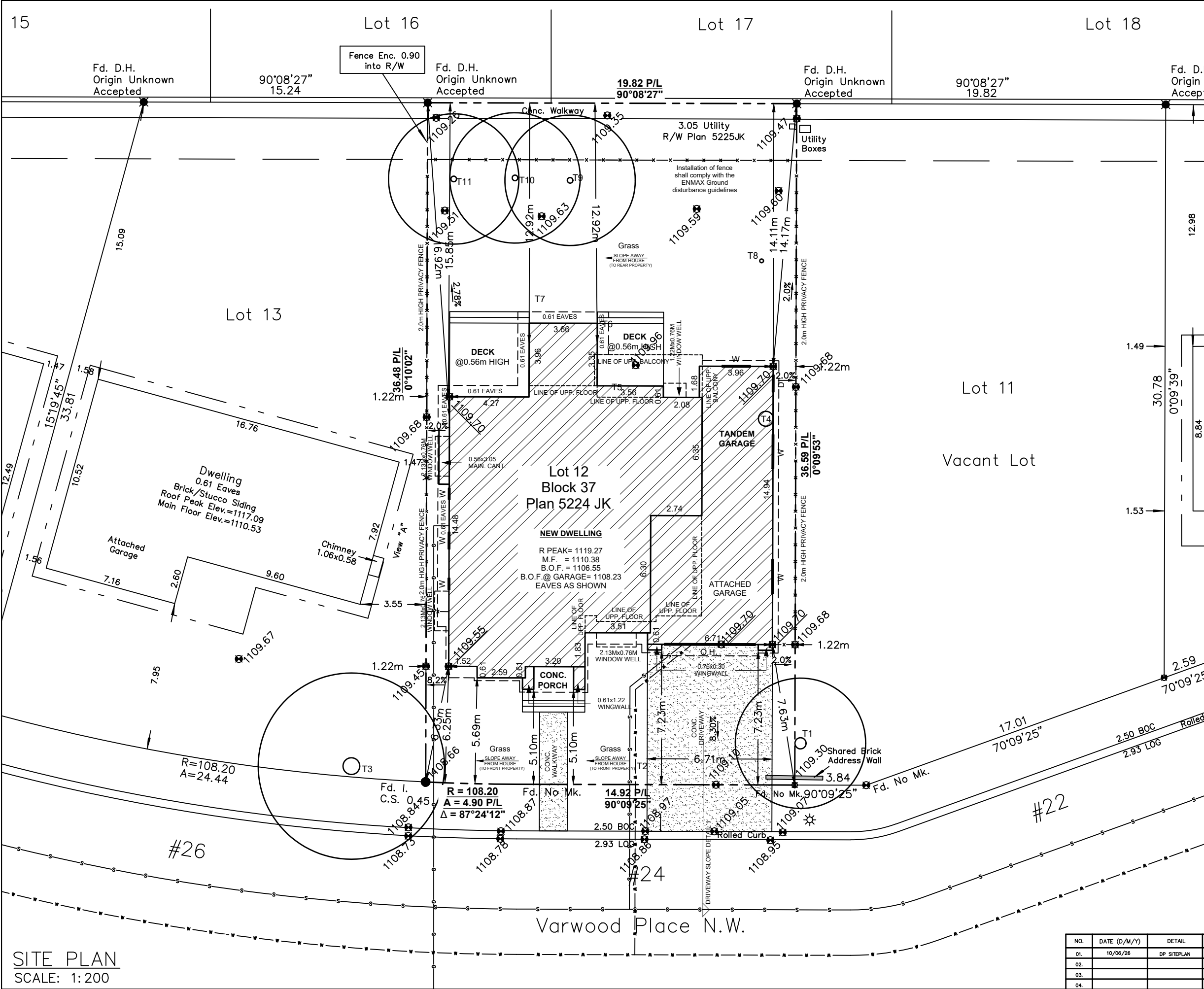




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

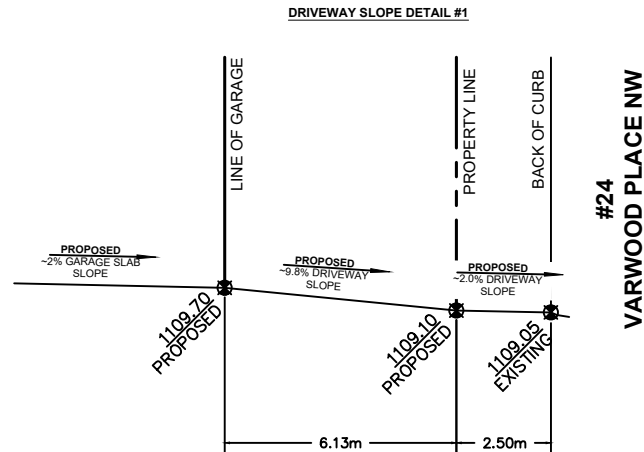
LEGAL DESCRIPTION:
Lot 12
Block 37
Plan 5224 JK

MUNICIPAL ADDRESS:
24 - VARWOOD PLACE N.W.
Calgary, Alberta

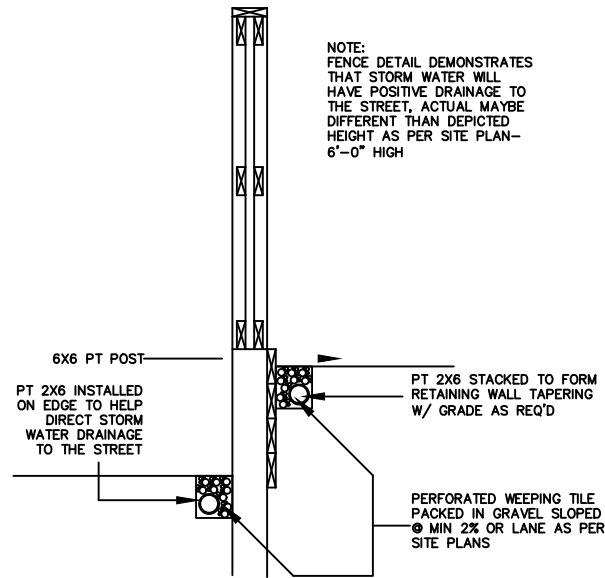
LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 724.643 SQ M
HOUSE: 185.907 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 1.703 SQ M
WING WALL: 1.858 SQ M
ATTACHED GARAGE: 76.204 SQ M
TOTAL: 265.672/724.643
= 36.66%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	10/06/26	DP SITEPLAN	D.L.	24 VARWOOD PLACE NW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 12 Block 37 Plan 5224 JK	DATE: JUN 10, 2026	DIVISION NUMBER: S 01
03.						
04.						

SITE PLAN
SCALE: 1:200



DRIVEWAY SLOPE DETAIL
SCALE: NTS



FENCE SECTION DETAIL
SCALE: NTS

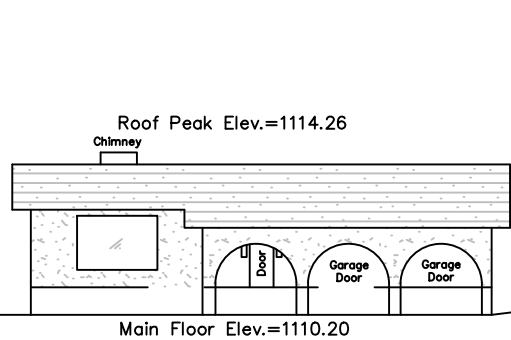
TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Coniferous	0.60	7.00	16.00	In Adjacent Property	To Stay
T2	Bush	----	2.50	2.50	In Subject Property	To Be Removed
T3	Deciduous	0.90	10.00	12.00	In Adjacent Property	To Stay
T4	Deciduous	0.80	8.00	12.00	In Subject Property	To Be Removed
T5	Bush	----	1.10	0.80	In Subject Property	To Be Removed
T6	Bush	----	1.50	2.00	In Subject Property	To Be Removed
T7	Bush	----	1.20	1.80	In Subject Property	To Be Removed
T8	Coniferous	2.20	5.00	10.00	In Subject Property	To Be Removed
T9	Deciduous	0.30	7.00	16.00	In Subject Property	To Stay
T10	Deciduous	0.30	7.00	16.00	In Subject Property	To Stay
T11	Deciduous	0.30	7.00	16.00	In Subject Property	To Stay

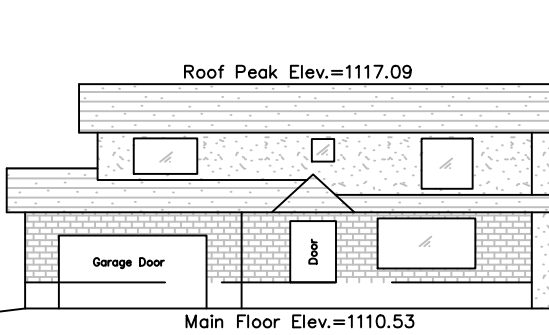
SINGLE DETACHED SQFT:

	AREA
BASEMENT	2001.08 SQ FT
ATTACHED GARAGE	820.25 SQ FT
MAIN FLOOR	2019.42 SQ FT
UPPER FLOOR	1757.28 SQ FT
TOTAL AREA	3776.70 SQ FT

EXISTING SINGLE FAMILY DWELLING
28



EXISTING SINGLE FAMILY DWELLING
26



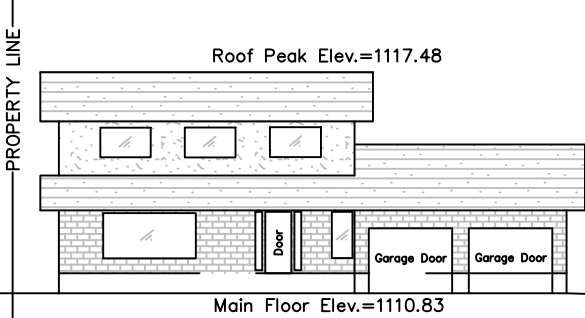
EXISTING SINGLE FAMILY DWELLING
24



EXISTING SINGLE FAMILY DWELLING
22

Vacant Lot

EXISTING SINGLE FAMILY DWELLING
20



STREETSCAPE
SCALE: 1: 250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	10/06/26	DP SITEPLAN	D.L.	24 VARWOOD PLACE NW Calgary, Alberta	SINGLE HOUSE	AS SHOWN
02.				Lot 12		
03.				Block 37		
04.				Plan 5224 JK		
				DATE:	DIVISION	NUMBER
				JUN 10, 2026	S	02

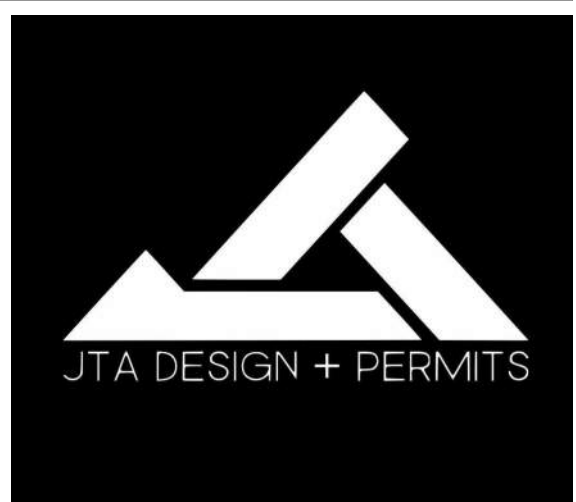


LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front and Rear Elevations
A-2.2	Left and Right Elevations

FLOOR AREA

BASEMENT = 2001.08 SQ. FT.
ATTACHED GARAGE = 820.25 SQ. FT.

MAIN = 2019.42 SQ. FT.
UPPER = 1757.28 SQ. FT.
TOTAL = 3776.70 SQ. FT.



GENERAL NOTES:

MUNICIPAL ADDRESS:
**24 - Varwood Place NW
CALGARY, AB**

PROJECT:
NEW HOME

PROJECT NUMBER:
254-26

STATUS:
DP

LEGAL LAND DESCRIPTION:
LOT: 12 BLOCK: 37 PLAN: 5224 JK

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	10/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

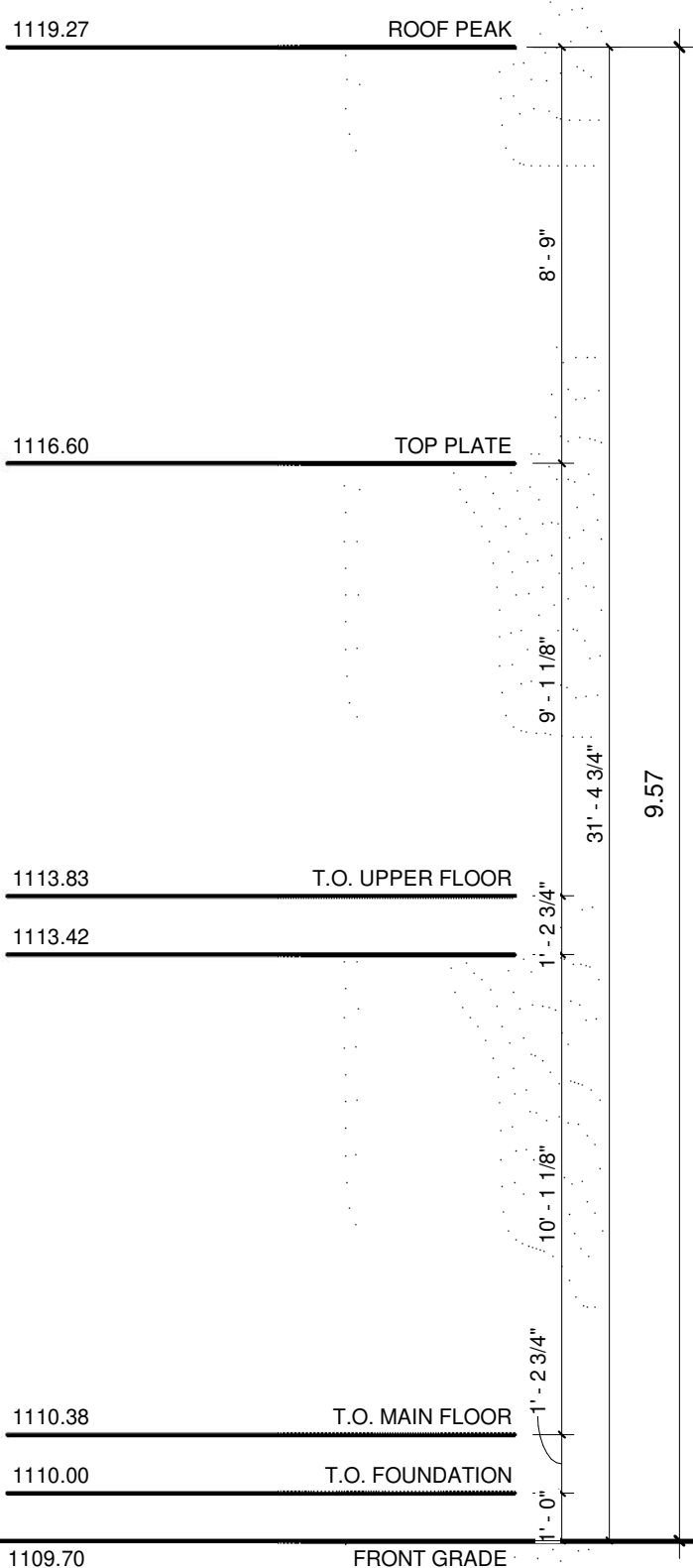
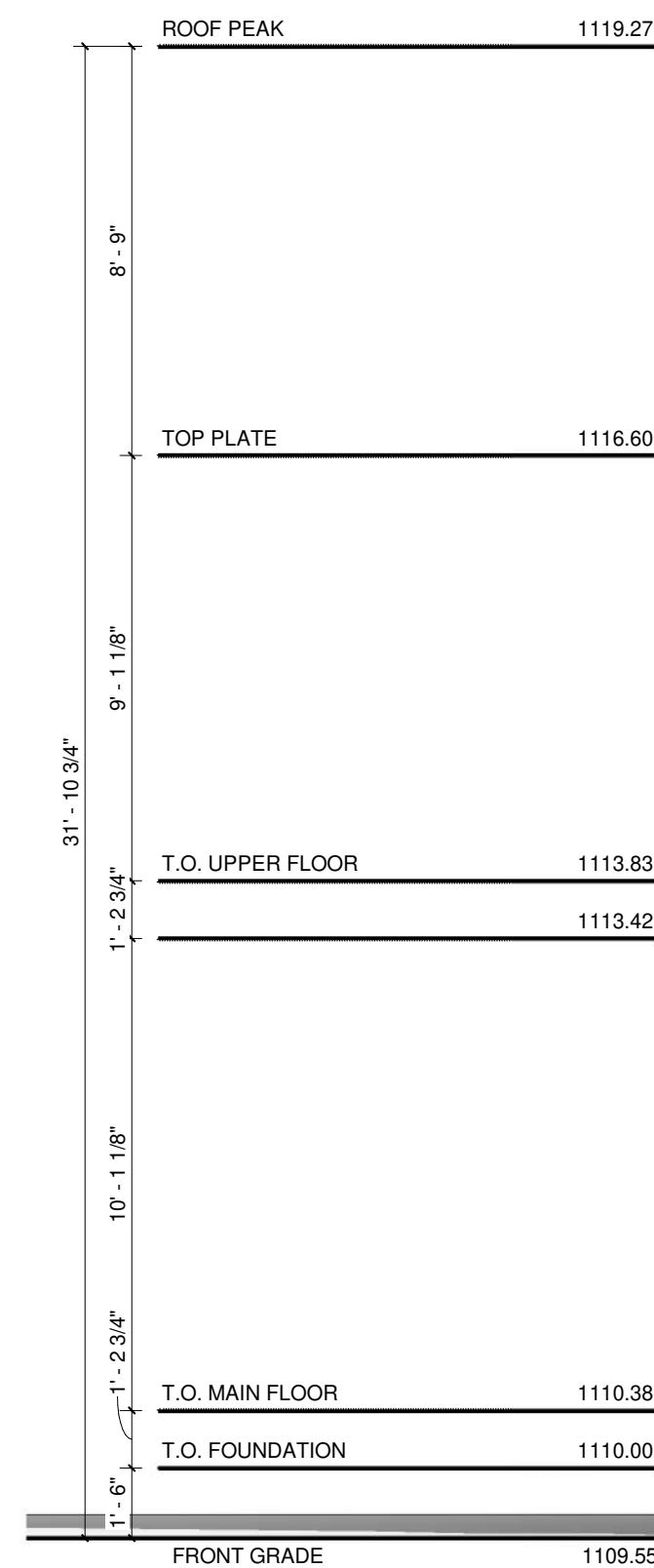
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SCALE:

PAGE:

A-0.0

1	ASPHALT SHINGLES
2	8" ALUMINUM FASCIA
3	BRICK FINISH AS SPEC'D
4	STUCCO FINISH AS SPEC'D. - WHITE
5	HARDIE FINISH - WHITE
6	SMART BOARD & BATTEN - WHITE
7	SMART BOARD & BATTEN - DARK
8	CONC. PARING
9	CAST IN PLACE CONCRETE
10	METAL ROOF



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

GENERAL NOTES:

MUNICIPAL ADDRESS:

24 - Varwood Place NW
CALGARY, AB

PROJECT:

NEW HOME

PROJECT NUMBER:

254-26

STATUS

LEGAL LAND DESCRIPTION:

LOT: BLOCK: PLAN:
12 37 5224 JH

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	10/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Front and Rear Elevations

DESIGN BY: JT

DRAWN BY: JT

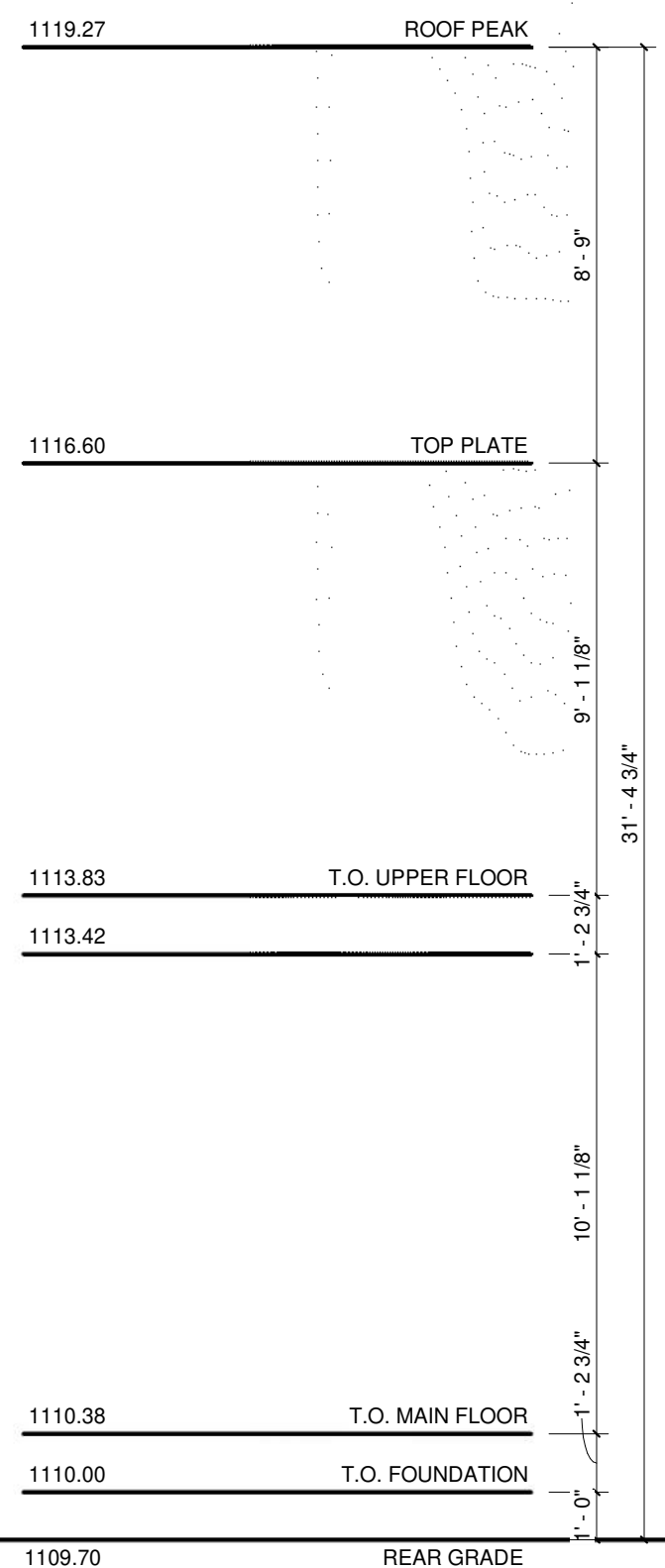
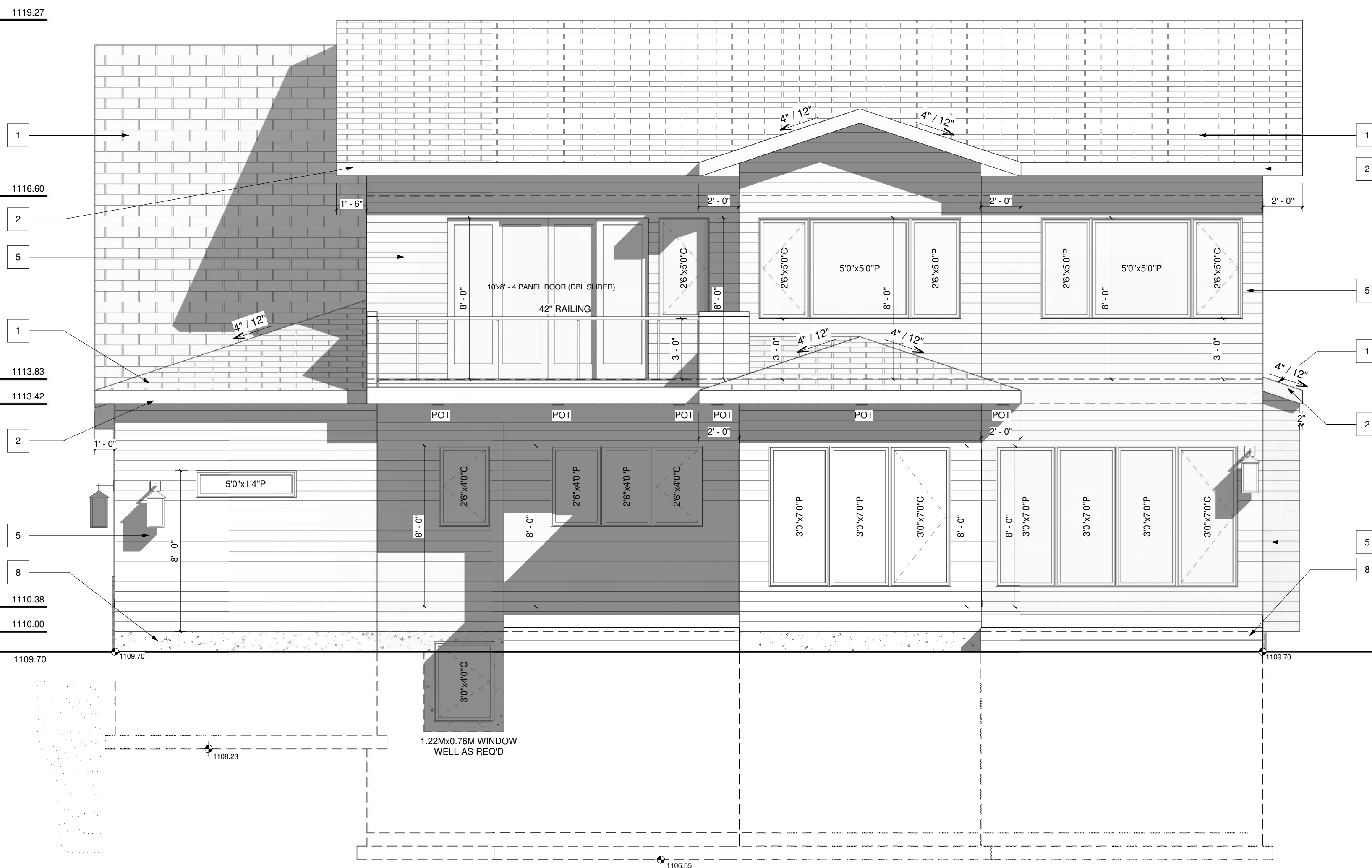
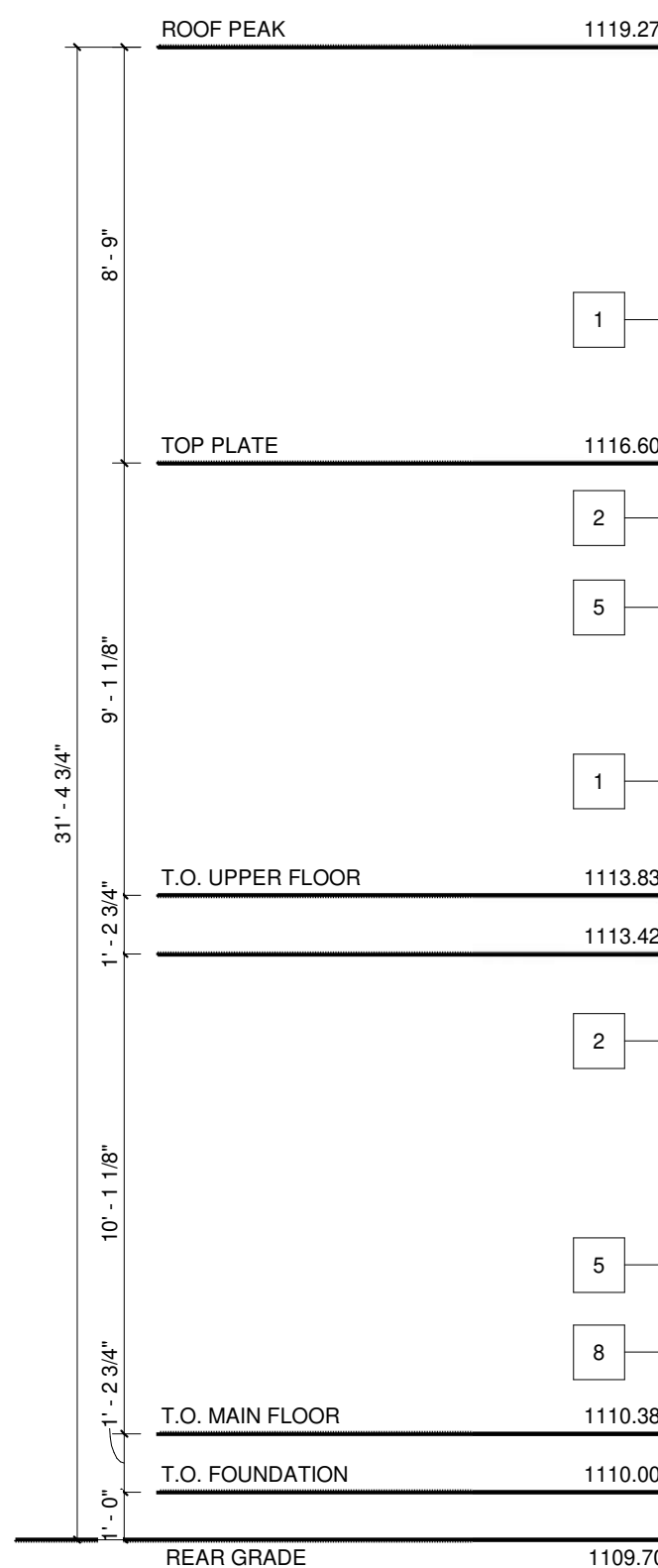
LAST REVISION BY:

PRINTED: 2026-08-11 10:36:27 AM

SCALE: $1/4" = 1'-0"$

A 20

1	ASPHALT SHINGLES
2	8" ALUMINUM FASCIA
3	BRICK FINISH AS SPEC'D
4	STUCCO FINISH AS SPEC'D. - WHITE
5	HARDIE FINISH - WHITE
6	SMART BOARD & BATTEN - WHITE
7	SMART BOARD & BATTEN - DARK
8	CONC. PARGING
9	CAST IN PLACE CONCRETE
10	METAL ROOF



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

PAGE:

A-2.0

EXTERIOR FINISHES:

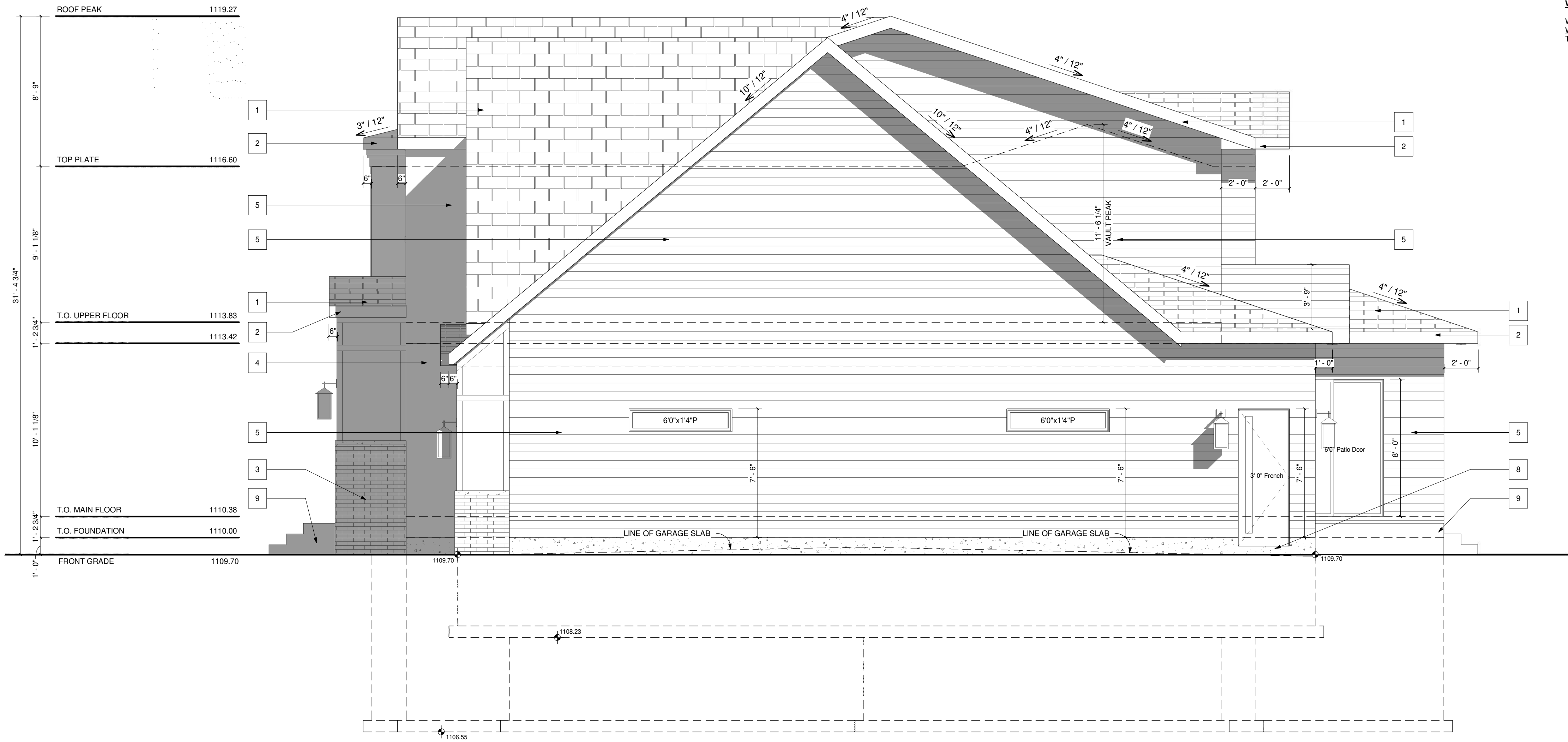
- 1
- ASPHALT SHINGLES
- 2
- 8" ALUMINUM FASCIA
- 3
- BRICK FINISH AS SPEC'D
- 4
- STUCCO FINISH AS SPEC'D - WHITE
- 5
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- 6
- SMART BOARD & BATTEN - WHITE
- 7
- SMART BOARD & BATTEN - DARK
- 8
- CONC. PARGING
- 9
- CAST IN PLACE CONCRETE
- 10
- METAL ROOF



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

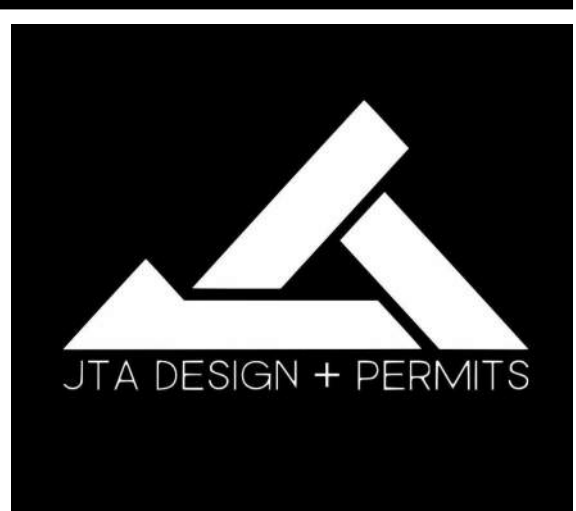
- 1
- ASPHALT SHINGLES
- 2
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- 3
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- STUCCO FINISH AS SPEC'D - WHITE
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- SMART BOARD & BATTEN - WHITE
- 7
- SMART BOARD & BATTEN - DARK
- 8
- CONC. PARGING
- 9
- CAST IN PLACE CONCRETE
- 10
- METAL ROOF



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION @1:22M:
WALL AREA= 1088.03 SQ. FT.
WINDOW AREA = 75.32 SQ. FT.
TOTAL: 75.32/1088.03 = 6.9%



GENERAL NOTES:

MUNICIPAL ADDRESS:

24 - Varwood Place NW
CALGARY, AB

PROJECT:
NEW HOME

PROJECT NUMBER:
254-26

STATUS:

DP

LEGAL LAND DISCRIPTION:

LOT: 12 BLOCK: 37 PLAN: 5224 JK

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NO.	DATE(D/M/Y)	DETAIL	BY
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03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Left and Right
Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-08-11 10:36:31 AM

SCALE: 1/4" = 1'-0"

PAGE: A-2.2