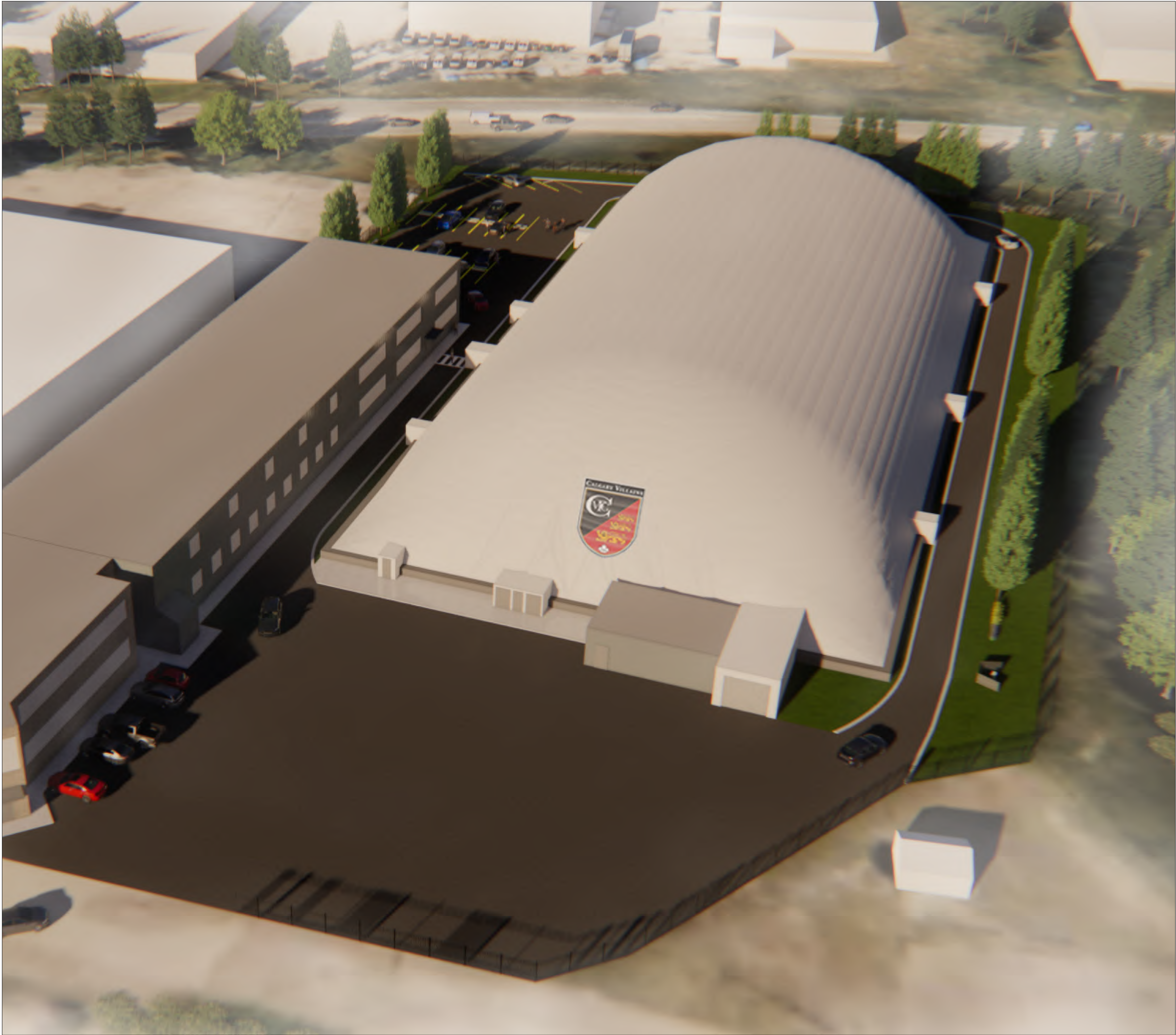




ISSUED FOR DTR 1

CALGARY VILLAINS

SOCCER DOME

830 59 Ave SE, CALGARY, AB

CLIENT / OWNER:



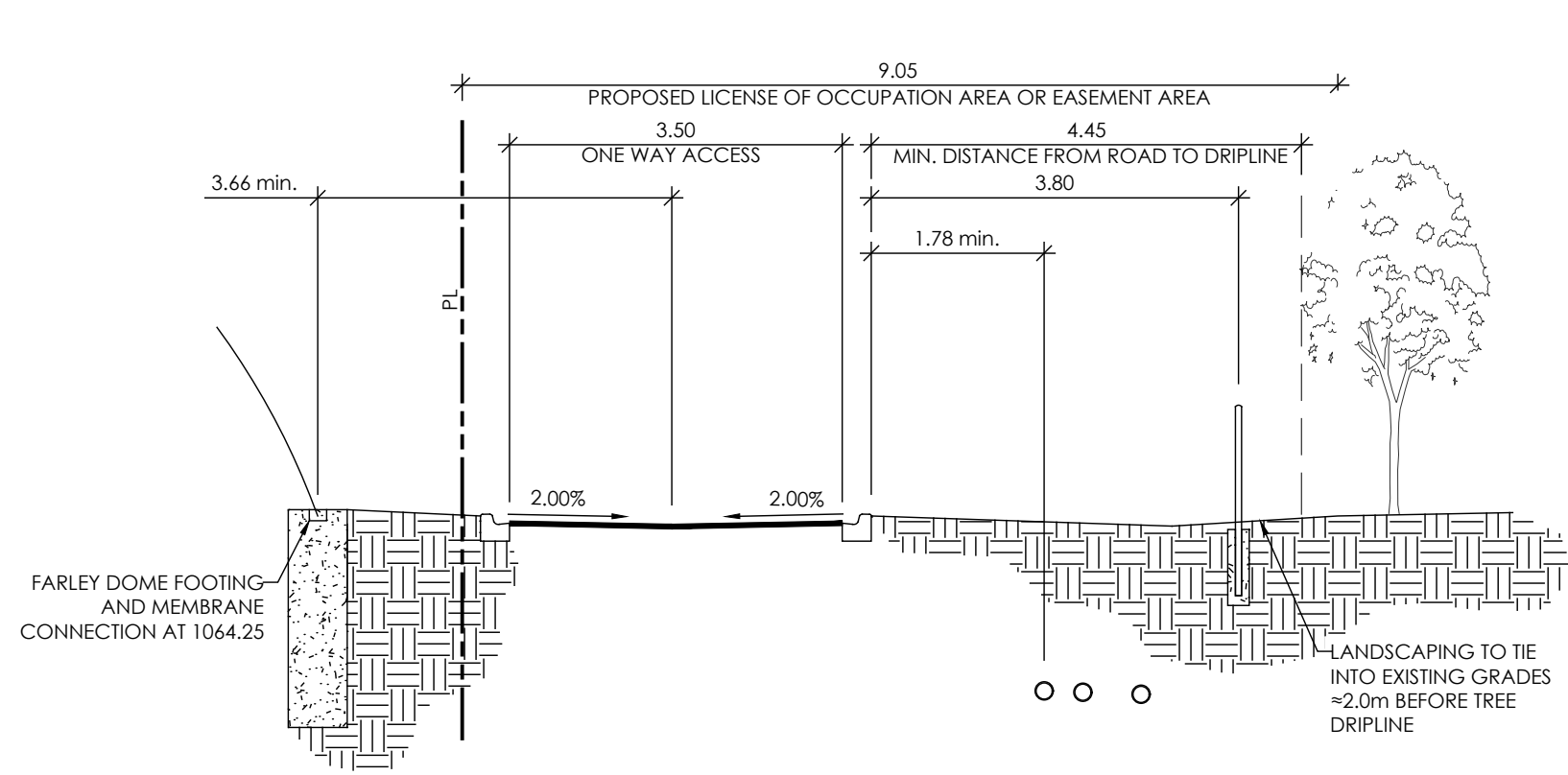
PRIME CONSULTANT:

NAK 
design strategies

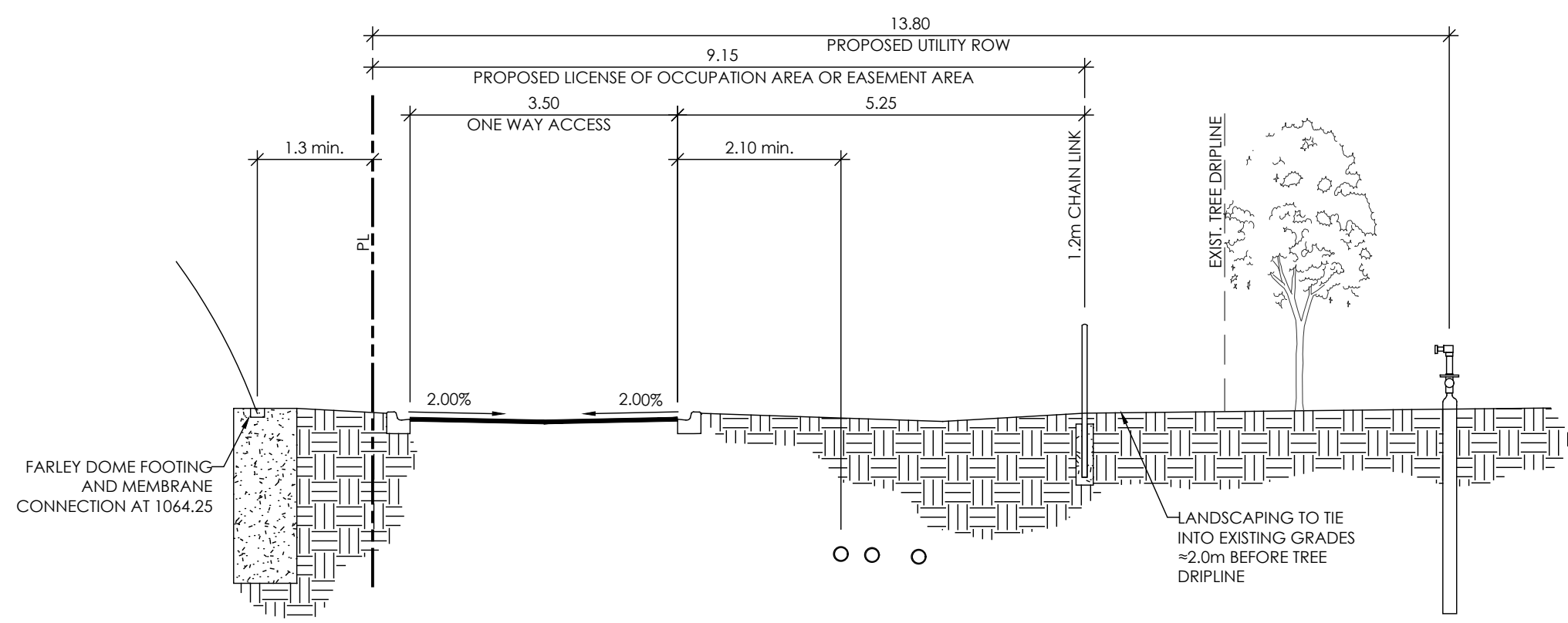
DRAWING LIST:

L110	-	SITE PLAN
L130	-	PLANTING PLAN
L400	-	DETAILS PLAN
L401	-	WASTE & RECYCLING DETAILS
L402	-	PLANTING DETAILS

AMENDED DRAWINGS
DP No Date Received
DP2026-03442 AUG 25 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



1 EAST SETBACK SECTION - WITH MIN. DISTANCE FROM ROAD TO DRIPLINE
N.T.S.



2 EAST SETBACK SECTION - WITH MONITORING WELL
N.T.S.

GENERAL NOTES:

1. PARKING AND SURFACE INFRASTRUCTURE: THIS SITE PLAN INDICATES OVERALL SITE PLAN ELEMENTS AND ARRANGEMENT. REFER TO APPROPRIATE CIVIL AND ARCHITECTURAL PLANS FOR SPECIFICS ON SURFACE AND DOME FACILITIES AND INFRASTRUCTURE. IN CASE OF DISCREPANCY, CONTACT NAK FOR DIRECTION. DO NOT PROCEED IN UNCERTAINTY.
2. EROSION AND SEDIMENT CONTROL: ENSURE ANY REQUIRED ESC MEASURES ARE IN PLACE PRIOR TO AND DURING GRADING OPERATIONS, AS REQUIRED, TO CITY SPECIFICATIONS.
3. STANDARDS AND GUIDELINES: STANDARDS AND GUIDELINES APPLICABLE FOR THE WORK INCLUDE ALL NECESSARY CONSTRUCTION STANDARDS AND GUIDELINES OF LANDSCAPE, ENGINEERING, AND ENVIRONMENTAL REGULATION.
4. SPECIFIED MATERIALS, EQUIPMENT AND MATERIALS TO BE AS SPECIFIED. ANY REQUEST FOR ALTERNATES MUST CONFORM TO MUNICIPAL EQUIVALENCY SPECIFICATIONS AND BE APPROVED BY NAK PRIOR TO BID SUBMISSION.
5. UTILITIES: UTILITY LOCATIONS SHALL BE LOCATED IN THE FIELD AND VERIFIED ON-SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTACT ALBERTA 1 CALL (1-800-242-3447) FOR LOCATES PRIOR TO ANY EXCAVATION.
6. CONDITIONS PRECEDENT: CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE PRIOR TO COMMENCEMENT OF WORK.
7. LAYOUT INSPECTIONS: LAYOUT INCLUDING FORMWORK, FURNITURE, UTILITIES AND EQUIPMENT SHALL BE APPROVED ON-SITE BY NAK PRIOR TO CONSTRUCTION AND INSTALLATION. NAK REQUIRES 24 HOURS NOTIFICATION/REQUEST PRIOR TO LAYOUT INSPECTION.
8. GENERAL SLOPES AND GRADING: ALL LANDSCAPED AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE. MINIMUM GRADIENT SHALL BE NO LESS THAN 2.0%, AND MAXIMUM GRADIENT SHALL BE NO MORE THAN 33%.
9. DIMENSIONS: WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
10. ENMAX Line Inspection (linespection@enmax.com) will be contacted days prior to start of construction within 7.0m of the overhead power line for Limits of Approach and ensure compliance with ENMAX Ground Disturbance Guidelines.

FIRE CODE NOTES:

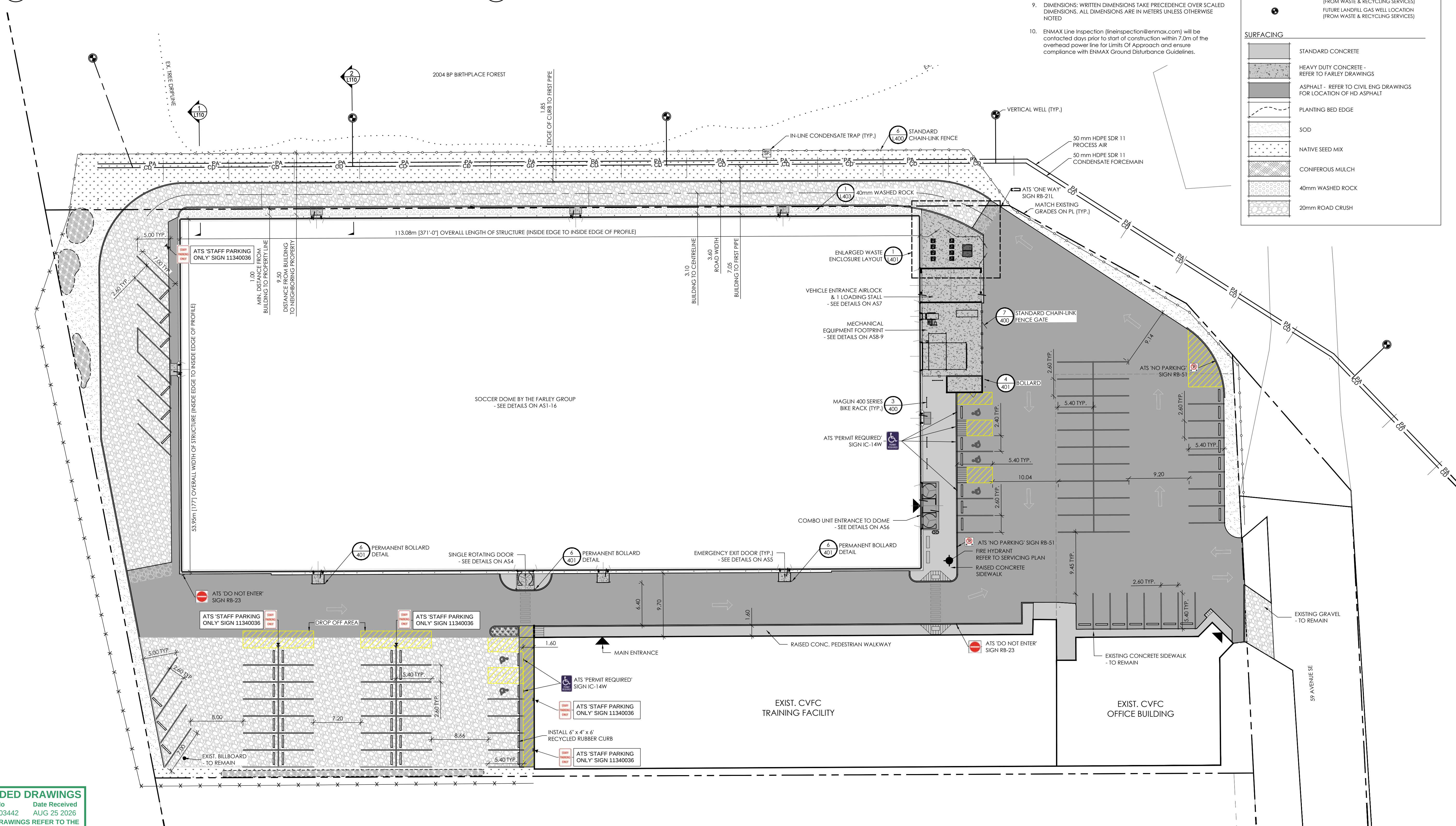
1. THE AVAILABLE SEPARATION DISTANCE BETWEEN THE DOME AND THE EXISTING BUILDING TO THE WEST EXCEEDS 3 M AND COMPLIES WITH 2023 NBCAE 3.1.18.3.(2).
2. THE EXISTING BUILDING'S EAST EXPOSING BUILDING FACE IS LOCATED APPROXIMATELY 10 M FROM THE DOME. THIS BUILDING FACE WILL COMPLY WITH 2023 NBCAE 3.2.3.1.(1) FOR ALLOWABLE PERCENTAGES OF UNPROTECTED OPENINGS AND NBCAE 3.2.3.7 FOR THE CONSTRUCTION OF THE EXPOSING BUILDING FACE. MEANS TO ACHIEVE COMPLIANCE ARE SUBJECT TO A SEPARATE BUILDING PERMIT APPLICATION AND WILL INCLUDE EITHER SPRINKLER PROTECTION OR FIRE-RESISTANCE RATED WALL CONSTRUCTION AS REQUIRED FOR COMPLIANCE WITH THE ABOVE-NOTED ARTICLES.
3. IN ACCORDANCE WITH NBCAE ARTICLE 3.2.4.1, THE BUILDING IS NOT REQUIRED TO BE EQUIPPED WITH A FIRE ALARM AND DETECTION SYSTEM AS THE BUILDING IS NOT SPRINKLERED AND THE OCCUPANT LOAD WILL BE LIMITED TO LESS THAN 300 PERSONS. A FIRE ALARM IS BEING INCLUDED AT THIS TIME IN ANTICIPATION OF A POTENTIAL ALTERNATIVE SOLUTION APPLICATION FOR THE DOME.

LEGEND

PROPERTY LINE	
SOCCER DOME FOOTPRINT	---
EXISTING CHAIN LINK SECURITY FENCING	-X-X-X-
NEW CHAIN LINK SECURITY FENCING	-O-O-O-
NEW STANDARD CHAIN LINK FENCING	-+--+
50 mm HDPE SDR 11 PROCESS AIR (FROM WASTE & RECYCLING SERVICES)	PA
50 mm HDPE SDR 11 CONDENSATE FORCEMAIN (FROM WASTE & RECYCLING SERVICES)	CD
FUTURE LANDFILL GAS WELL LOCATION (FROM WASTE & RECYCLING SERVICES)	●

SURFACING

STANDARD CONCRETE	
HEAVY DUTY CONCRETE - REFER TO FARLEY DRAWINGS	
ASPHALT - REFER TO CIVIL ENG DRAWINGS FOR LOCATION OF HD ASPHALT	
PLANTING BED EDGE	
SOD	
NATIVE SEED MIX	
CONIFEROUS MULCH	
40mm WASHED ROCK	
20mm ROAD CRUSH	



AMENDED DRAWINGS
DP No Date Received
DP2026-03442 AUG 25 2026
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NAK Design Strategies
310 - 438 11th Ave SE
Calgary AB Canada
Tel. 403.261.1511
info@nak-design.com

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Client/Owner



Key

SIGNAGE SCHEDULE

- ATS 'DO NOT ENTER' SIGN RB-23
- ATS 'CROSSWALK' SIGN PS-003-R4
- ATS 'NO PARKING' SIGN RB-51
- ATS 'ONE WAY' SIGN RB-21L
- ATS 'PERMIT REQUIRED' SIGN IC-14W

Permit - Seal for Revision/Plan of Record

Revision/Plan of Record

Approvals - Originally Approved By

Permit - Seal for Issued



ISSUED FOR	DATE	BY	FOR
ISSUED FOR DTP	26.08.10	CE	CE
ISSUED FOR DTP	26.08.10	CE	CE
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PROJECT MANAGER PROJECT NO.

Client/Project

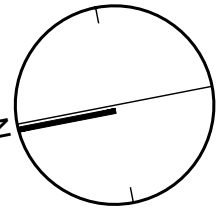
CALGARY VILLAINS FC
SOCCER DOME

830 59 AVE SE
CALGARY, AB T2H 2G5

Title

SITE PLAN

SCALE 1:300



Drawing No.

L110