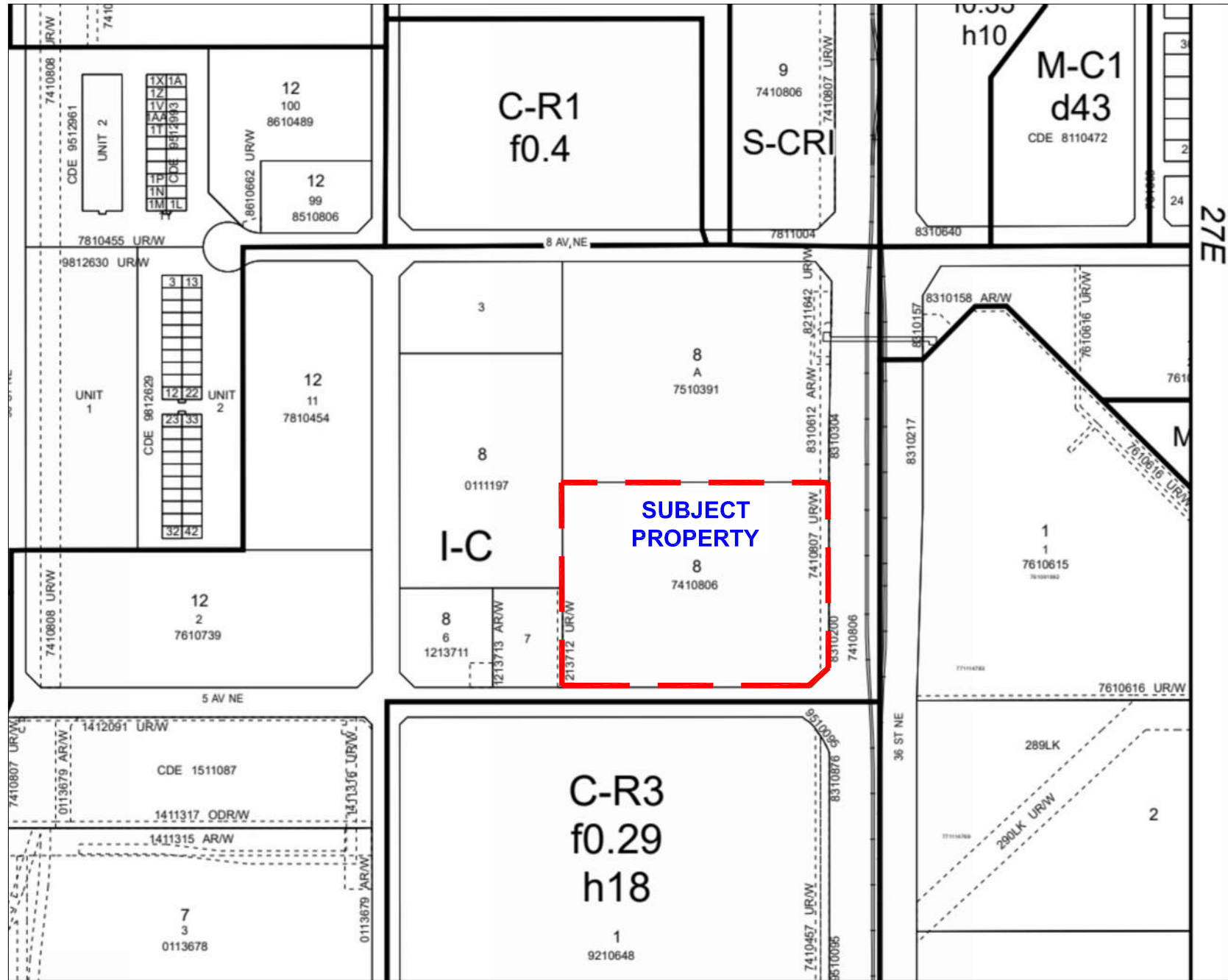


# STATION 36

## CALGARY, ALBERTA

# ISSUED FOR DEVELOPMENT PERMIT

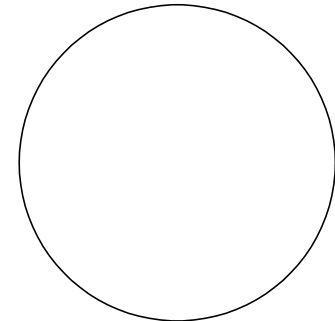


| SITE INFORMATION                   |                                                                                |
|------------------------------------|--------------------------------------------------------------------------------|
| PROJECT INFORMATION                | PROPOSED NEW TENANT<br>COMMERCIAL/INDUSTRIAL BUILDING AND<br>SITE DEVELOPMENT. |
| LEGAL DESCRIPTION                  | LOT, BLOCK 8, PLAN 741 0806                                                    |
| MUNICIPAL ADDRESS                  | 615 36 STREET NE, CALGARY, ALBERTA                                             |
| DRAWING LIST                       |                                                                                |
| ARCHITECTURAL<br>BCW ARCHITECTS    |                                                                                |
| DP0.0                              | COVER PAGE AND SITE INFORMATION                                                |
| DP1.0                              | SITE AND LANDSCAPE PLAN                                                        |
| DP1.1                              | SITE DETAILS                                                                   |
| DP2.0                              | TRUCK SWEEP PATH PLANS                                                         |
| DP2.0                              | PROPOSED GRU FLOOR PLAN                                                        |
| DP3.0                              | EXISTING BUILDING ELEVATIONS                                                   |
| DP3.1                              | PROPOSED BUILDING ELEVATIONS                                                   |
| CIVIL<br>RICHVIEW ENGINEERING INC. |                                                                                |
| C01                                | SITE SERVICING PLAN                                                            |
| C02                                | SITE GRADING PLAN                                                              |
| ELECTRICAL<br>KEEN ENGINEERING     |                                                                                |
| E0-1                               | LEGENDS, NOTES AND DRAWING LIST                                                |
| E0-2                               | SITE AREA LIGHTING AND LIGHTING SCHEDULE                                       |
| E1-0                               | SINGLE LINE DIAGRAM                                                            |
| E6-0                               | ELECTRICAL SPECIFICATIONS                                                      |

| DEVELOPMENT SYNOPSIS                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|----------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CITY OF CALGARY, LAND USE BYLAW 1P2007 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| ZONING                                 | I-C; INDUSTRIAL - COMMERCIAL DISTRICT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| USE                                    | PERMITTED USE: GROUP B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| PARCEL AREA                            | 43.59 ACRES (±1,452 Ha)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| SCOPE SITE AREA                        | PHASE 1: 42.39 ACRES (±9,654.05m² / ±103,915.30ft²)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| BUILDING AREA                          | GFA: 42,561m² (±27,568ft²) EXISTING BUILDING                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| BUILDING SETBACKS                      | MINIMUM FRONT YARD SETBACK 6.0m<br>MINIMUM REAR YARD SETBACK 1.2m<br>MINIMUM SIDE YARD SETBACK 1.2m                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| BUILDING HEIGHT                        | REQUIRED 12.0m MAXIMUM<br>PROVIDED 7.74m EXISTING                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| FLOOR AREA RATIO                       | REQUIRED 1.0 MAXIMUM<br>PROVIDED 0.26 EXISTING                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| PARKING ANALYSIS                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| REQUIRED                               | 4 STALLS PER 100.0m² OF GROSS USABLE FLOOR AREA<br>(±2,481m² + 100.0m²) x 4 = 100 STALLS MINIMUM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| DESIGNATED                             | 51-100 : 4 STALLS<br>FOR EACH ADDITIONAL INCREMENT OF 100 OR PART THEREOF : 1 STALL<br>TOTAL REQUIRED : 5 STALLS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| PROVIDED                               | 128 STALLS<br>8 BARRIER FREE STALLS<br>132 TOTAL PARKING STALLS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| BICYCLE PARKING                        | 1.0 BICYCLE PARKING STALL CLASS 2 PER 250.0m² OF GROSS USABLE FLOOR AREA<br>±2,481m² + 250.0m² = 10 STALLS MINIMUM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| LANDSCAPE CALCULATIONS                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| LANDSCAPING IN SETBACK AREAS           | WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET / PARCEL, THE SETBACK AREA MUST:<br>- BE A SOFT SURFACED LANDSCAPED AREA;<br>- PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0m²<br><br>FRONT SETBACK:<br>±500.0m² + 35m² = 15 TREES, 30 SHRUBS<br><br>SIDE SETBACK:<br>±139.0m² + 35m² = 4 TREES, 8 SHRUBS<br><br>REAR SETBACK:<br>±100.0m² + 35m² = 3 TREES, 6 SHRUBS<br><br>MINIMUM TREES REQUIRED: 22 TREES<br>MINIMUM SHRUBS REQUIRED: 44 SHRUBS                                                                                                                                                                                           |
| PLANTING REQUIREMENTS                  | 1. ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.<br>2. A MINIMUM OF 25% OF ALL TREES REQUIRED MUST BE CONIFEROUS.<br>3. DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 50mm AND AT LEAST 50% OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 75mm AT THE TIME OF PLANTING.<br>4. CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0m AND AT LEAST 50% OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0m IN HEIGHT AT THE TIME OF PLANTING.<br>5. SHRUBS MUST BE A MINIMUM HEIGHT OR SPREAD OF 0.6m AT THE TIME OF PLANTING. |
| SOFT-LANDSCAPED AREA %                 | EXISTING (FRONT) : ±360.55 m²<br>PROPOSED : ±519.24 m²<br>TOTAL : ±879.09 m²<br>(±879.09 m² ÷ ±9,654.05m²) x 100 = 9.11%                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |



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In Collaboration

Revisions

| No. | Description              | Date       |
|-----|--------------------------|------------|
| 1.  | ISSUED FOR CLIENT REVIEW | 2026.03.30 |
| 2.  | ISSUED FOR DP            | 2026.06.11 |
| 3.  | ISSUED FOR DTR1          | 2026.09.03 |

Client

-

Project

STATION 36

615 36 STREET N.E.  
CALGARY, ALBERTA

LOT, BLOCK 8, PLAN 741 0806

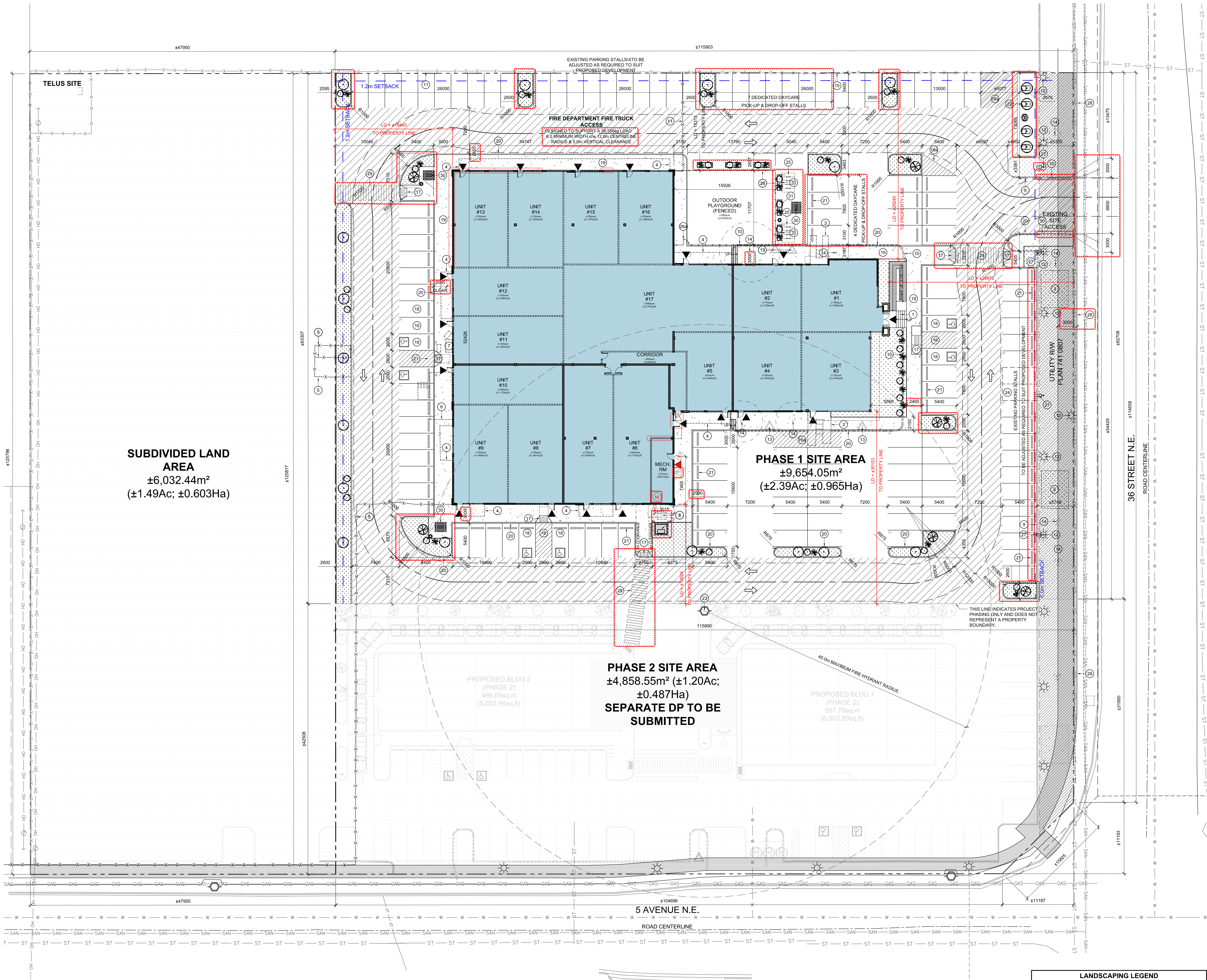
Drawing

COVER PAGE AND  
SITE INFORMATION

Drawn by: RB, VB  
Scale: 1:250  
Checked by: RB  
Approval by: PW

|                    |                       |
|--------------------|-----------------------|
| Date:<br>FEB. 2026 | Project No.:<br>26010 |
|--------------------|-----------------------|

# DP0.0



**SUBDIVIDED LAND AREA**  
±6,032.44m<sup>2</sup>  
(±1.49Ac; ±0.603Ha)

**PHASE 2 SITE AREA**  
±4,858.55m<sup>2</sup> (±1.20Ac;  
±0.487Ha)  
**SEPARATE DP TO BE SUBMITTED**

**PHASE 1 SITE AREA**  
±9,654.05m<sup>2</sup>  
(±2.39Ac; ±0.965Ha)

| LANDSCAPING LEGEND |                                                                                                                                                 |
|--------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
|                    | DECIDUOUS SHRUB (MIN. 600mm HEIGHT & 600mm SPREAD)<br>RECOMMENDED DECIDUOUS SHRUBS: RED BARBERRY, GOLDENRIVER POTENTILLA, SNOWBERRY<br>QTY. 23  |
|                    | CONIFEROUS SHRUB (MIN. 600mm HEIGHT & 600mm SPREAD)<br>RECOMMENDED CONIFEROUS SHRUBS: MUOG PINE, SAVANNAH PINE, NEST SPRUCE<br>QTY. 18          |
|                    | DECIDUOUS TREE (MIN. 50mm CALIPER; 50% 75mm CALIPER)<br>RECOMMENDED DECIDUOUS TREES: SNOWBIRD, HAWTHORN, SNOWY MOUNTAIN ASH, BUCKEYE<br>QTY. 16 |
|                    | CONIFEROUS (MIN. 2.0m; 50% 3.0m HEIGHT)<br>RECOMMENDED CONIFEROUS TREES: SIBERIAN LARCH, COLORADO BLUE SPRUCE, WHITE SPRUCE<br>QTY. 6           |

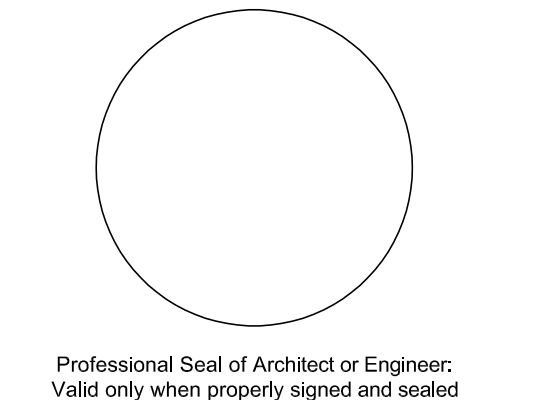
- #### SITE PLAN KEYNOTES
- \*\* FOR SITE DETAILS, SEE DRAWING SHEET DP1.1
- EXISTING CONCRETE STAIRS AND BARRIER-FREE RAMP TO REMAIN.
  - EXISTING CONCRETE PAD AT URV TO BE REMOVED.
  - EXISTING CONCRETE STAIRS AND CAR RAMP TO BE REMOVED.
  - EXISTING CONCRETE PAD TO BE REMOVED.
  - EXISTING CHAINLINK FENCE TO BE REMOVED.
  - EXISTING TRAILER TO BE REMOVED.
  - EXISTING WATER TANK AND BARRIERS TO BE REMOVED.
  - EXISTING UTILITY BOX w/ BOLLARDS TO BE RELOCATED.
  - EXISTING CONCRETE CURB TO REMAIN.
  - EXISTING CONCRETE CURB TO BE REMOVED.
  - EXISTING PERIMETER CHAINLINK FENCE AND/OR SLIDING GATE TO REMAIN.
  - EXISTING SITE LIGHTING TO BE REMOVED.
  - EXISTING METAL TRAFFIC SIGN TO BE REMOVED.
  - EXISTING TREES / SHRUBS TO BE REMOVED.
  - EXISTING CHAINLINK FENCE GAP TO BE CLOSED OFF. SITE CONFIRM LOCATION AND EXTENT.
  - PROPOSED BARRIER-FREE ACCESS AISLE c/w 100mm WIDE PAINTED DIAGONAL STRIPE, 2 COATS OF YELLOW BEADED REFLECTIVE PAINT.
  - PROPOSED NO PARKING ZONE c/w 100mm WIDE PAINTED DIAGONAL STRIPE, 2 COATS OF YELLOW BEADED REFLECTIVE PAINT.
  - PROPOSED DEPRESSED BARRIER-FREE CONCRETE RAMP. REFER TO SITE DETAILS.
  - PROPOSED BARRIER-FREE PARKING STALL c/w PAINTED "YELLOW" SYMBOL & METAL TRAFFIC SIGN. REFER TO SITE DETAILS.
  - PROPOSED CONCRETE SIDEWALK, BROOM FINISH. REFER TO SITE DETAILS.
  - PROPOSED CONCRETE CURB. REFER TO SITE DETAILS AND CIVIL DRAWINGS.
  - PROPOSED RUBBER WHEEL STOPS. REFER TO SITE DETAILS.
  - PROPOSED SEMI-UNDERGROUND WASTE CONTAINERS, DEMO EXISTING PARKING STALLS AS REQUIRED. REFER TO SITE DETAILS.
  - PROPOSED FIRE HYDRANT. REFER TO CIVIL DRAWINGS.
  - EXISTING PYLON SIGN LOCATION, FUTURE SIGNAGE PERMIT TO BE APPLIED FOR SEPARATELY.
  - PROPOSED CLASS 2 BICYCLE STALL. REFER TO SITE DETAILS.
  - PROPOSED 1.80m HIGH CHAIN LINK FENCE. REFER TO SITE DETAILS.
  - PROPOSED CHAIN LINK FENCE GATE.
  - PROPOSED SITE LIGHTING. REFER TO ELECTRICAL DRAWINGS.
  - PROPOSED 3.0m CITY SIDEWALK. EXISTING SIDEWALK TO BE REMOVED AND REPLACED.
  - PROPOSED PEDESTRIAN CROSSWALK.
  - PROPOSED OUTDOOR AMENITY SPACE.
  - PROPOSED HEAVY-DUTY PLANTERS.

- #### SITE PLAN GENERAL NOTES
- SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL, STRUCTURAL, ELECTRICAL, MECHANICAL AND LANDSCAPE DRAWINGS.
  - EXISTING PARKING STALLS MAY BE REMOVED, RELOCATED, AND/OR RESTRIPTED AS REQUIRED TO ACCOMMODATE PROPOSED DEVELOPMENT.
  - PROPOSED PARKING STALLS SHALL BE CONSTRUCTED WITH LIGHT DUTY ASPHALT.

- #### SITE PLAN LEGEND
- |  |                                                             |  |                                                                  |
|--|-------------------------------------------------------------|--|------------------------------------------------------------------|
|  | PROPOSED SOFT LANDSCAPED AREA: MULCH                        |  | LIGHT DUTY ASPHALT                                               |
|  | PROPOSED SOFT LANDSCAPED AREA: GRASS                        |  | EXISTING SOFT LANDSCAPED AREA: GRASS                             |
|  | PROPOSED CONCRETE SIDEWALK                                  |  | HEAVY-DUTY ASPHALT DESIGNED TO SUPPORT 36,559kPa (8,000kPa) LOAD |
|  | TENANT ENTRANCE LOCATION                                    |  | BUILDING EXIT LOCATION                                           |
|  | PRINCIPAL ENTRANCE                                          |  | FIRE DEPARTMENT LOCKBOX LOCATION                                 |
|  | FIRE FIGHTER'S ENTRANCE AND FIRE ANNUNCIATOR PANEL LOCATION |  | SIAMESE CONNECTION                                               |
|  | WATER METER LOCATION                                        |  |                                                                  |
|  | PROPERTY LINE                                               |  |                                                                  |
|  | SETBACK LINE                                                |  |                                                                  |
|  | PROPOSED FENCE                                              |  |                                                                  |
|  | EXISTING FENCE                                              |  |                                                                  |
|  | EXISTING OVERHEAD POWER LINE                                |  |                                                                  |
|  | EXISTING GAS LINE                                           |  |                                                                  |
|  | EXISTING WATER LINE                                         |  |                                                                  |
|  | EXISTING STORM SEWER LINE                                   |  |                                                                  |
|  | EXISTING SANITARY SEWER LINE                                |  |                                                                  |
|  | FIRE TRUCK ACCESS ROUTE                                     |  |                                                                  |

- #### LANDSCAPE NOTES
- SEE SITE PLAN FOR ALLOCATION OF THE TREES AND SHRUBS, EXACT PLANTING LOCATION TO BE DETERMINED ON SITE.
  - THE QUALITY AND EXTENT OF THE LANDSCAPING ESTABLISHED ON SITE SHALL BE THE MINIMUM STANDARD TO BE MAINTAINED ON THE SITE FOR THE LIFE OF THE DEVELOPMENT.
  - ALL AREAS OF SOFT LANDSCAPING SHALL BE PROVIDED WITH A LOW WATER UNDERGROUND IRRIGATION SYSTEM COMPLETE WITH RAINFALL, MOISTURE SENSOR, FLOW SENSOR AND MASTER VALVE FOR LEAK DETECTION.
  - IN ADDITION TO ALL OTHER LANDSCAPING REQUIREMENTS, ALL CITY BOULEVARDS ADJOINING THE SITE SHALL BE LANDSCAPED.
  - ALL SHRUB MATERIAL SHALL BE PLANTED IN BEDS WITH APPROPRIATE GROUND COVER OF MULCH, MINIMUM DEPTH IS 100mm, REFER TO SITE DETAILS.
  - MINIMUM TOPSOIL DEPTH SHALL BE AS FOLLOWS: 300mm FOR SOODED AREAS, AND 600mm FOR PLANTING BEDS OR AS NOTED BY CIVIL CONSULTANT.
  - ALL PROPOSED TREES & SHRUBS TO BE DROUGHT RESISTANT.
  - ALL LANDSCAPE ISLANDS WILL BE CONSTRUCTED TO HAVE A MINIMUM DEPTH OF 0.75m AND A MINIMUM VOLUME OF 15m<sup>3</sup>.
  - ALL LANDSCAPE TO BE INSTALLED BY END OF DEVELOPMENT PERMIT COMPLETION.

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Revisions

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| 3.  | ISSUED FOR DTR1          | 2026.09.03 |

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**Project**  
**STATION 36**

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CALGARY, ALBERTA  
LOT, BLOCK 8, PLAN 741 0806

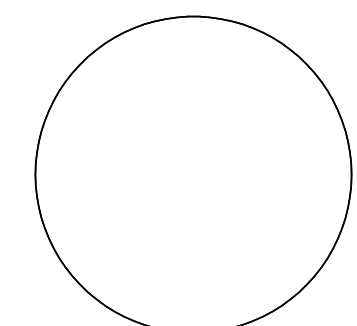
**Drawing**  
**SITE AND LANDSCAPE PLAN**

Drawn by: RB, VB  
Scale: 1:250  
Checked by: RB  
Approval by: PW

Date: FEB. 2026  
Project No.: 26010

**DP1.0**

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■ Client

■ Project

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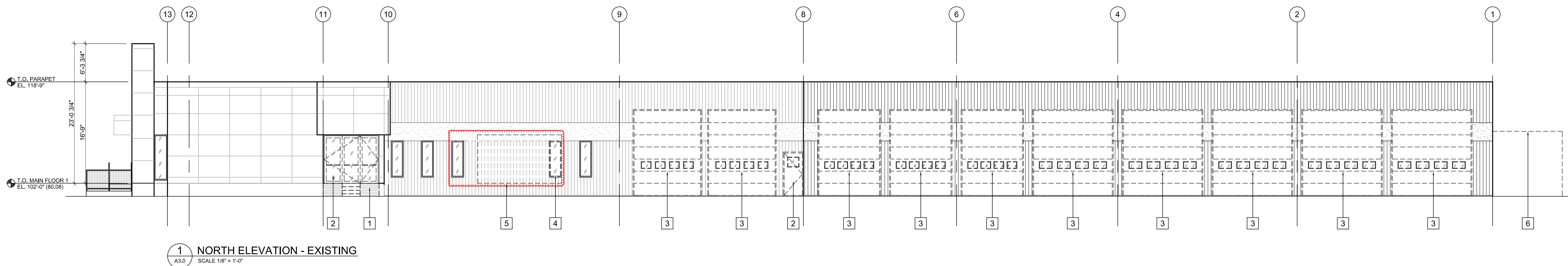
■ Drawing

**EXISTING BUILDING  
ELEVATIONS**

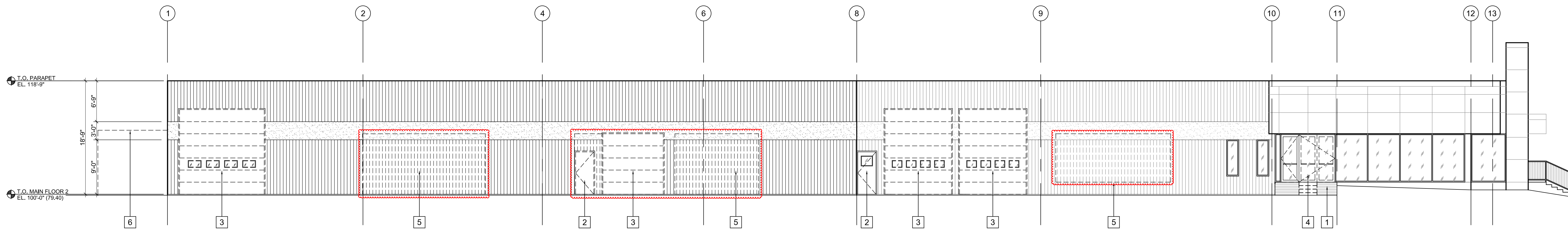
Drawn by: RB, VB  
Scale: 1/8"=1'-0"  
Checked by: RB  
Approval by: PW

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Project No.:  
26010

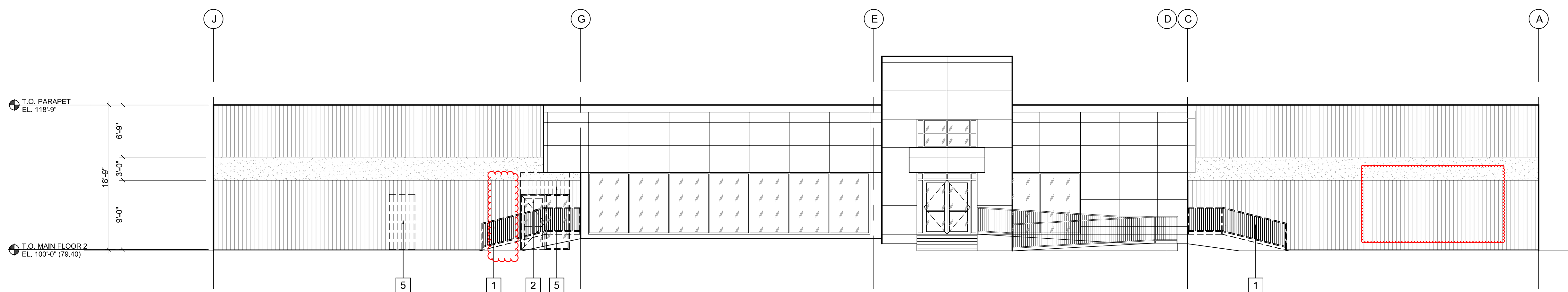
**DP3.0**



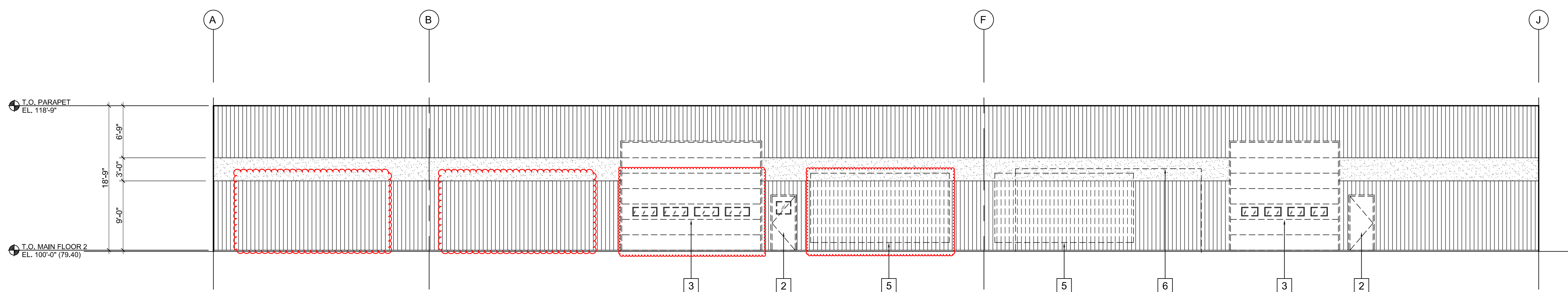
**1 NORTH ELEVATION - EXISTING**  
A3.0 SCALE 1/8" = 1'-0"



**2 SOUTH ELEVATION - EXISTING**  
A3.0 SCALE 1/8" = 1'-0"



**3 EAST ELEVATION - EXISTING**  
A3.0 SCALE 1/8" = 1'-0"

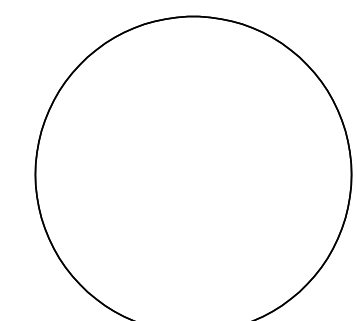


**4 WEST ELEVATION - EXISTING**  
A3.0 SCALE 1/8" = 1'-0"

**DEMO KEYNOTES**

- 1 EXISTING CAR RAMP AND STAIRS TO BE DEMOLISHED.
- 2 EXISTING MANDOOK AND FRAME TO BE REMOVED.
- 3 EXISTING OVERHEAD DOOR AND FRAME TO BE REMOVED.
- 4 EXISTING GLAZING AND FRAME TO BE REMOVED.
- 5 PORTION OF EXISTING EXTERIOR PRECAST CONCRETE PANEL TO BE REMOVED. REFER TO FLOOR PLAN.
- 6 EXISTING BODY SHOP OFFICE TO BE DEMOLISHED.

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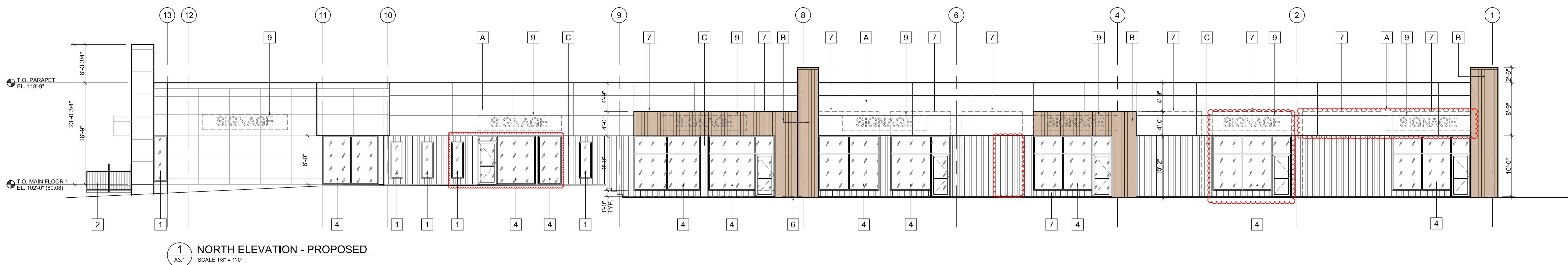
■ Drawing

**PROPOSED BUILDING ELEVATIONS**

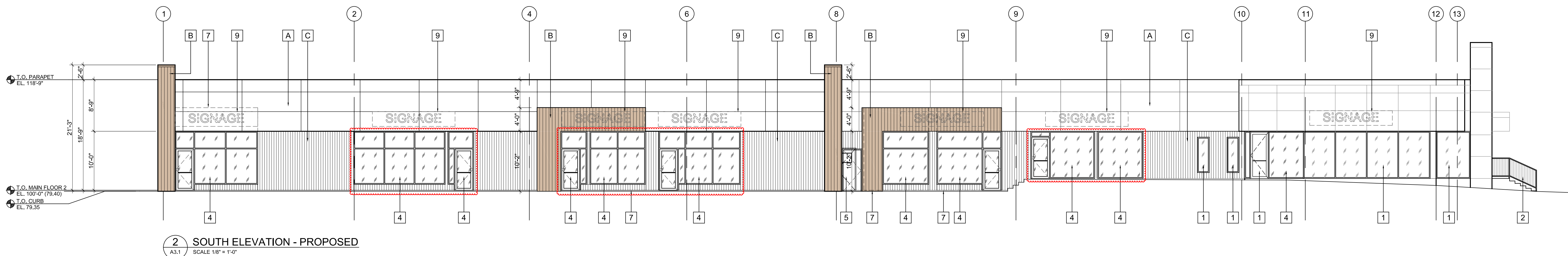
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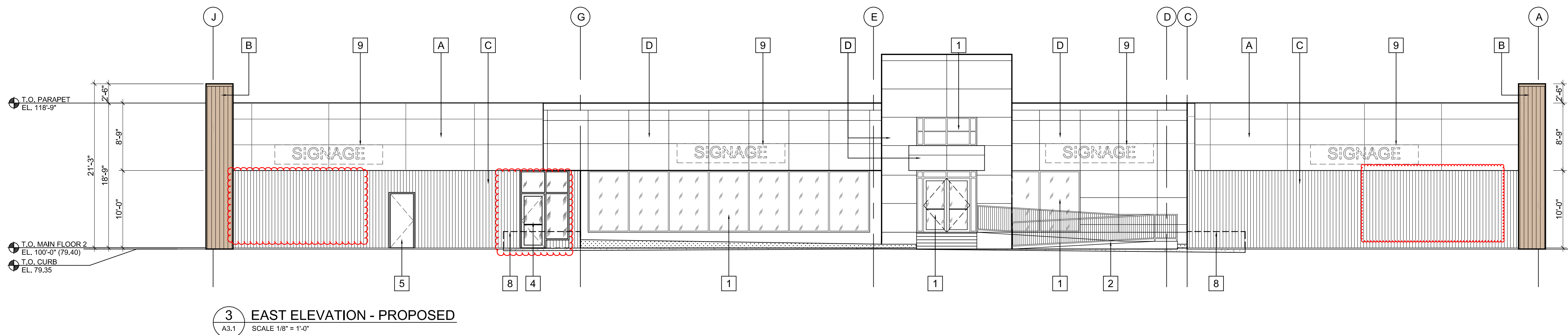
**DP3.1**



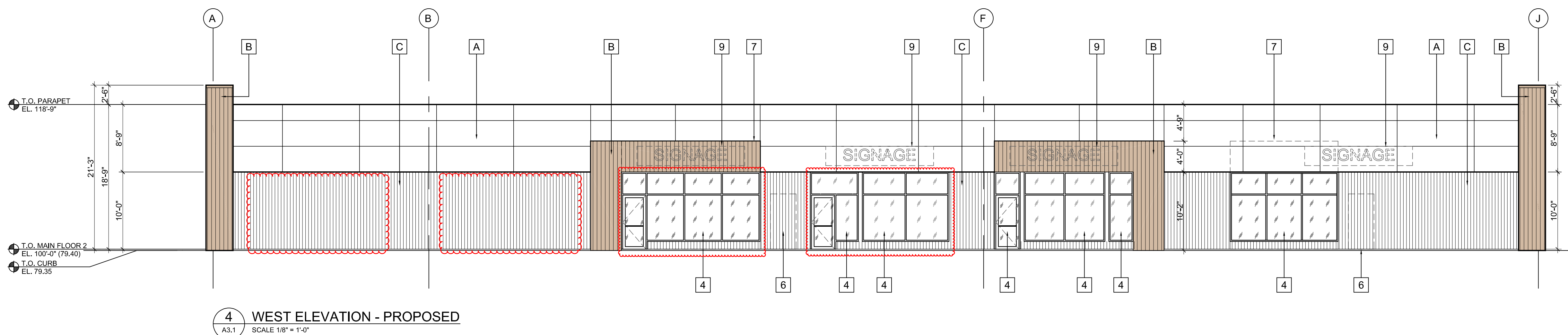
**1 NORTH ELEVATION - PROPOSED**  
A3.1 SCALE 1/8" = 1'-0"



**2 SOUTH ELEVATION - PROPOSED**  
A3.1 SCALE 1/8" = 1'-0"



**3 EAST ELEVATION - PROPOSED**  
A3.1 SCALE 1/8" = 1'-0"



**4 WEST ELEVATION - PROPOSED**  
A3.1 SCALE 1/8" = 1'-0"

#### ELEVATION KEYNOTES

- EXISTING GLAZING/DOOR WITH CLEAR GLAZING AND CLEAR ANODIZED FRAME TO REMAIN.
- EXISTING CONCRETE STAIRS AND BARRIER-FREE RAMP TO REMAIN.
- NOT USED.
- PROPOSED STOREFRONT GLAZING/DOOR WITH CLEAR GLAZING AND CLEAR ANODIZED ALUMINUM FRAMES.
- PROPOSED PRESSED STEEL FRAME AND METAL DOOR. COLOR: TO MATCH ADJACENT CLADDING.
- FRAME EXISTING MANDOOR OPENING WITH STEEL STUDS.
- FRAME EXISTING OVERHEAD DOOR OPENING WITH STEEL STUDS AS REQUIRED.
- LINE OF PROPOSED ELEVATED SIDEWALK TO ACCOMMODATE DIFFERING FLOOR LEVELS. REFER TO CIVIL DRAWINGS.
- PROPOSED FUTURE SIGNAGE LOCATION ONLY. PERMIT TO BE APPLIED FOR SEPARATELY.

#### EXTERIOR FINISHES

- |   |                                                              |
|---|--------------------------------------------------------------|
| A | INSULATED METAL PANEL, FLAT PROFILE. COLOR: WHITE/LIGHT GREY |
| B | METAL CLADDING, FLAT PROFILE. COLOR: WOOD-GRAIN              |
| C | CORRUGATED METAL CLADDING. COLOR: WHITE                      |
| D | EXISTING WHITE ALUMINUM COMPOSITE PANEL CLADDING.            |