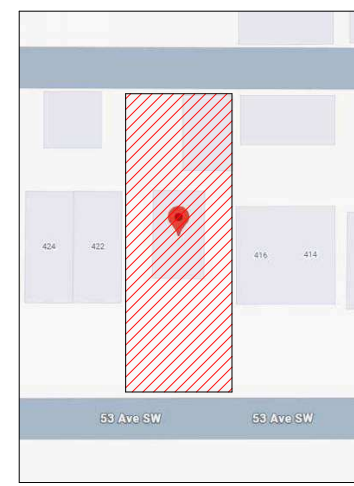
DESIGNED BY:

TRICOR DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-01	DEVELOPMENT PERMIT SET	M.A	A.K.
02				
03				
04				
05				

THE CLIENT:

Core Developments

PROJECT:

SINGLE HOME(2ND UNIT)

ADDRESS:

420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF, BLOCK 11, LOT
31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

RIGHT & LEFT ELEVATIONS

DRAWING NO.

A-202

PROJECT NO.:

26-1049

CHECKED BY:

A.K.

DATE:

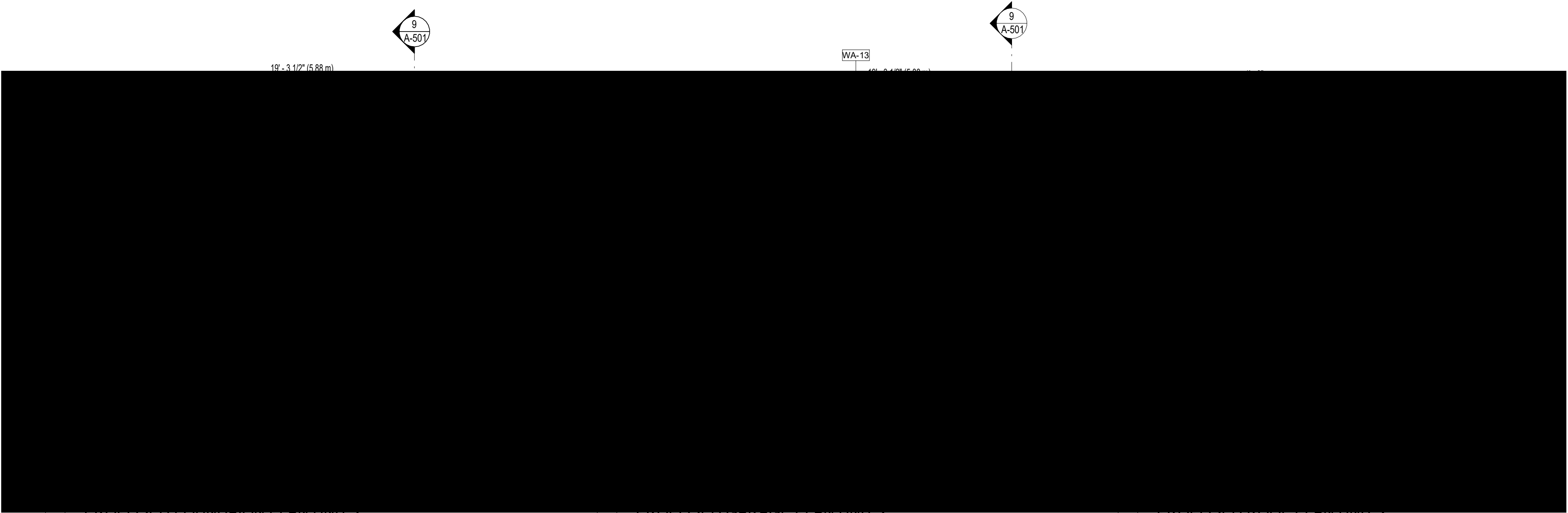
2026-06-10

DRAWN BY:

R.E

SCALE:

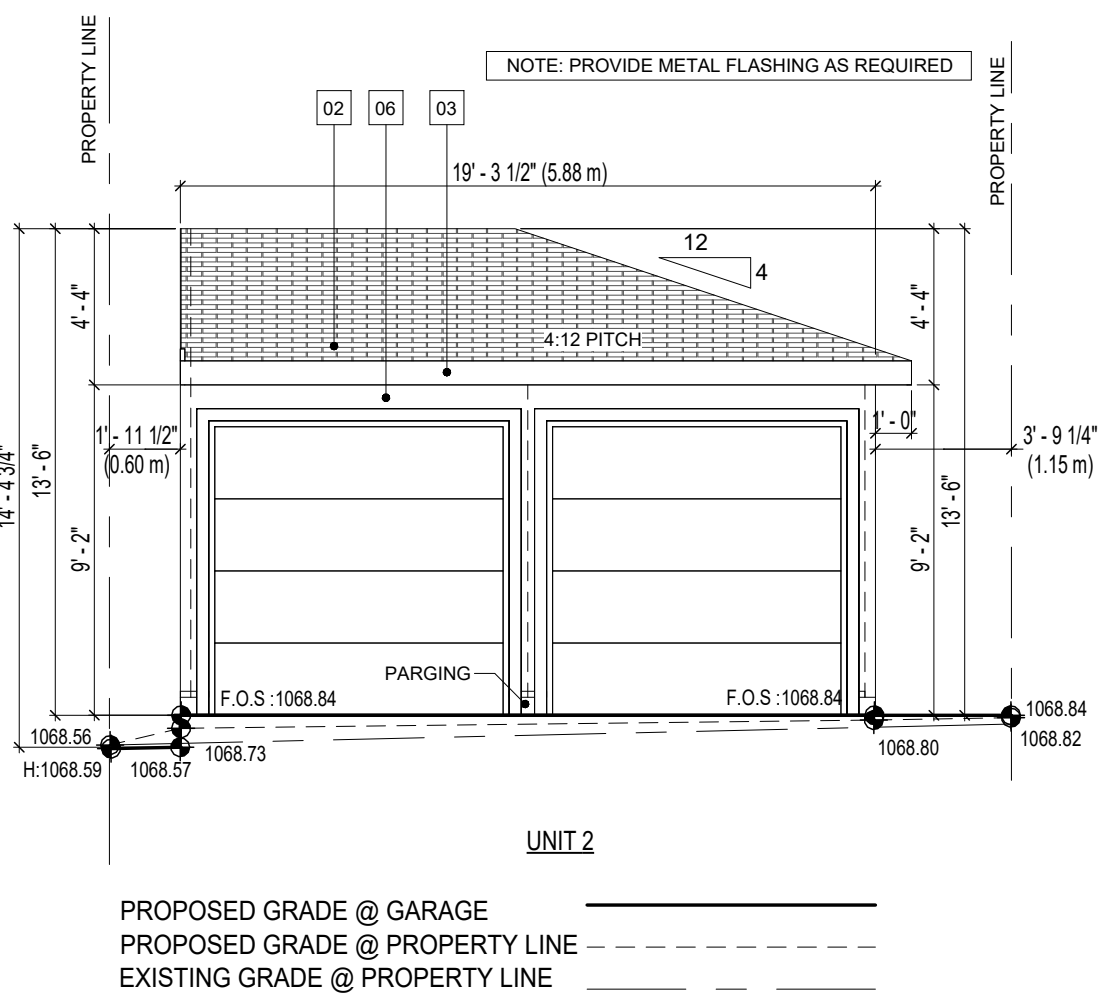
3/16" = 1'-0"



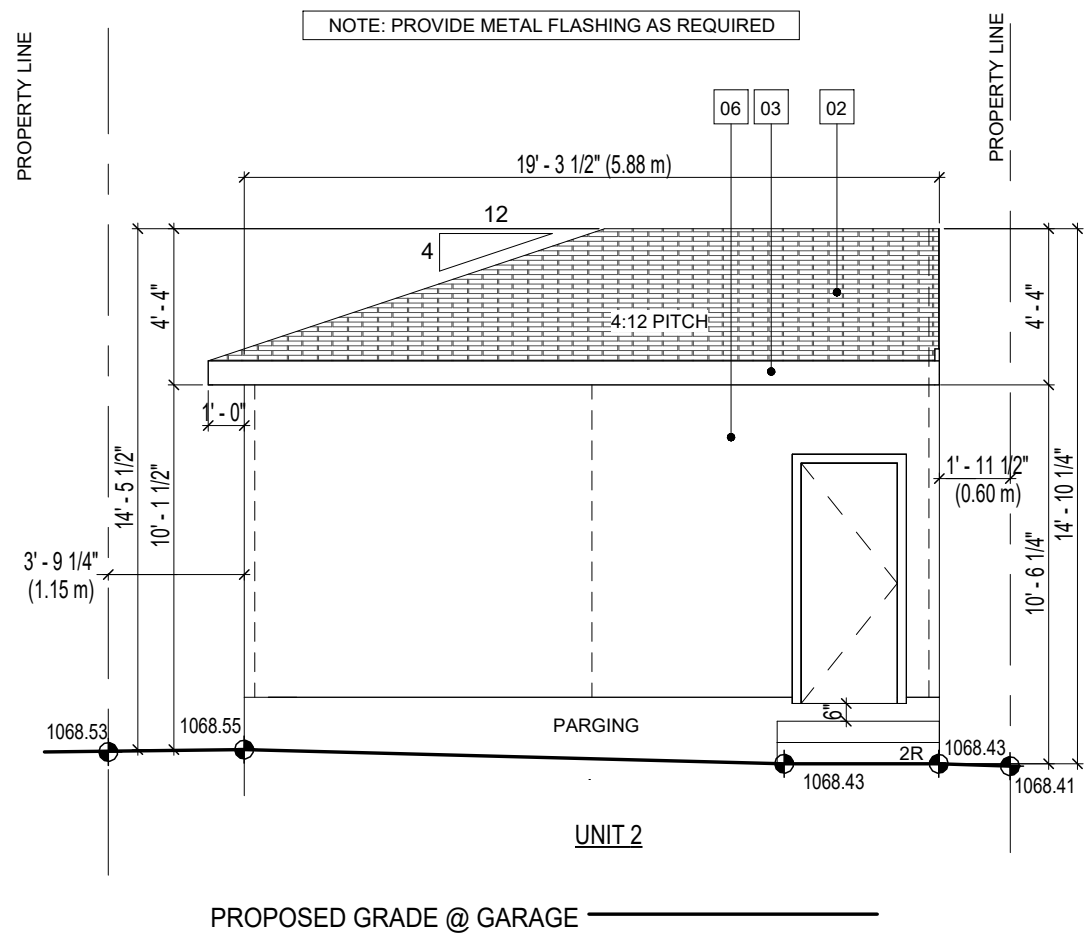
1 PROPOSED FOUNDATION PLAN UNIT 2
3/16" = 1'-0"

2 PROPOSED GARAGE PLAN UNIT 2
3/16" = 1'-0"

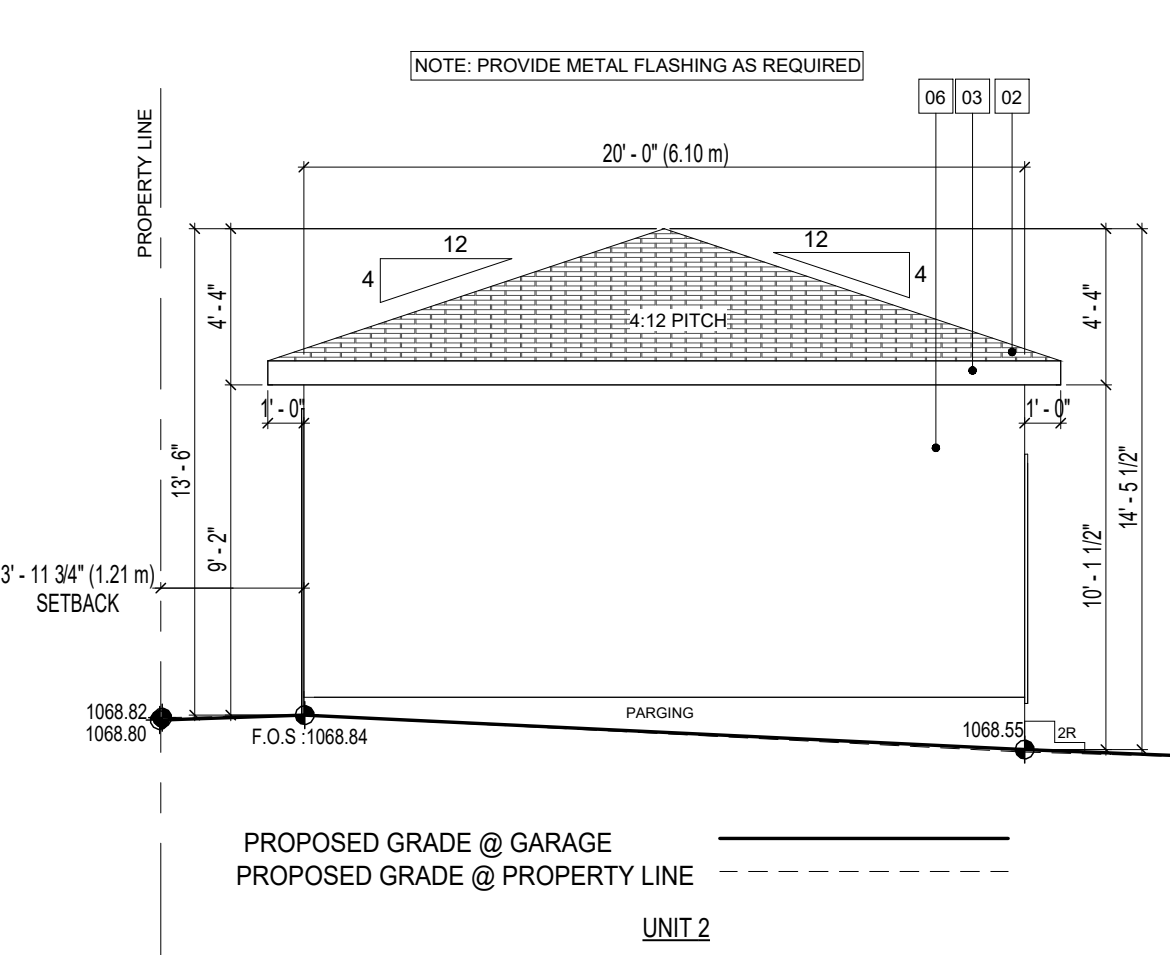
3 PROPOSED ROOF PLAN UNIT 2
3/16" = 1'-0"



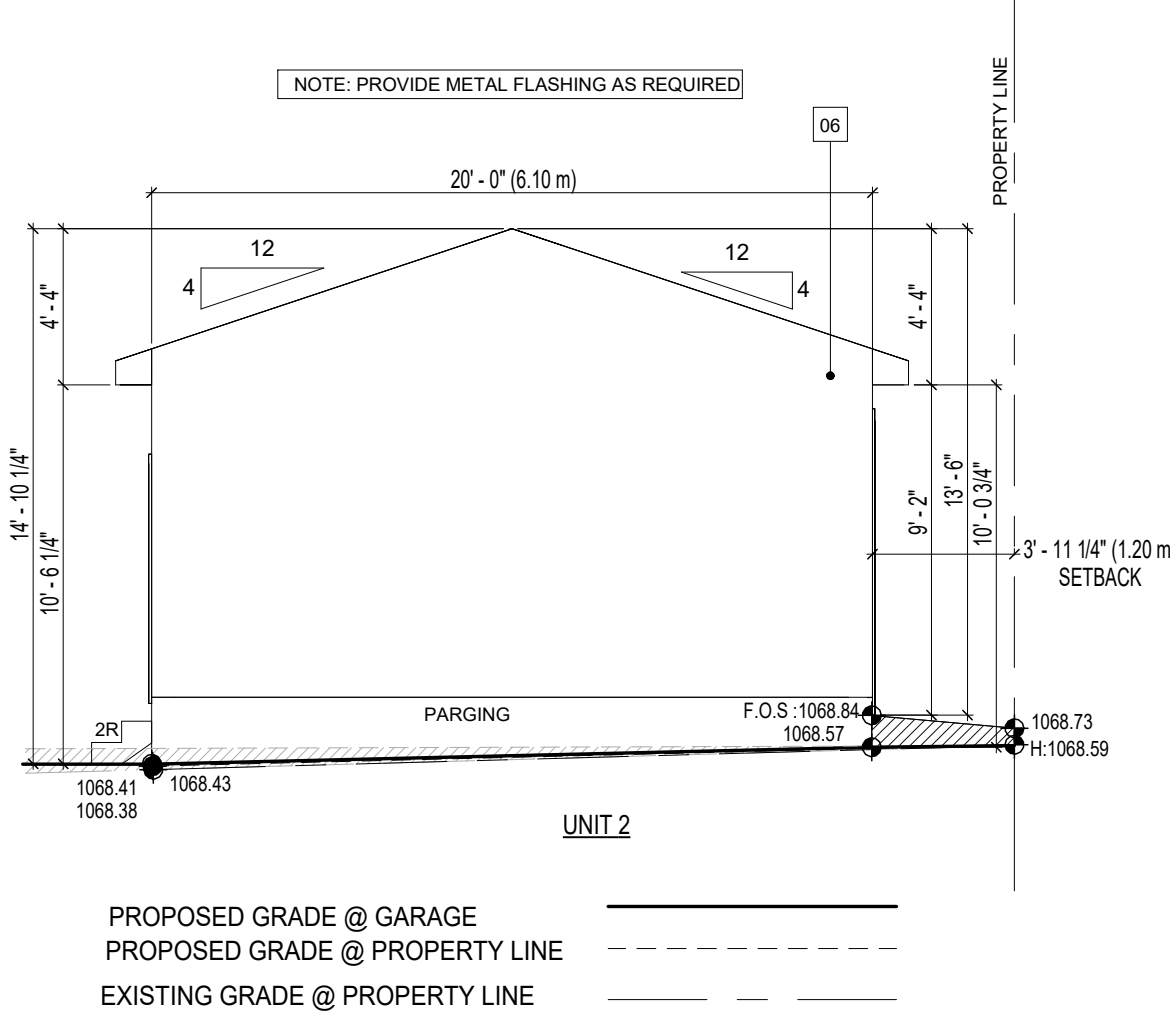
4 PROPOSED FRONT (NORTH) ELEVATION
3/16" = 1'-0"



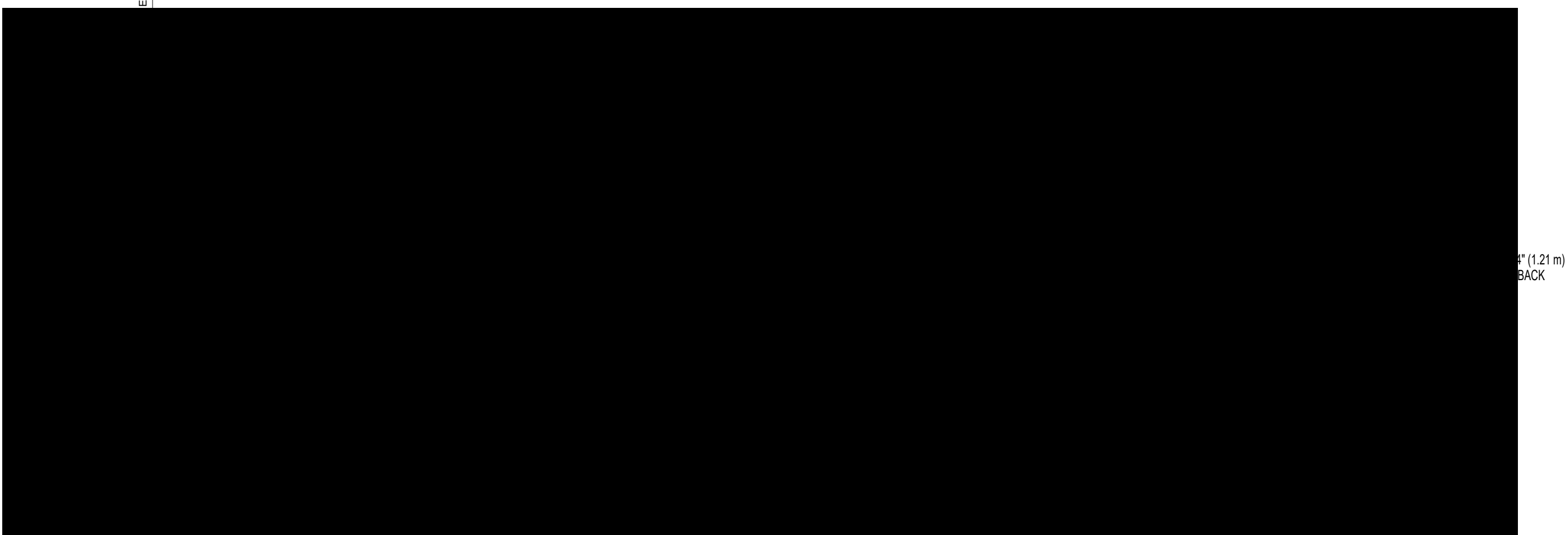
5 PROPOSED REAR (SOUTH) ELEVATION
3/16" = 1'-0"



6 PROPOSED LEFT (EAST) ELEVATION UNIT 2
3/16" = 1'-0"



7 PROPOSED RIGHT (WEST) ELEVATION UNIT 1
3/16" = 1'-0"



TRC_SCHEDULE OF FINISHES	
MARK	NAME
02	ASPHALT SHINGLES
03	PRE-FINISHED METAL FASCIA
06	STUCCO CLADING LIGHT

GR-1	ROOF AND CEILINGS -ASPHALT SHINGLE ROOFING AS SPEC'D -BUILDING PAPER -1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT -APPROVED WOOD TRUSSES @ 24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)(2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD) -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES -MIN R35 LOOSE FILL/ OR CELLULOSE INSUL. -VAPOUR BARRIER (6 MIL POLY) -5/8" TYPE 'X' DRYWALL
GF-4	GARAGE SLAB 4" DURACRETE CONC. SLAB 5" COMP. GRAVEL (SLOPE 4") (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)
GW-1	EXTERIOR WALLS - EXTERIOR FINISH AS SPEC'D - 1 LAYER 5/8" TYPE X EXTERIOR GYPSUM BOARD OR EQUIVALENT TO PROVIDE A MIN. 45 min FRR - 1 PLY AIR BARRIER - 2X4" WOOD STUDS @16" OC - R12 FRICTION-FIT FIBERGLASS INSULATION - VAPOUR BARRIER (6 MIL POLYETHYLENE) - 1 LAYERS 5/8" TYPE 'X' DRYWALL (INTERIOR SHEATHING)
W-7	(W13-A) 1HR FRR STC-57 - 5/8" TYPE 'X' DRYWALL - 6 MIL POLY V-B - 2X4 STUDS ON EDGE @ 24" OC - 6 MIL POLY V-B - 5/8" TYPE 'X' DRYWALL NOTE - SOIL BEARING CAPACITY 2000 # FT²

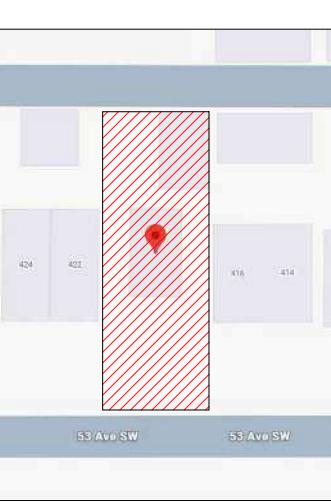
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

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KEY PLAN



NOTES:

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NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-01	DEVELOPMENT PERMIT SET	M.A	A.K.
02				
03				
04				
05				

THE CLIENT :

Core Developments

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CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GARAGE(ACCESSORY BUILDING)
UNIT 2

DRAWING NO.

A-501

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

R.E

SCALE:

3/16" = 1'-0"