

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

PLAN: 8819HA
BLOCK: 19
LOT: 16

PROPERTY INFORMATION:

LAND-USE DISTRICT = H-GO
YEAR OF CONSTRUCTION = 1956
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☐ YES / ☒ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☒ YES / ☐ NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = ☐ YES / ☒ NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = ☒ YES / ☐ NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = ☐ YES / ☒ NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = ☐ YES / ☒ NO
*IF YES: SHOW ON SITE W/ GEODETICS

Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A0.3 General Notes
- A0.4 Construction Assemblies
- A1.0 Site Plan
- A1.1 Public Tree's
- A2.0 Floor Plan
- A2.1 Foundation Plan
- A2.2 Roof Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A3.3 Front Elevation
- A4.0 Sections
- A4.1 Sections
- A5.0 Details
- A5.1 Details
- A6.0 Energy Code (Walls)
- A6.1 Energy Code (Floor)
- A6.2 Energy Code (Roof)



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ALL WORK SHALL BE DONE IN ACCORDANCE WITH AND GOVERNED BY ALL CURRENT NATIONAL, PROVINCIAL AND LOCAL CODES AND REGULATIONS.

BUILDER OR OWNER IS RESPONSIBLE FOR CONTACTING DESIGNER PRIOR TO CONSTRUCTION IF THERE ARE DISCREPANCIES ON PLANS.

THIS DRAWING IS INVALID UNLESS CLEARLY INDICATED EITHER 'FOR BP SUBMISSION' OR 'FOR DP SUBMISSION'

IF P.ENG IS REQUIRED:

BUILDER/OWNER TO SEND PHOTOS OF ANY APPLICABLE ENGINEERED SCOPE:
INCLUDING (BUT NOT LIMITED TO):
• CONCRETE: REBAR + FORM WORK PRIOR TO POUR
• FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
• SCREW PILES: TORQUE REPORT
• SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR

ENGINEER

PROJECT SCOPE

- **ADDITION (MUDROOM) + GARAGE**

RELAXATIONS

- **REAR SETBACK (ATTACHED GARAGE)**
- **GARAGE EAVE HEIGHT**
- **GARAGE HEIGHT**

307 42 ST SW
CALGARY, AB

ADDITION

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Cover Sheet

Project : 2026-185

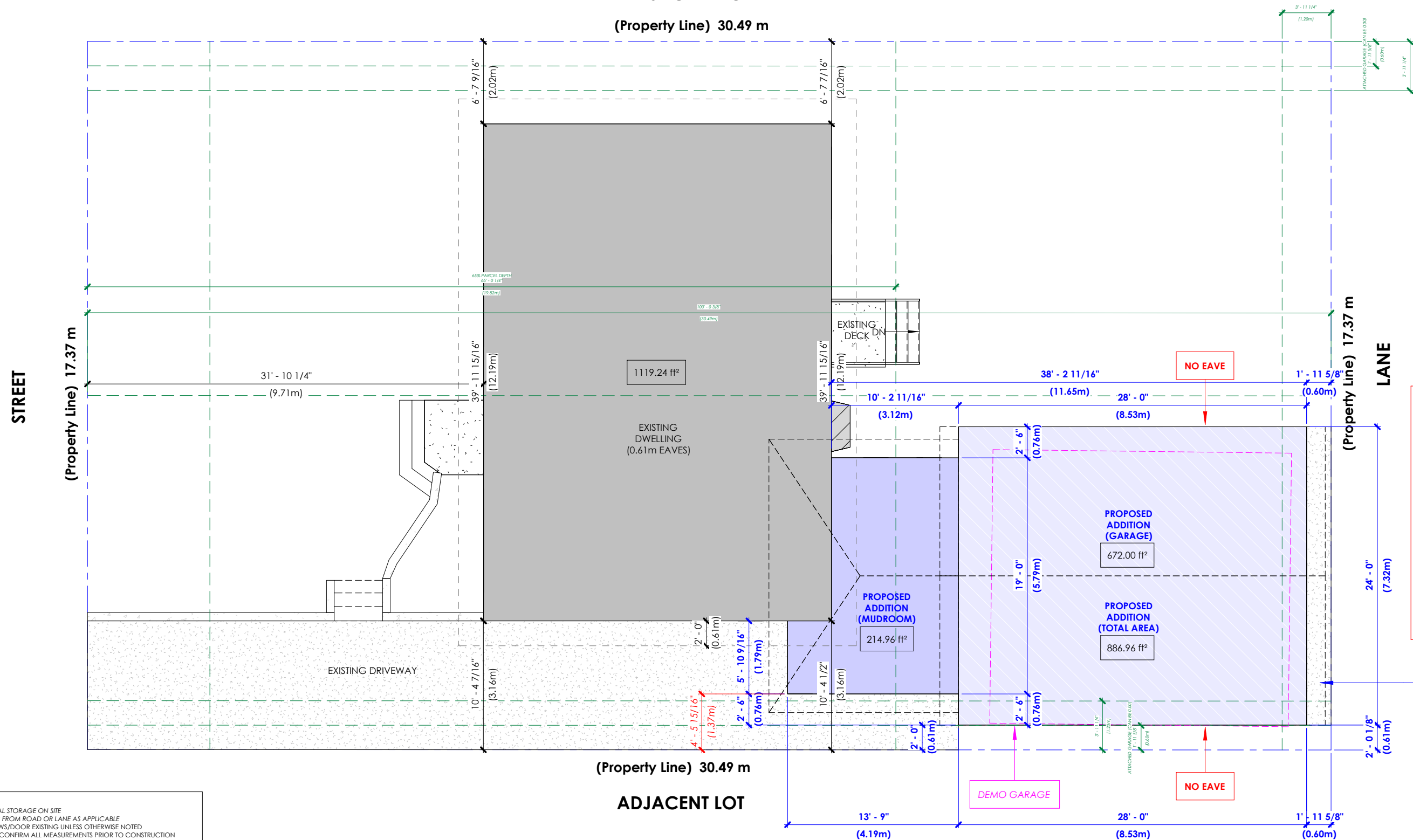
Scale:

Drawn By: RFC

A0.0



ADJACENT LOT
(Property Line) 30.49 m



<u>PARCEL COVERAGE:</u>		
PARCEL AREA	=	5700.79 ft ²
<u>EXISTING:</u>		
DWELLING	=	1119.24 ft ²
GARAGE	=	528.69 ft ²
ACCESSORY	=	0.00 ft ²
COVERED DECK	=	0.00 ft ²
PORCH	=	0.00 ft ²
BALCONY	=	0.00 ft ²
PARKING STALLS	=	#0
EX. TOTAL	=	1647.93 ft ²
EX. COVERAGE	=	28.91 %
BYLAW MAX (%)	=	45 %
REMAINING PERMITTED	=	917.43 ft ²
<u>PROPOSED:</u>		
NEW AREA	=	886.96 ft ²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ft ²
NEW TOTAL AREA	=	2534.89 ft ²
NEW REMAINING	=	30.47 ft ²
RELAXATION (%)	=	-1.19 %
<u>PARCEL COVERAGE</u>	=	44.47 %

Floor Area Ratio

1390 : The maximum floor area ratio is 1.5.

BUILDING GFA (UNKNOWN)

DWELLING GFA = 2238.48
GARAGE GFA = 528.69

TOTAL = 2767.17

PARCEL AREA = 5700.79

EXISTING FAR = 0.485 (ASSUMED)

Building Depth

1393 (1) : Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0 per cent of the parcel depth for a building containing a unit.

NOTE:

- ALL MATERIAL STORAGE ON SITE
- SITE ACCESS FROM ROAD OR LANE AS APPLICABLE
- ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
- BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
- BUILDER TO CONFIRM ROOF SLOPE AND HEEL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:
PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED
PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM
SUPPLIED RPR/SURVEY



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ENGINEER

GENERAL CONTRACTOR

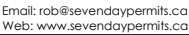
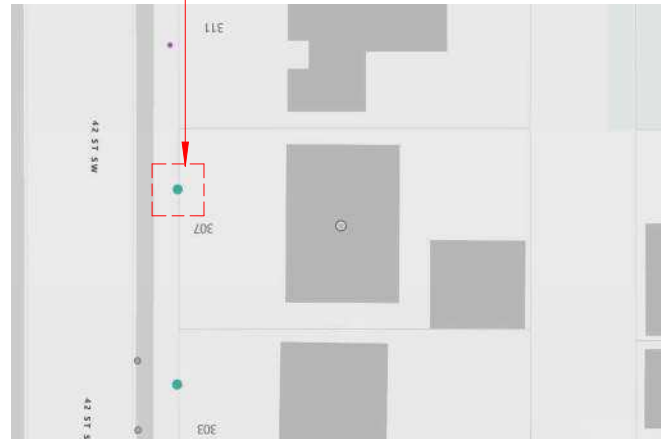
1 Site
1 : 100

307 42 ST SW
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ADDITION

Site Plan	
Project :	2026-185
Scale:	1 : 100
Drawn By:	RFC

A1.0

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ENGINEER

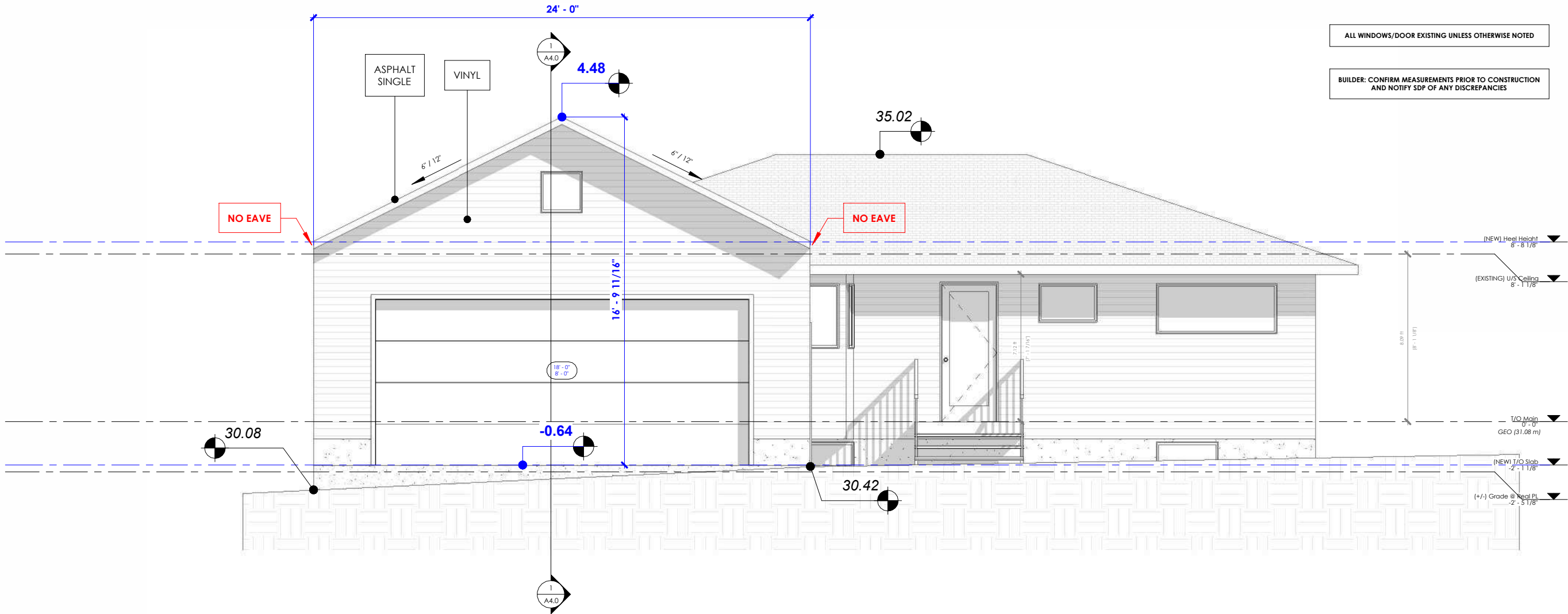
ADDITION

Public Tree's

Scale: 1 : 100

Drawn By: RFC

A1.1



ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION
AND NOTIFY SDP OF ANY DISCREPANCIES

1 Rear Elevation
3/16" = 1'-0"



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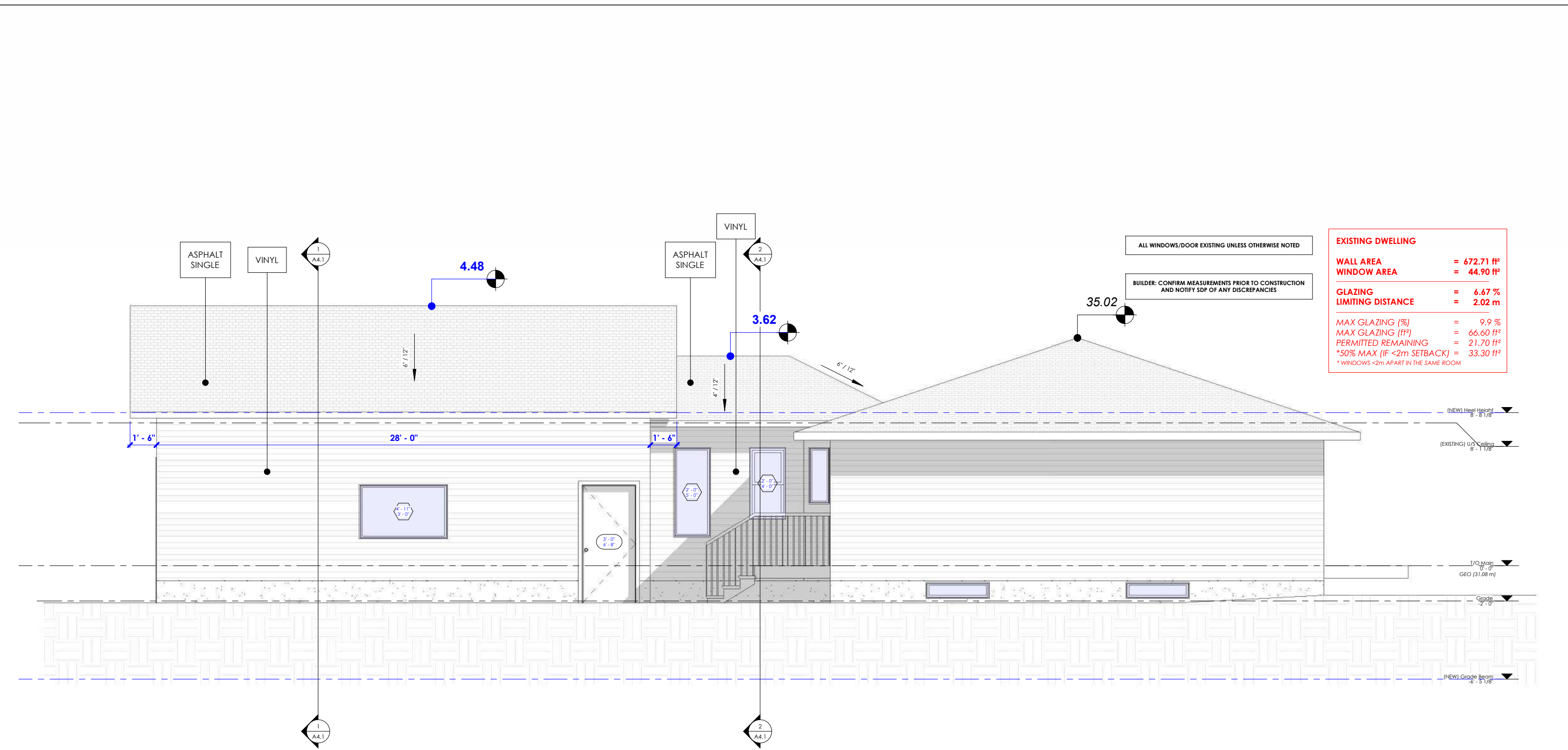
Elevations

Project : 2026-185

Scale: 3/16" = 1'-0"

Drawn By: RFC

A3.0



1 Left Elevation
3/16" = 1'-0"

EXISTING DWELLING

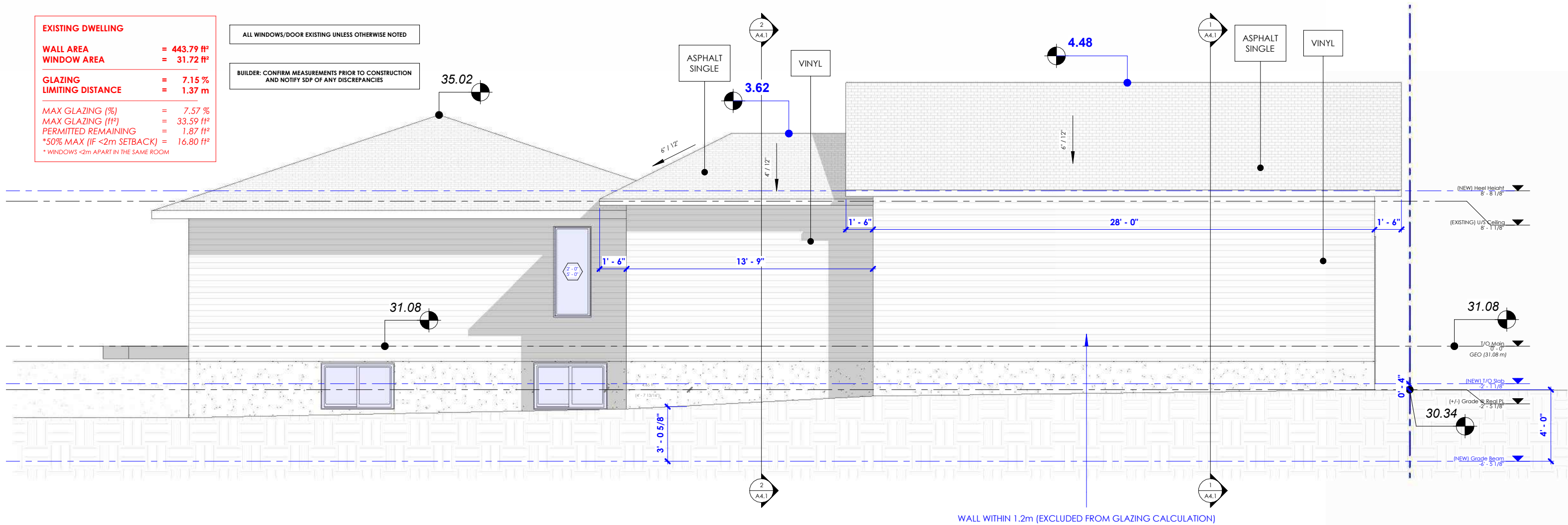
WALL AREA = 443.79 ft²
WINDOW AREA = 31.72 ft²

GLAZING = 7.15 %
LIMITING DISTANCE = 1.37 m

MAX GLAZING (%) = 7.57 %
MAX GLAZING (ft²) = 33.59 ft²
PERMITTED REMAINING = 1.87 ft²
*50% MAX (IF <2m SETBACK) = 16.80 ft²
* WINDOWS <2m APART IN THE SAME ROOM

ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES



1 Right Elevation
3/16" = 1'-0"



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Elevations	
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A3.2	