

SINGLE HOME(1ST UNIT)
420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT 31&32



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-06-02
REVISION DATE : 2026-06-10

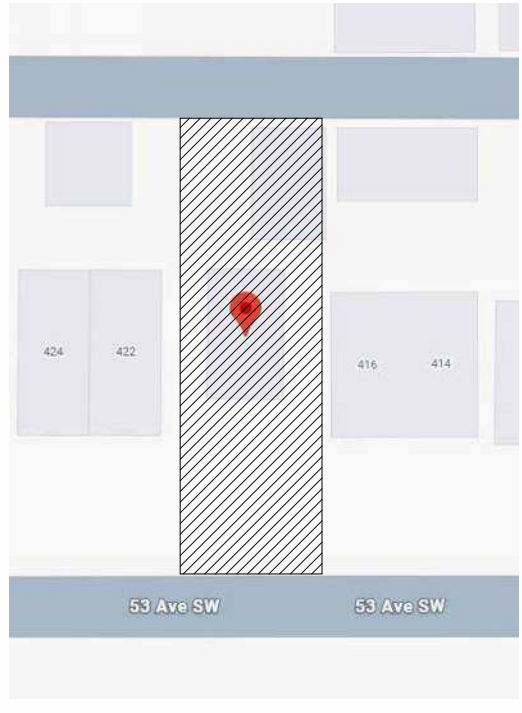
LIST OF DRAWINGS:

- G-001 GENERAL NOTES
- G-002 3D SHOTS
- A-001 EXISTING SURVEY
- A-002 PROPOSED AND EXISTING SITE PLAN
- A-003 PROPOSED SITE PLAN
- A-004 PROPOSED GRADES
- A-005 STREETScape
- A-006 CONSTRUCTION ACCESS AREA
- A-007 APRON AND BLVD. SECTIONS
- A-008 COVERAGE CALCULATIONS

- A-101 PROPOSED BASEMENT DEV. & MAIN FLOOR PLANS
- A-102 PROPOSED UPPER FLOOR PLAN & ROOF PLAN
- A-103 PLANS AREA
- A-201 PROPOSED FRONT & REAR ELEVATIONS
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- A-301 BUILDING SECTIONS
- A-401 GARAGE (ACCESSORY BUILDING)

UNIT 1ST			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	954.06	88.64
	UPPER FLOOR	971.08	90.22
	TOTAL	1925.14	178.85
	BASEMENT FLOOR	724.32	67.29
	GRAND TOTAL	2649.46	246.14
	GARAGE	386.10	35.87

KEY PLAN :



PROJECT NO. :

26-1049



#202 - 4216 10 STREET NE,
CALGARY, AB
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
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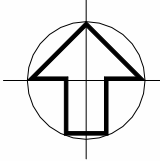
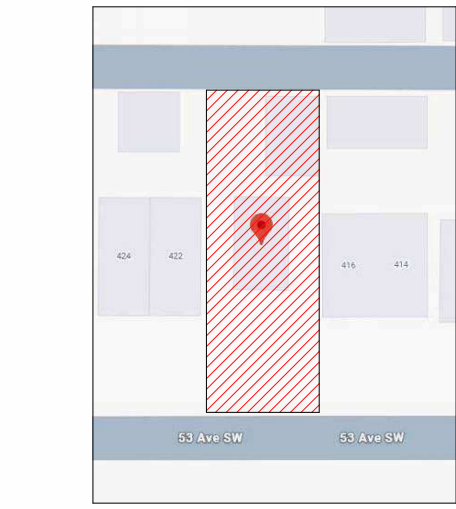


DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
#202, 4216 10TH STREET NE
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FAX: (403)203-1990
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KEY PLAN



NOTES:

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.
02				
03				
04				
05				

THE CLIENT :

CORE DEVELOPMENTS

PROJECT :

SINGLE HOME(1ST UNIT)

ADDRESS:

420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT
31&32

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D SHOTS

DRAWING NO.

G-002

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

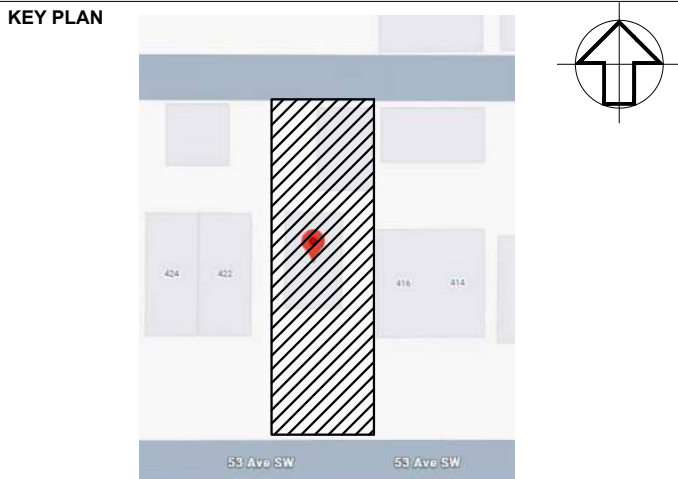
DATE:

2026-06-10

DRAWN BY:

R.E

SCALE:



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ISSUES:				
No.	Date	Description	DRAWN By	Chk'd By
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.

THE CLIENT :

CORE DEVELOPMENTS

PROJECT :

2 SINGLE HOMES

ADDRESS:

**420 53 AVENUE S.W.,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

EXISTING SURVEY

DRAWING NO.

A-001

PROJECT NO. :	CHECKED BY:	DATE:
	A.K.	2026-06-10
DRAWN BY:	SCALE: 1:200	
	E.R.	

DEVELOPMENT PERMIT PLAN

Legal Description:
LOT 31&32 BLOCK 11 PLAN 1693AF

Client: **Core Developments**
Municipal Address: **420 53 Avenue SW**

Date of Survey: **August 19-20, 2025**

Legend	
Property Boundary	---
Utility Right Of Way	---
Edge of Building/structure	---
Eaves	---
Asphalt	---
Concrete	---
Wood	---
Stone	---
Retain Wall	---
Fence	---
Overhead Utilities	---
Buried Sanitary	---
Buried Storm Water	---
Buried Waterline	---
Buried Gasline	---
Catch basin	(C)
Manhole	(M)
Power Pole	(P)
Sign	(S)
Hydrant	(H)
Street Light	(L)
Spot Elevation	(E)
Tree:	
Coniferous	---
Deciduous	---
Bushline	---

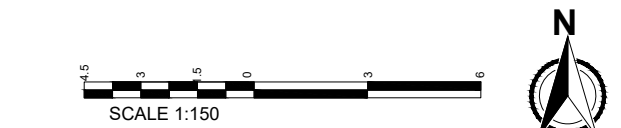
All fences are within 0.2 metres of the property line unless otherwise noted.
All eaves are measured to the fascia unless otherwise shown.
Unless noted lines outside of property are not to scale.

Distances are in metres and decimals thereof.

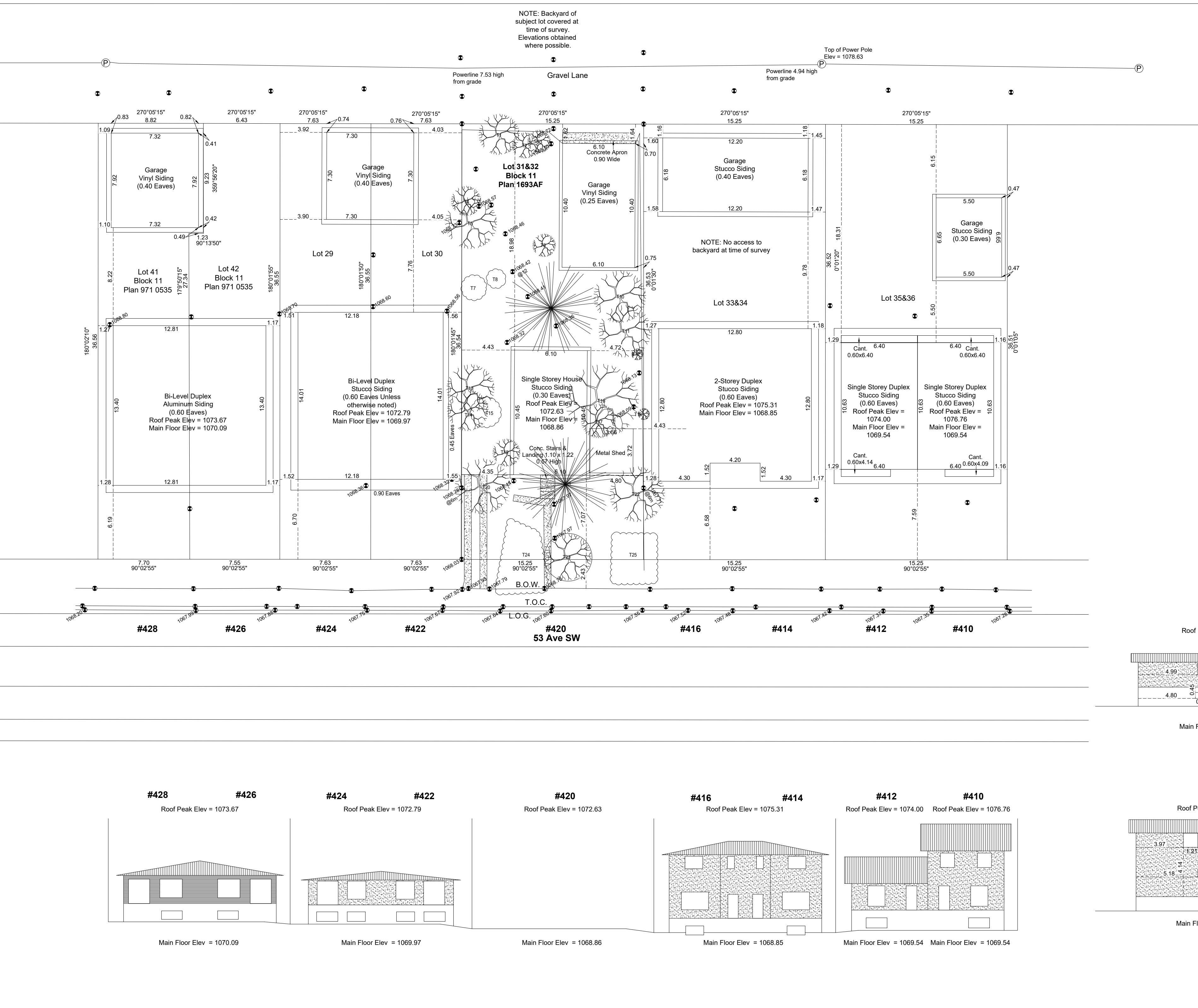
Elevations are Geoidic and are referred to ASCM 2000/07 Elev. = 1072.322
Bearings are Grid 3TM Zone 114°W and are derived from GNSS observations

Abbreviations
B.O.C. - back of curb
B.O.W. - back of walk
C of T - Certificate of Title
conc. - concrete
E - East
L.O.G. - lip of gutter
m - metres
N - North
R.W. - Right-of-Way
S - South
W - West

TREE SCHEDULE				
Tree No.	Type	Trunk Dia (m)	Height (m)	Canopy Dia (m)
T1	Deciduous	0.17	6.00	3.50
T2	Deciduous	0.10	4.00	2.20
T3	Deciduous	0.12	4.50	2.00
T4	Deciduous	0.12	4.00	2.60
T5	Deciduous	0.12	5.50	4.50
T6	Deciduous	0.15	4.00	2.00
T7	Bush	--	--	2.00
T8	Bush	--	--	1.50
T9	Coniferous	0.75	12.00	8.00
T10	Coniferous	0.30	5.00	4.50
T11	Coniferous	0.30	5.00	4.50
T12	Deciduous	0.11	4.50	1.00
T13	Deciduous	0.35	6.50	4.00
T14	Deciduous	0.15	5.00	3.50
T15	Bush	--	--	2.40
T16	Deciduous	0.40	6.00	6.50
T17	Deciduous	0.22	4.50	3.00
T18	Deciduous	0.10	4.00	1.00
T19	Deciduous	0.15	5.00	2.40
T20	Deciduous	0.20	6.00	4.40
T21	Coniferous	0.40	6.00	8.00
T22	Deciduous	0.30	6.00	4.50
T23	Deciduous	0.30	5.00	4.00
T24	Bush	--	--	3.90
T25	Bush	--	--	3.70



CANUCK SURVEYS
(403) 883-3385 www.canucksurveys.ca
Note: This plan represents the best information at the time of survey. Canuck Surveys and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown or omitted from this plan. It should not be assumed that all buried facilities are shown and facilities which are shown should not be construed as located until physically reported.
Utility Safety Partners: 1-800-240-3447
Field Crew: KK Draft: MJ Check: NMH DWG: CLG-0023-25-0P
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SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

420 53 AVENUE SW. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 1693AF , BLOCK 11 , LOT 31&32

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 557.29 m²
MAXIMUM COVERAGE (45%) = 250.78 m²
PROPOSED BUILDINGS COVERAGE = 177.74 m²
PROPOSED GARAGE COVERAGE = 71.74 m²
TOTAL PROPOSED COVERAGE = 249.48 m² = 44.77%

PROJECT SETBACK REQUIREMENTS:

- CONTEXTUAL FRONT SETBACK = (A+ B)/2 - 1.5
= (6.70 + 6.57)/2 - 1.5 = 5.13 m
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
- MINIMUM 1.20m GARAGE SETBACK
- MINIMUM 1.22m SIDEYARD SETBACK
- BUILDING DEPTH :-
THE MAXIMUM BUILDING DEPTH IS THE CONTEXTUAL BUILDING DEPTH AVERAGE. (THE AVERAGE BUILDING DEPTH OF THE CONTEXTUAL ADJACENT BUILDINGS PLUS 4.6 METRES)

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

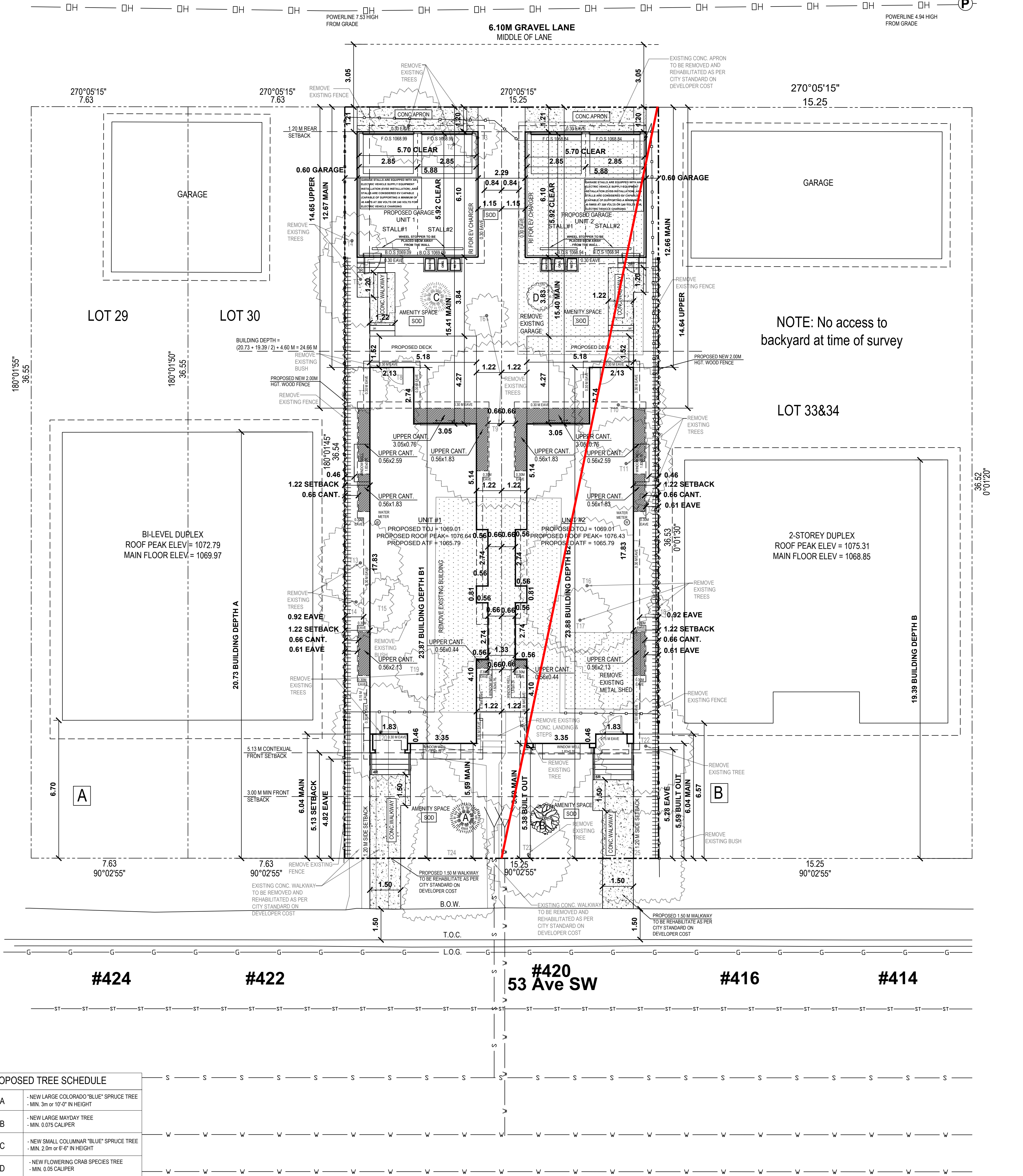
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	P/W LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

-ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
-BUILDING READY FOR SOLAR PANEL INSTALLATION
-ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
-BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

TREE SCHEDULE					
TREE NO.	TYPE	TRUNK DIA (M)	HEIGHT (M)	CANOPY DIA (M)	LOCATION
T1	DECIDUOUS	0.17	6.00	3.50	IN SUBJECT PROPERTY
T2	DECIDUOUS	0.10	4.00	2.20	IN SUBJECT PROPERTY
T3	DECIDUOUS	0.12	4.50	2.00	IN SUBJECT PROPERTY
T4	DECIDUOUS	0.12	4.00	2.60	IN SUBJECT PROPERTY
T5	DECIDUOUS	0.12	5.50	4.50	IN SUBJECT PROPERTY
T6	DECIDUOUS	0.15	4.00	2.00	IN SUBJECT PROPERTY
T7	BUSH	--	--	2.00	IN SUBJECT PROPERTY
T8	BUSH	--	--	1.50	IN SUBJECT PROPERTY
T9	CONIFEROUS	0.75	12.00	8.00	IN SUBJECT PROPERTY
T10	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY
T11	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY
T12	DECIDUOUS	0.11	4.50	1.00	IN SUBJECT PROPERTY
T13	DECIDUOUS	0.35	6.50	4.00	IN SUBJECT PROPERTY
T14	DECIDUOUS	0.15	5.00	3.50	IN SUBJECT PROPERTY
T15	BUSH	--	--	2.40	IN SUBJECT PROPERTY
T16	DECIDUOUS	0.40	6.00	6.50	IN SUBJECT PROPERTY
T17	DECIDUOUS	0.22	4.50	3.00	IN SUBJECT PROPERTY
T18	DECIDUOUS	0.10	4.00	1.00	ON PROPERTY LINE
T19	DECIDUOUS	0.15	5.00	2.40	IN SUBJECT PROPERTY
T20	DECIDUOUS	0.20	6.00	4.40	IN SUBJECT PROPERTY
T21	CONIFEROUS	0.40	6.00	8.00	IN SUBJECT PROPERTY
T22	DECIDUOUS	0.30	6.00	4.50	IN SUBJECT PROPERTY
T23	DECIDUOUS	0.30	5.00	4.00	IN SUBJECT PROPERTY
T24	BUSH	--	--	3.90	IN SUBJECT PROPERTY
T25	BUSH	--	--	3.70	IN SUBJECT PROPERTY

ROADS NOTE:

- CONSTRUCTION OF NEW SIDEWALKS ADJACENT TO 53 AVENUE S.W.
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.



PROPOSED TREE SCHEDULE

A	- NEW LARGE COLORADO "BLUE" SPRUCE TREE - MIN. 3m or 10'-0" IN HEIGHT
B	- NEW LARGE MAYDAY TREE - MIN. 0.075 CALIPER
C	- NEW SMALL COLUMNAR "BLUE" SPRUCE TREE - MIN. 2.0m or 6'-6" IN HEIGHT
D	- NEW FLOWERING CRAB SPECIES TREE - MIN. 0.05 CALIPER

DESIGNED BY:



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tricordesigns.com

#202, 4216 16th STREET NE

CALGARY, AB

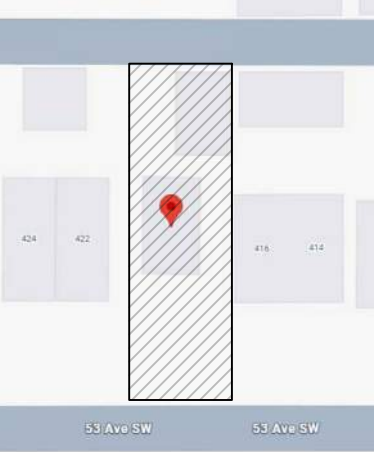
T2E 6K3

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KEY PLAN



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2 SINGLE HOMES

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PLAN1693AF, BLOCK11, LOT31&32

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DEVELOPMENT PERMIT SET

DRAWING TITLE:

EXISTING & PROPOSED
SITE PLAN

DRAWING NO.

A-002

PROJECT NO.:

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

E.R.

SCALE:

1:100

SITE - PLAN

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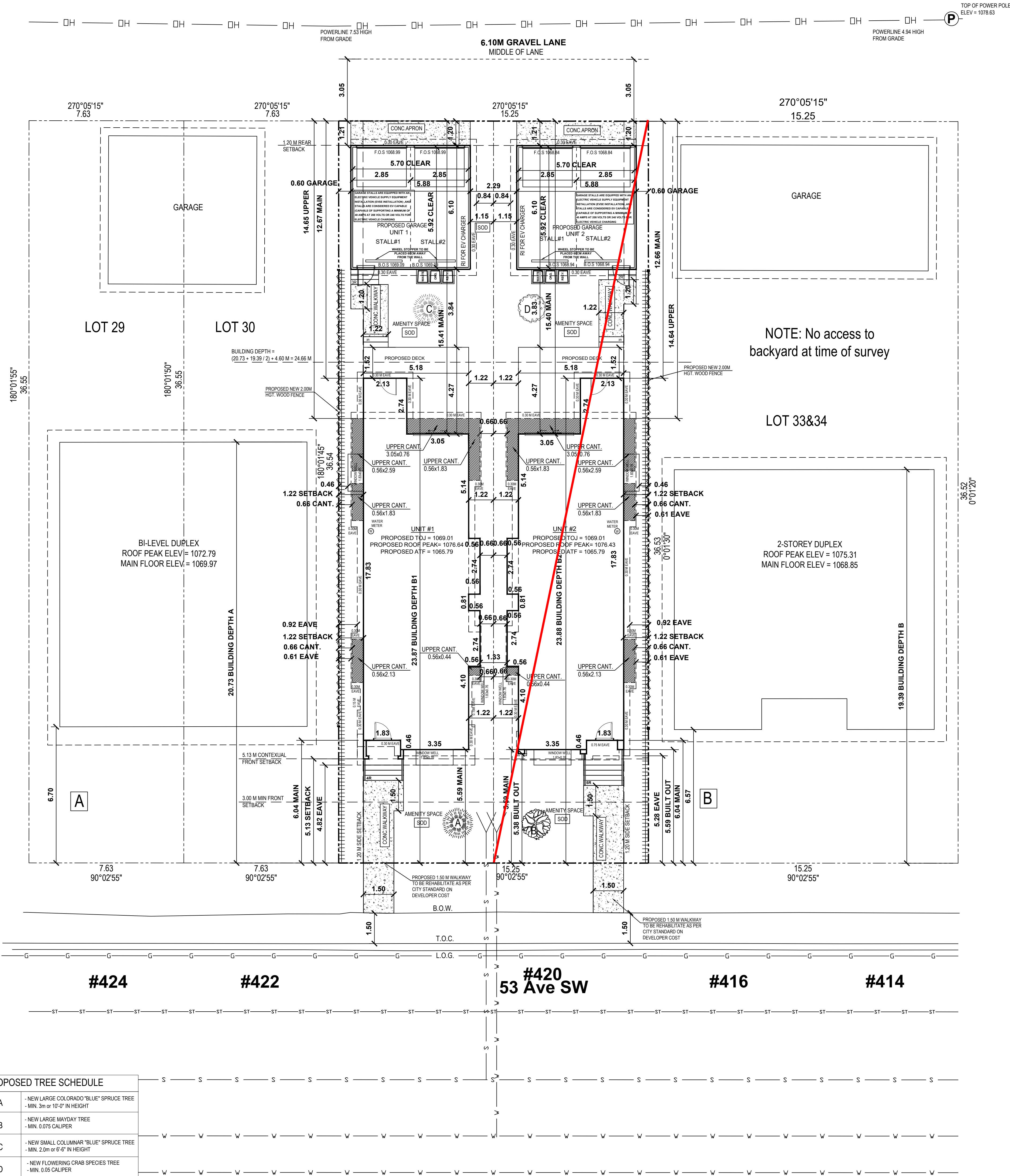
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T12	DECIDUOUS	0.11	4.50	1.00	IN SUBJECT PROPERTY
T13	DECIDUOUS	0.35	6.50	4.00	IN SUBJECT PROPERTY
T14	DECIDUOUS	0.15	5.00	3.50	IN SUBJECT PROPERTY
T15	BUSH	--	--	2.40	IN SUBJECT PROPERTY
T16	DECIDUOUS	0.40	6.00	6.50	IN SUBJECT PROPERTY
T17	DECIDUOUS	0.22	4.50	3.00	IN SUBJECT PROPERTY
T18	DECIDUOUS	0.10	4.00	1.00	ON PROPERTY LINE
T19	DECIDUOUS	0.15	5.00	2.40	IN SUBJECT PROPERTY
T20	DECIDUOUS	0.20	6.00	4.40	IN SUBJECT PROPERTY
T21	CONIFEROUS	0.40	6.00	8.00	IN SUBJECT PROPERTY
T22	DECIDUOUS	0.30	6.00	4.50	IN SUBJECT PROPERTY
T23	DECIDUOUS	0.30	5.00	4.00	IN SUBJECT PROPERTY
T24	BUSH	--	--	3.90	IN SUBJECT PROPERTY
T25	BUSH	--	--	3.70	IN SUBJECT PROPERTY

ROADS NOTE:

- CONSTRUCTION OF NEW SIDEWALKS ADJACENT TO 53 AVENUE S.W.
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.



PROPOSED TREE SCHEDULE

A	- NEW LARGE COLORADO "BLUE" SPRUCE TREE - MIN. 3m or 10'-0" IN HEIGHT
B	- NEW LARGE MAYDAY TREE - MIN. 0.075 CALIPER
C	- NEW SMALL COLUMNAR "BLUE" SPRUCE TREE - MIN. 2.0m or 6'-6" IN HEIGHT
D	- NEW FLOWERING CRAB SPECIES TREE - MIN. 0.05 CALIPER

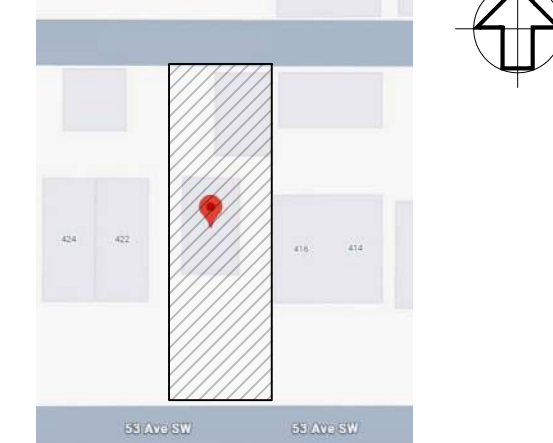
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 16th STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES:

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REVISIONS:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E.	A.K.
	2026-06-10	CLIENT COMMENTS	H.E.	E.R.

ISSUES:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.

THE CLIENT:

CORE DEVELOPMENTS

PROJECT:

2 SINGLE HOMES

ADDRESS:

420 53 AVENUE S.W. ,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO.:

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

E.R.

SCALE:

1:100

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

420 53 AVENUE SW. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 1693AF , BLOCK 11 , LOT 31&32

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 557.29 m²
MAXIMUM COVERAGE (45%) = 250.78 m²
PROPOSED BUILDINGS COVERAGE = 177.74 m²
PROPOSED GARAGE COVERAGE = 71.74 m²
TOTAL PROPOSED COVERAGE = 249.48 m² = 44.77%

PROJECT SETBACK REQUIREMENTS:

1. CONTEXTUAL FRONT SETBACK = (A+ B)/2 - 1.5

= (6.70 + 6.57)/2 - 1.5 = 5.13 m

(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 6m INTO THE FRONT SETBACK AREA)

2. MINIMUM 1.20m GARAGE SETBACK

3. MINIMUM 1.22m SIDEYARD SETBACK

4. BUILDING DEPTH :-

THE MAXIMUM BUILDING DEPTH IS THE CONTEXTUAL BUILDING DEPTH AVERAGE. (THE AVERAGE BUILDING DEPTH OF THE CONTEXTUAL ADJACENT BUILDINGS PLUS 4.6 METRES)

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

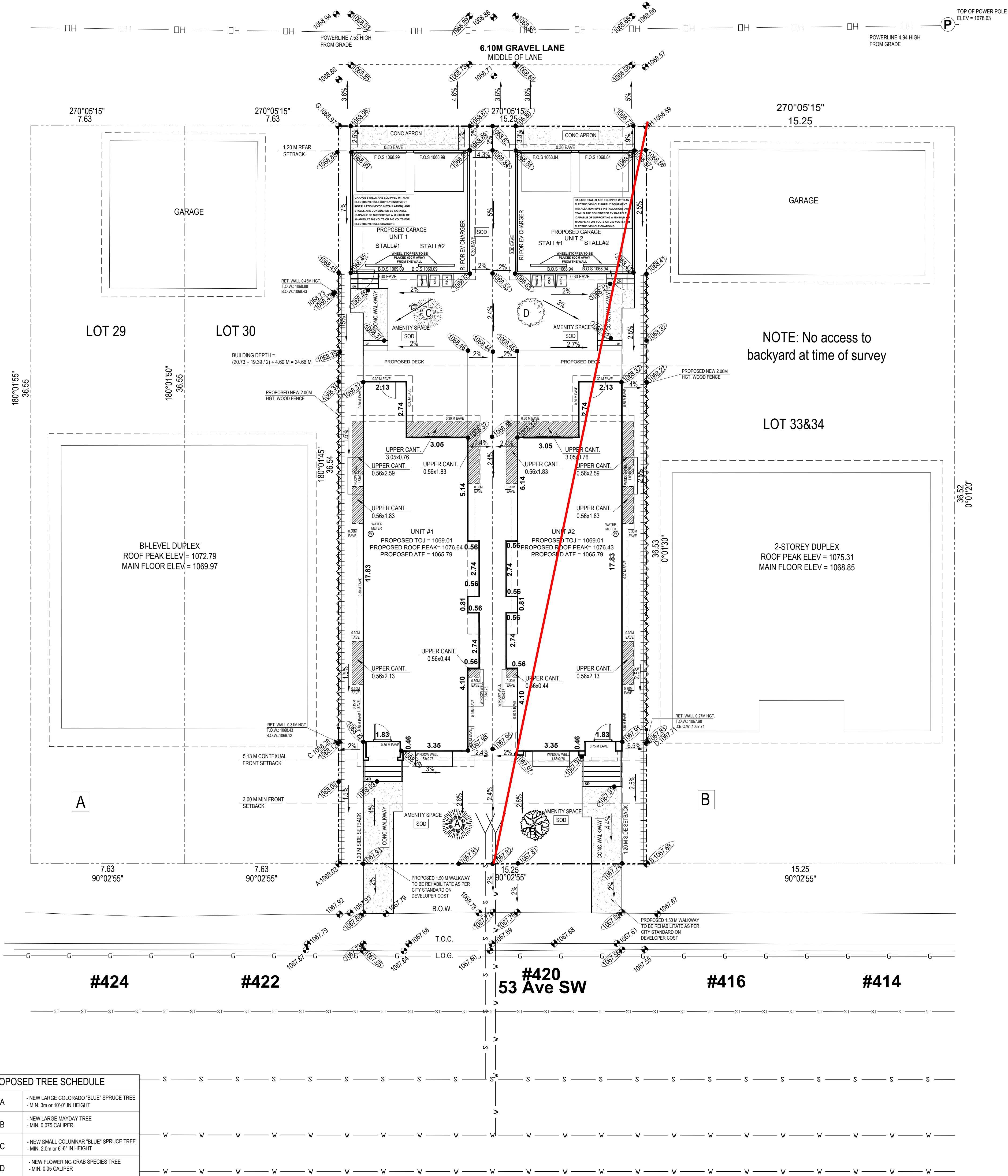
LEGEND	LEGEND	LEGEND	LEGEND

-ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
-BUILDING READY FOR SOLAR PANEL INSTALLATION .
-ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
-BUILDING WILL BE SOLAR READY AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY .FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED ORFID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

TREE SCHEDULE					
TREE NO.	TYPE	TRUNK DIA (M)	HEIGHT (M)	CANOPY DIA (M)	LOCATION
T1	DECIDUOUS	0.17	6.00	3.50	IN SUBJECT PROPERTY REMOVED
T2	DECIDUOUS	0.10	4.00	2.20	IN SUBJECT PROPERTY REMOVED
T3	DECIDUOUS	0.12	4.50	2.00	IN SUBJECT PROPERTY REMOVED
T4	DECIDUOUS	0.12	4.00	2.60	IN SUBJECT PROPERTY REMOVED
T5	DECIDUOUS	0.12	5.50	4.50	IN SUBJECT PROPERTY REMOVED
T6	DECIDUOUS	0.15	4.00	2.00	IN SUBJECT PROPERTY REMOVED
T7	BUSH	--	--	2.00	IN SUBJECT PROPERTY REMOVED
T8	BUSH	--	--	1.50	IN SUBJECT PROPERTY REMOVED
T9	CONIFEROUS	0.75	12.00	8.00	IN SUBJECT PROPERTY REMOVED
T10	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY REMOVED
T11	CONIFEROUS	0.30	5.00	4.50	IN SUBJECT PROPERTY REMOVED
T12	DECIDUOUS	0.11	4.50	1.00	IN SUBJECT PROPERTY REMOVED
T13	DECIDUOUS	0.35	6.50	4.00	IN SUBJECT PROPERTY REMOVED
T14	DECIDUOUS	0.15	5.00	3.50	IN SUBJECT PROPERTY REMOVED
T15	BUSH	--	--	2.40	IN SUBJECT PROPERTY REMOVED
T16	DECIDUOUS	0.40	6.00	6.50	IN SUBJECT PROPERTY REMOVED
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T18	DECIDUOUS	0.10	4.00	1.00	ON PROPERTY LINE REMOVED
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T24	BUSH	--	--	3.90	IN SUBJECT PROPERTY REMOVED
T25	BUSH	--	--	3.70	IN SUBJECT PROPERTY REMOVED

ROADS NOTE:

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DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

tricordesigns.com

#202, 4216 181 STREET NE

CALGARY, AB

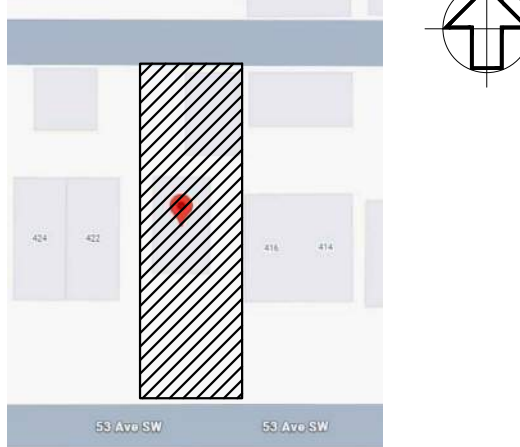
T2E 8K3

PHONE: (403)203-1970

FAX: (403)203-1990

EMAIL: info@tricordg.ca

KEY PLAN



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REVISIONS:

No.	Date	Description	DRAWN BY	CHK'd BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
	2026-06-10	CLIENT COMMENTS	H.E	E.R.

ISSUES:

No.	Date	Description	DRAWN BY	CHK'd BY
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.

THE CLIENT :

CORE DEVELOPMENTS

PROJECT :

2 SINGLE HOMES

ADDRESS:

420 53 AVENUE S.W. ,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED GRADES

DRAWING NO.

A-004

PROJECT NO. :

26-1049

CHECKED BY:

A.K.

DATE:

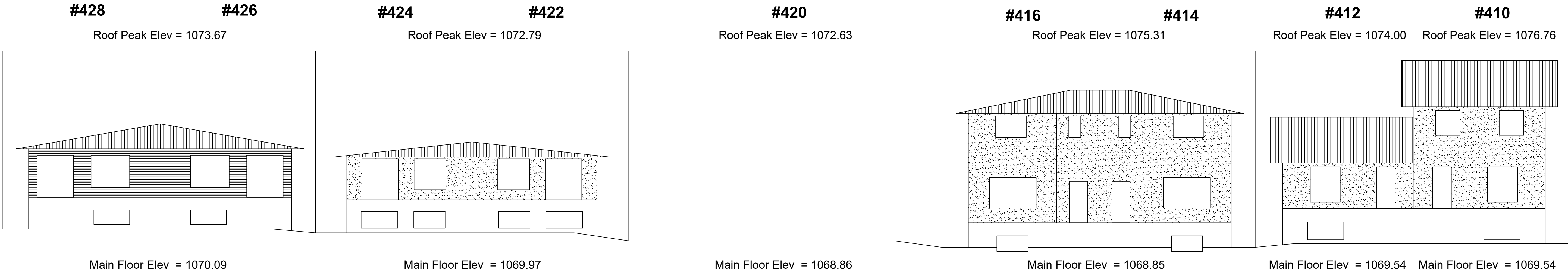
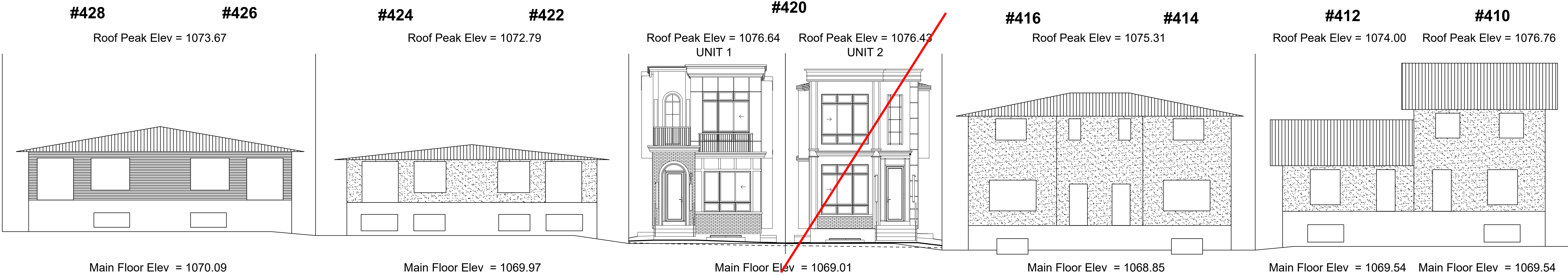
2026-06-10

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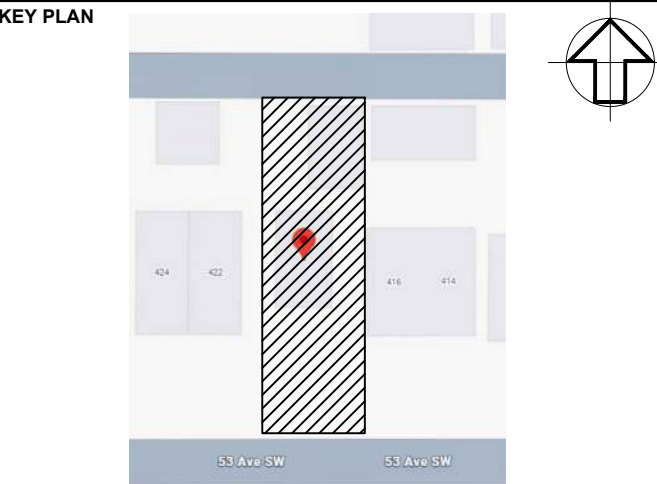
E.R.

SCALE:

1:100



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CALGARY, AB.
T5E 0G3
PHONE: (403)203-1970
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01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.

THE CLIENT :
CORE DEVELOPMENTS

PROJECT :
2 SINGLE HOMES

ADDRESS: **420 53 AVENUE S.W. ,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32**

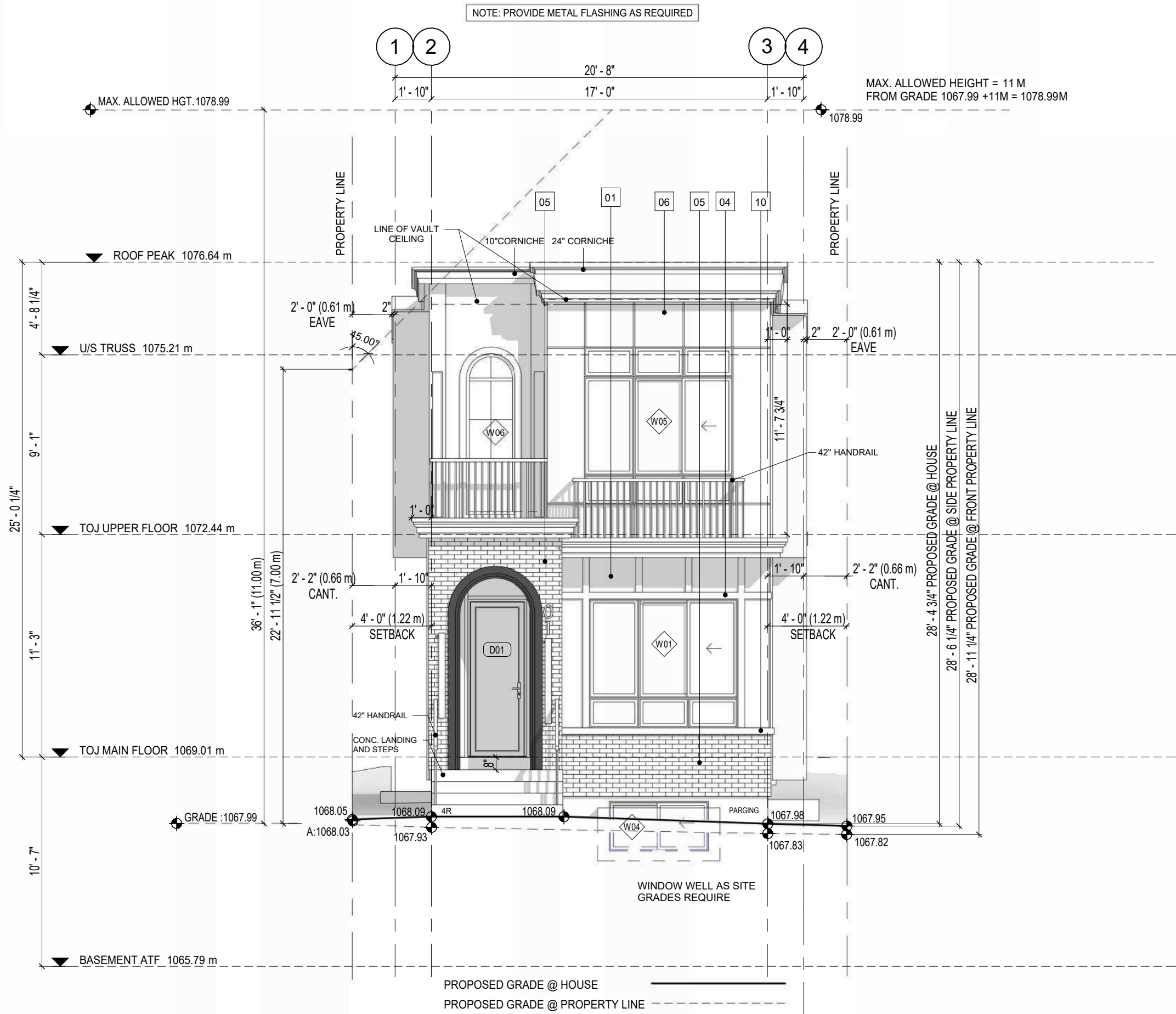
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DEVELOPMENT PERMIT SET

DRAWING TITLE :
STREETSCAPE

DRAWING NO.
A-005

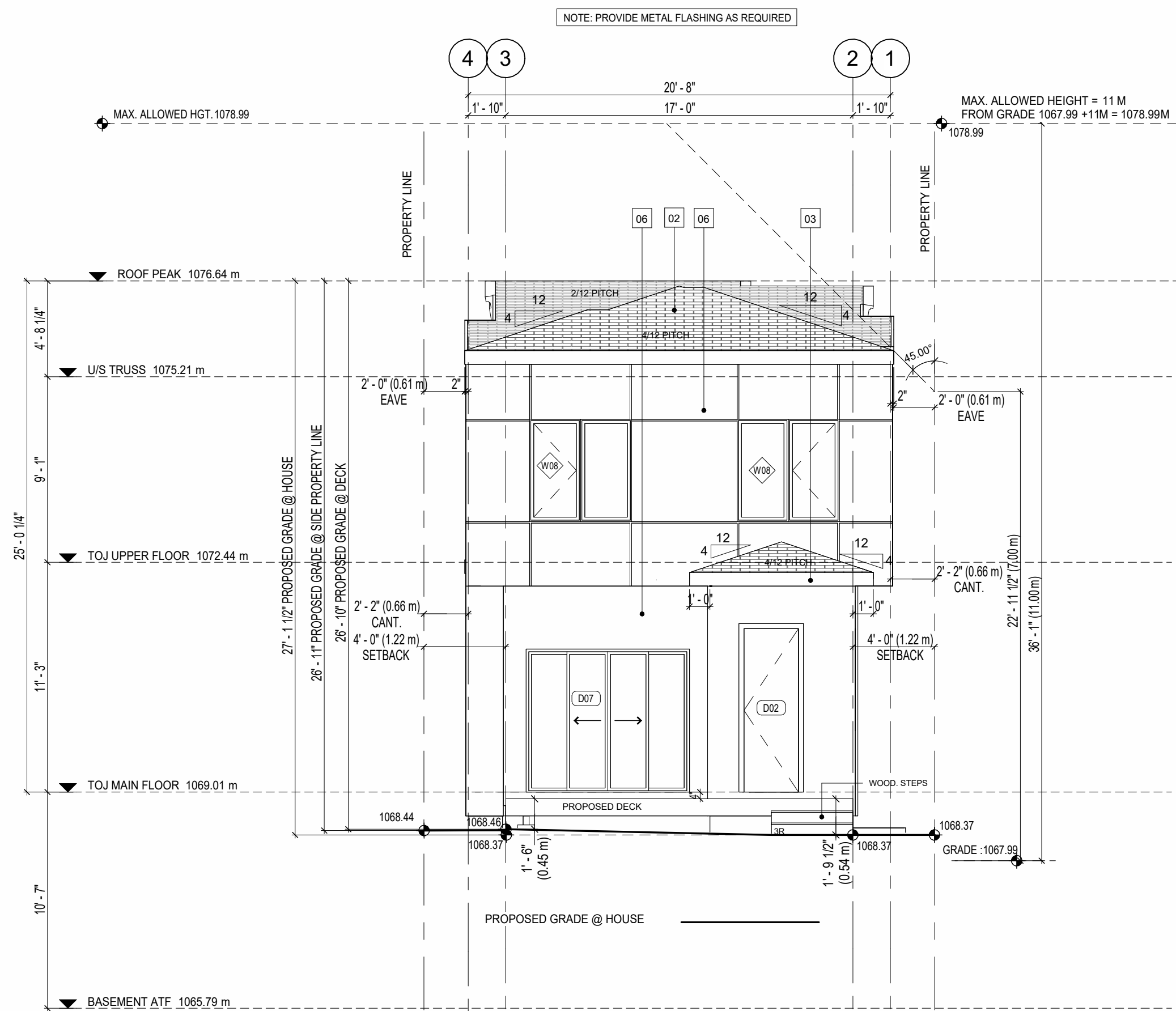
PROJECT NO. : 26-1049	CHECKED BY: A.K.	DATE: 2026-06-10
	DRAWN BY: E.R.	SCALE: 1:200

TRC_SCHEDULE OF FINISHES	
MARK	NAME
01	PANELS
02	Asphalt Shingle
03	8" PRE-FINISHED METAL FASCIA
04	TRIM - HORIZONTAL /VERTICAL 4"
05	EXTERIOR MANUFACTURED BRICK OFF WHITE
06	STUCCO CLADDING OFF WHITE
07	4" TRIM LIGHT GRAY
08	4" TRIM DARK GRAY



1 PROPOSED FRONT (SOUTH) ELEVATION

3/16" = 1'-0"



2 PROPOSED REAR (NORTH) ELEVATION

3/16" = 1'-0"

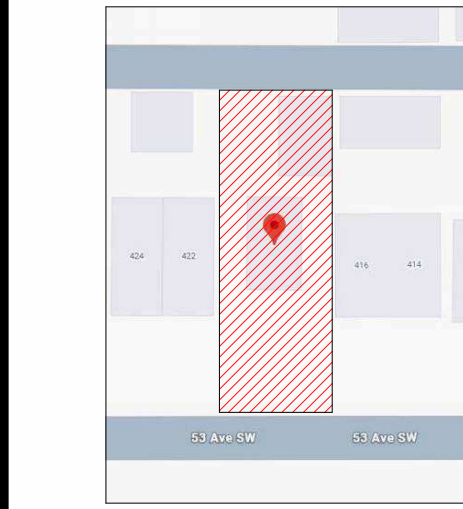
DESIGNED BY:

TRICOR DESIGN GROUP

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

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KEY PLAN



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NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.
02				
03				
04				
05				

THE CLIENT:

CORE DEVELOPMENTS

PROJECT:

SINGLE HOME(1ST UNIT)

ADDRESS:

420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT
31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

PROJECT NO.:

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

R.E

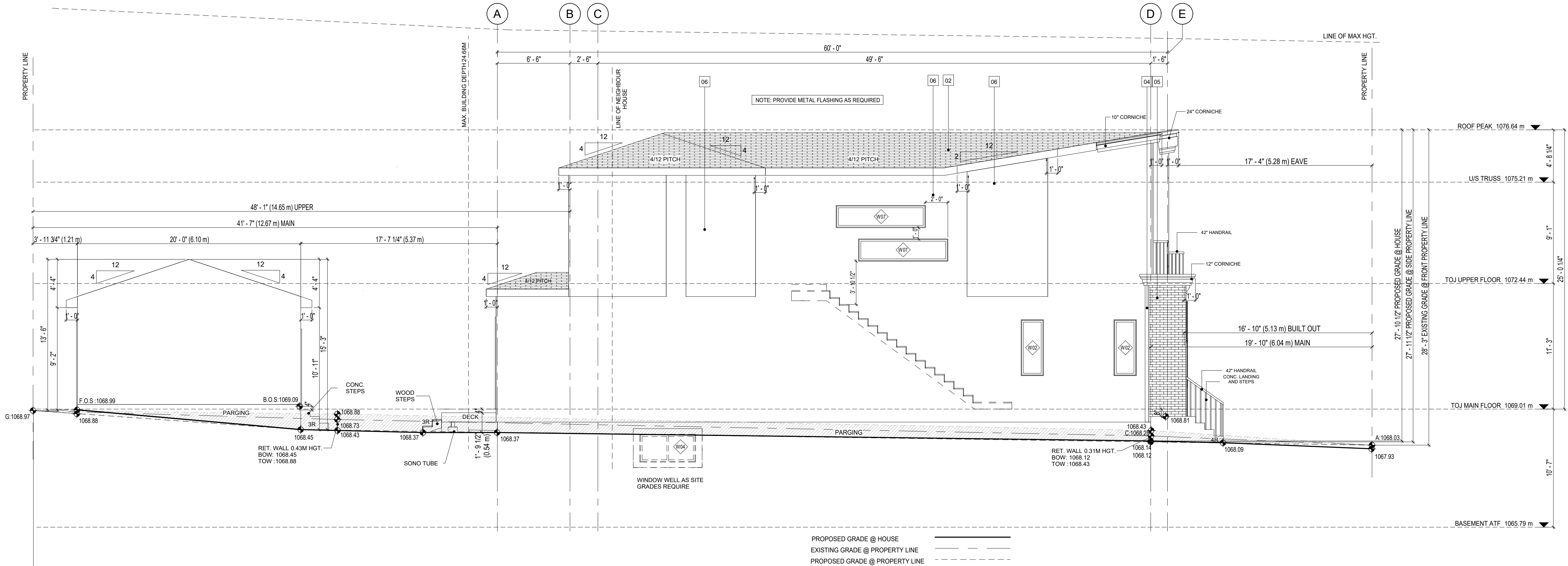
SCALE:

3/16" = 1'-0"

TRC_SCHEDULE OF FINISHES	
MARK	NAME
01	PANELS
02	Asphalt Shingle
03	8" PRE-FINISHED METAL FASCIA
04	TRIM - HORIZONTAL /VERTICAL 4"
05	EXTERIOR MANUFACTURED BRICK OFF WHITE
06	STUCCO CLADDING OFF WHITE
07	4" TRIM LIGHT GRAY
08	4" TRIM DARK GRAY

UNPROTECTED OPENINGS		
CODE CHECK		
EXPOSED BUILDING FACE	1202.17 SQ. FT.	111.68 SQ.M²
MINIMUM SETBACK	4'-0"	1.22 M
PERCENTAGE OF ALLOWED OPENINGS	7.00%	
SQ. FTG. OF ALLOWED OPENINGS	84.15 SQ. FT.	7.82 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	26.00 SQ. FT.	2.42 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	42.07 SQ. FT.	4.2 SQ.M²

1 PROPOSED RIGHT (EAST) ELEVATION
3/16" = 1'-0"



2 PROPOSED LEFT (WEST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS		
CODE CHECK		
EXPOSED BUILDING FACE	1310.26 SQ. FT.	121.73 SQ.M²
MINIMUM SETBACK	4'-0"	1.22 M
PERCENTAGE OF ALLOWED OPENINGS	7.00%	
SQ. FTG. OF ALLOWED OPENINGS	91.72 SQ. FT.	8.52 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	52.00 SQ. FT.	4.83 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	45.86 SQ. FT.	4.26 SQ.M²

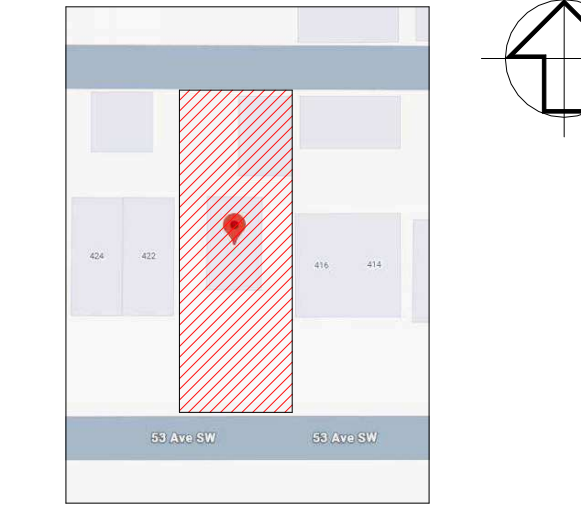
DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-02	DEVELOPMENT PERMIT SET	E.R.	A.K.
02				
03				
04				
05				

THE CLIENT:

CORE DEVELOPMENTS

PROJECT:

SINGLE HOME(1ST UNIT)

ADDRESS:

420 53 AVENUE SW.,
CALGARY, ALBERTA
PLAN 1693AF , BLOCK 11 , LOT
31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO.:

26-1049

CHECKED BY:
A.K.

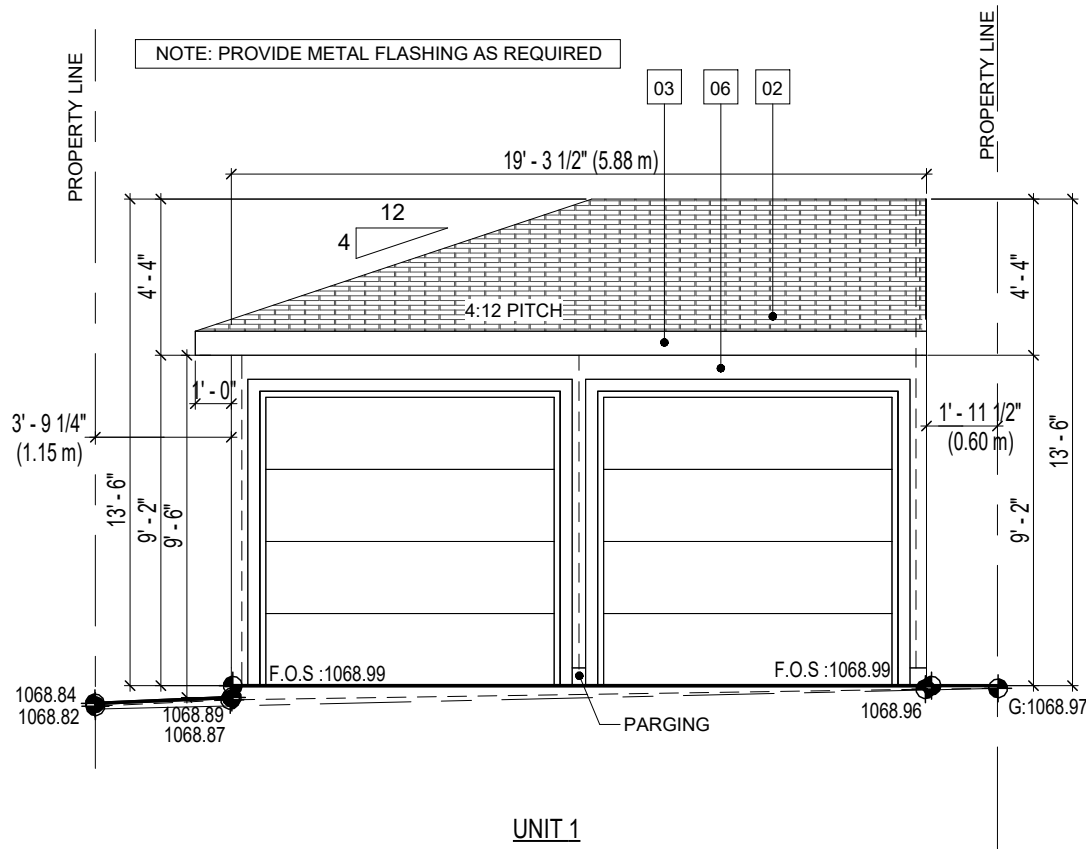
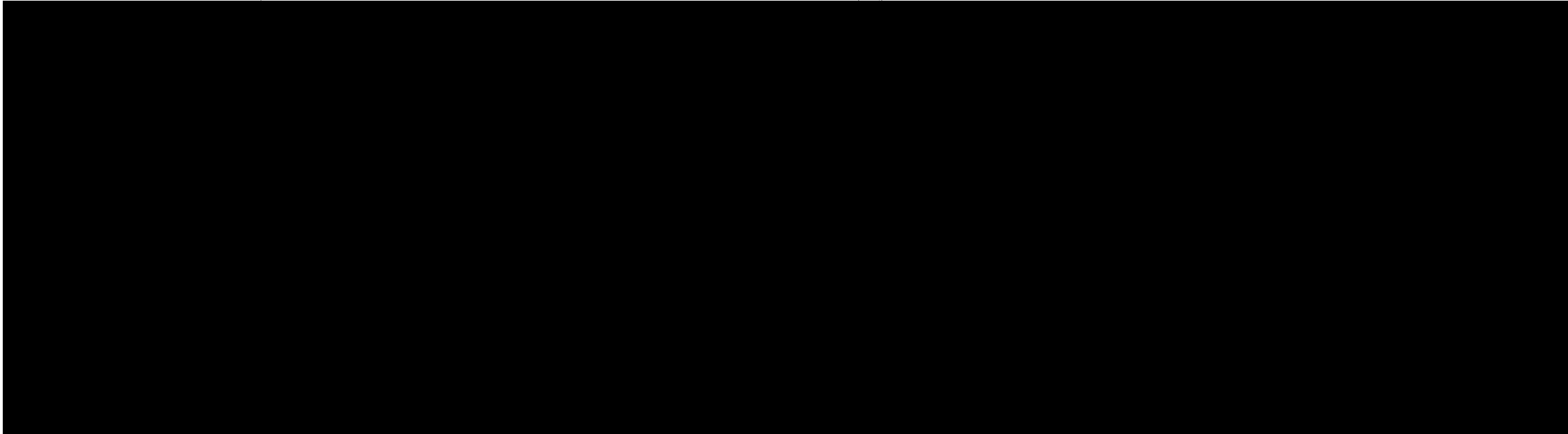
DATE:
2026-06-10

DRAWN BY:
R.E

SCALE:
3/16" = 1'-0"

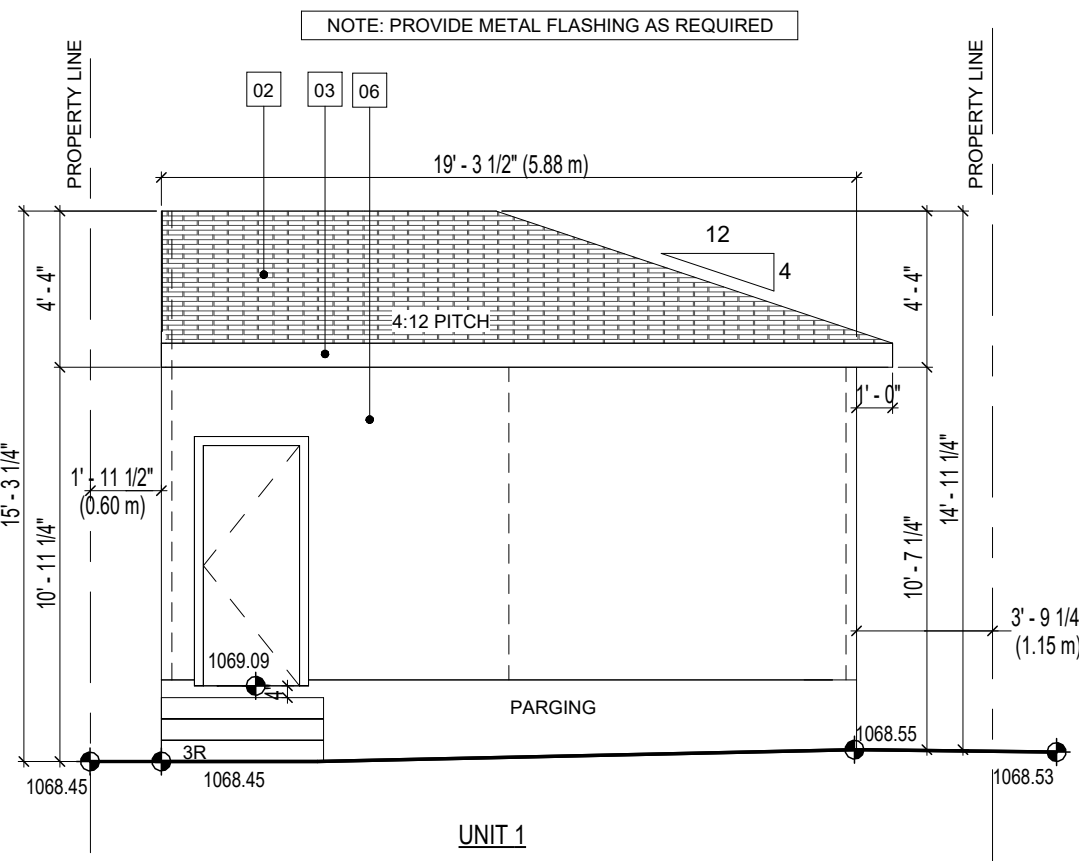


WA-13



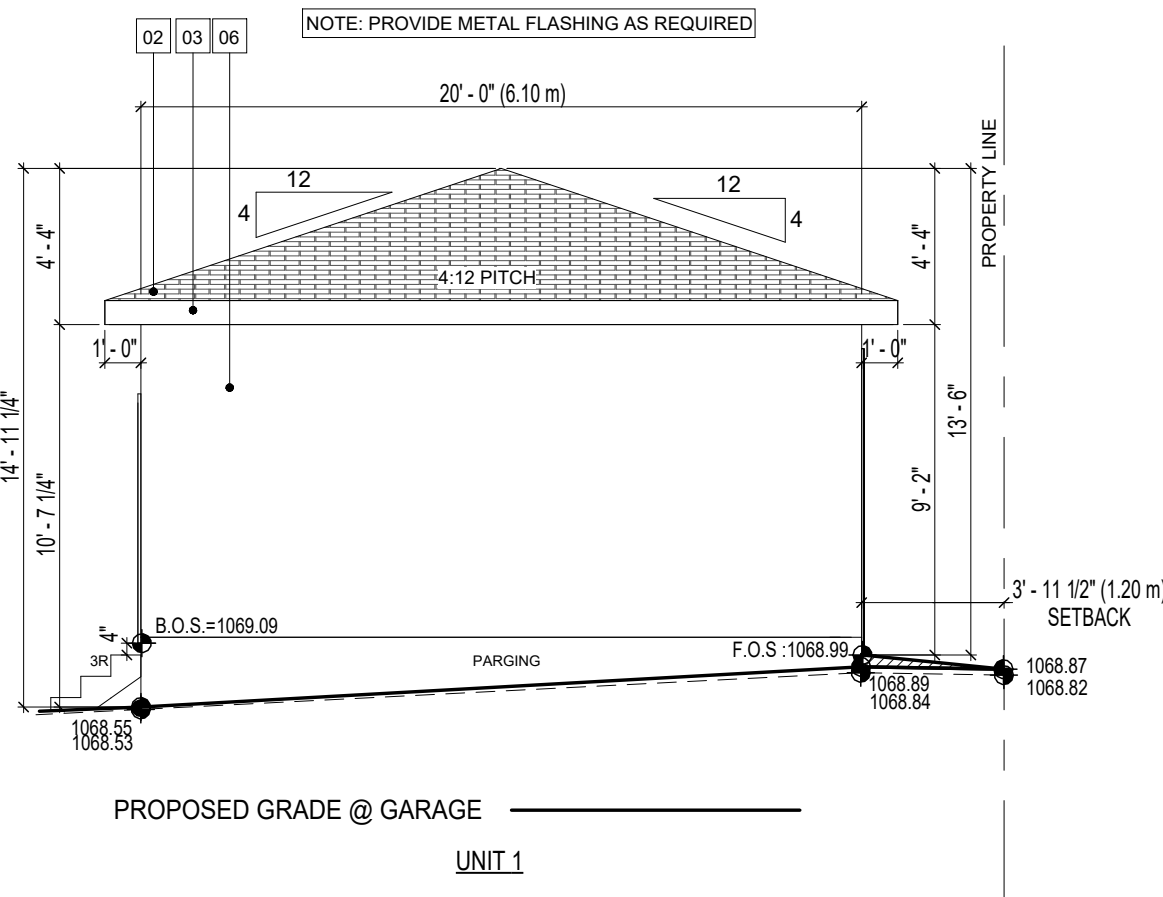
PROPOSED GRADE @ GARAGE
PROPOSED GRADE @ PROPERTY LINE
EXISTING GRADE @ PROPERTY LINE

4 PROPOSED FRONT (NORTH) ELEVATION
3/16" = 1'-0"



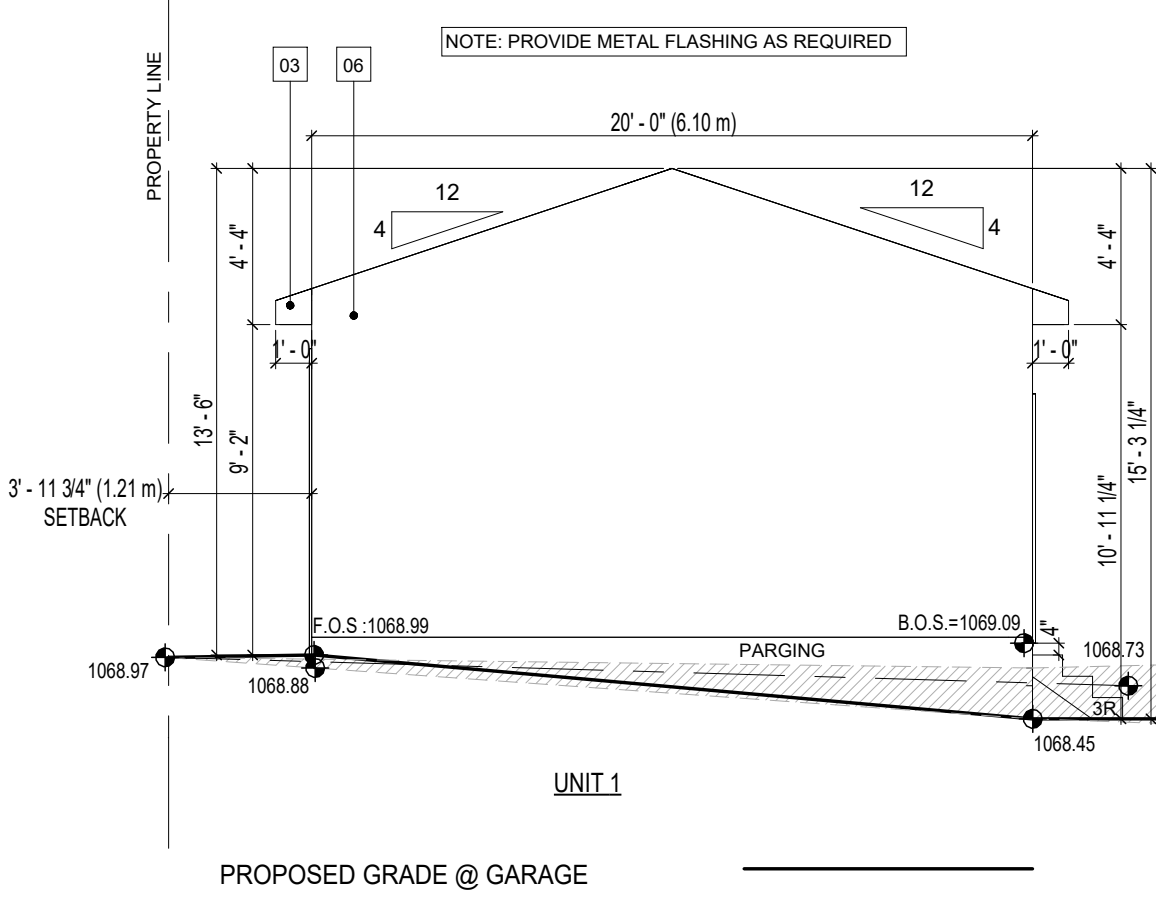
PROPOSED GRADE @ GARAGE

5 PROPOSED REAR (SOUTH) ELEVATION
3/16" = 1'-0"



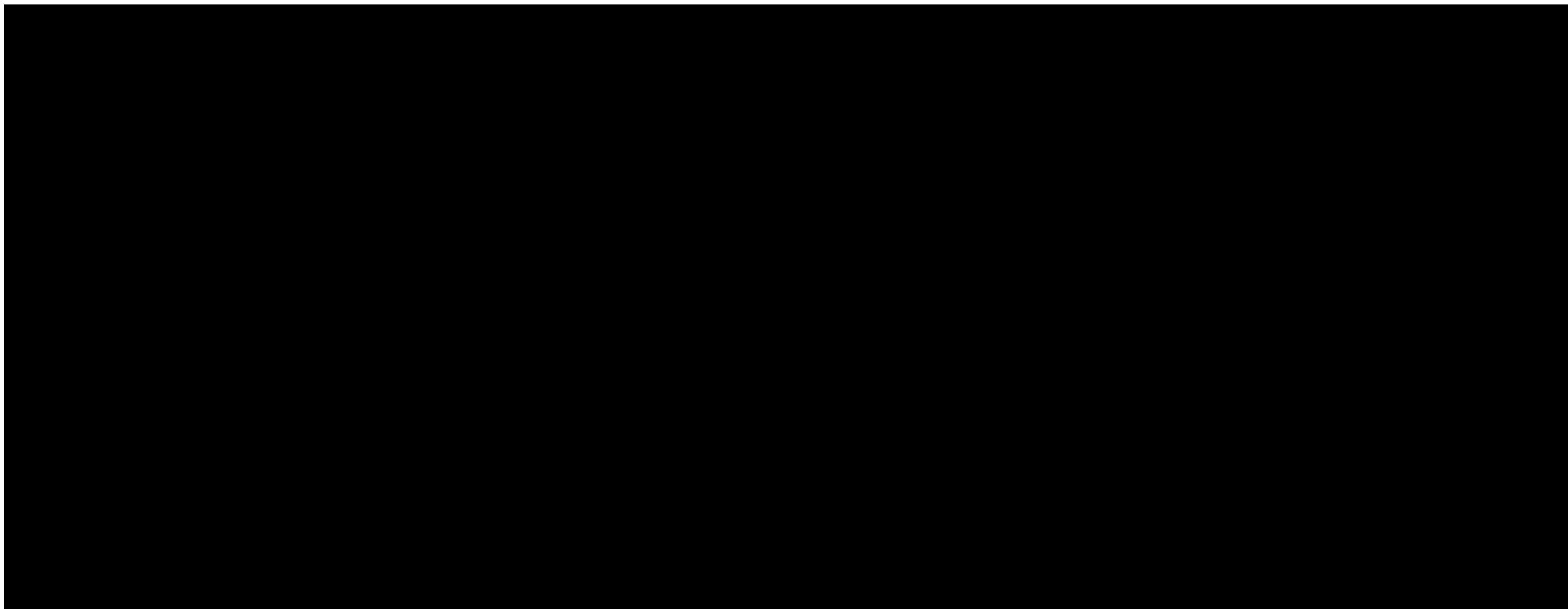
PROPOSED GRADE @ GARAGE

6 PROPOSED LEFT (EAST) ELEVATION
3/16" = 1'-0"



PROPOSED GRADE @ GARAGE
PROPOSED GRADE @ PROPERTY LINE
EXISTING GRADE @ PROPERTY LINE

7 PROPOSED RIGHT (WEST) ELEVATION
3/16" = 1'-0"



TRC_SCHEDULE OF FINISHES

MARK	NAME
02	ASPHALT SHINGLES
03	PRE-FINISHED METAL FASCIA
06	STUCCO CLADING LIGHT

GR-1	ROOF AND CEILINGS -ASPHALT SHINGLE ROOFING AS SPEC'D -BUILDING PAPER -1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT -APPROVED WOOD TRUSSES @ 24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL/2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD) -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES -MIN R35 LOOSE FILL/ OR CELLULOSE INSUL. -VAPOUR BARRIER (6 MIL POLY) -5/8" TYPE 'X' DRYWALL
GF-4	GARAGE SLAB 4" DURACRETE CONC. SLAB 5" COMP. GRAVEL (SLOPE 4") (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)
GW-1	EXTERIOR WALLS - EXTERIOR FINISH AS SPEC'D - 1 LAYER 5/8" TYPE X EXTERIOR GYPSUM BOARD OR EQUIVALENT TO PROVIDE A MIN. 45 min FRR - 1 PLY AIR BARRIER - 2X4" WOOD STUDS @16" OC - R12 FRICTION-FIT FIBERGLASS INSULATION - VAPOUR BARRIER (6 MIL POLYETHYLENE) - 1 LAYERS 5/8" TYPE 'X' DRYWALL (INTERIOR SHEATHING)
W-7	(W13-A) 1HR FRR STC-57 - 5/8" TYPE 'X' DRYWALL - 6 MIL POLY V-B - 2X4 STUDS ON EDGE @ 24" OC - 6 MIL POLY V-B - 5/8" TYPE 'X' DRYWALL NOTE - SOIL BEARING CAPACITY 2000 # FT²

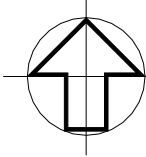
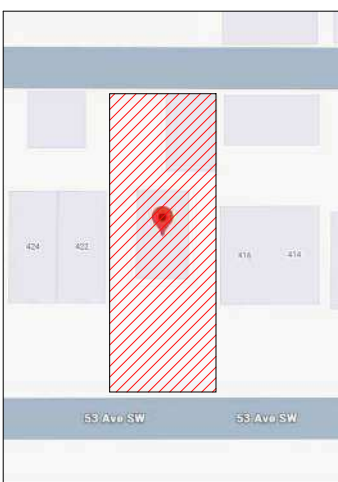
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 0K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
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REVISIONS:				
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01	2026-06-07	CLIENT COMMENTS	R.E	A.K.
02	2026-06-10	CLIENT COMMENTS	H.E	E.R.
03				
04				
05				
ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY CHK'D BY	
01	2026-06-01	DEVELOPMENT PERMIT SET	M.A	A.K.
02				
03				
04				
05				

THE CLIENT:

CORE DEVELOPMENTS

PROJECT:

SINGLE HOME (1ST UNIT)

ADDRESS:

420 53 AVENUE S.W. ,
CALGARY, ALBERTA
PLAN1693AF, BLOCK11, LOT31&32

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

GARAGE(ACCESSORY BUILDING)
UNIT 1

DRAWING NO.

A-401

PROJECT NO.:

26-1049

CHECKED BY:

A.K.

DATE:

2026-06-10

DRAWN BY:

M.A

SCALE:

3/16" = 1'-0"