



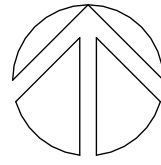
SITE SUMMARY AND LAND-USE BYLAW		
BYLAW ITEM	DESCRIPTION	REFERENCE
MUNICIPAL ADDRESS	1115 68 AVE NE	
LEGAL DESCRIPTION	PLAN 2211339; BLOCK 4; Lot 2	
APPLICABLE BY-LAW AND REFERENCES	CITY OF CALGARY LAND USE BY-LAW, I-G INDUSTRIAL GENERAL CITY OF CALGARY LAND USE DISTRICT MAP	1P2007, SECTION 2E 1P2007, I-G 907.2 (n)
PERMITTED AND DISCRETIONARY USES	PERMITTED USE: GENERAL INDUSTRIAL - LIGHT	
SITE AREA	FULL PARCEL: +/- 7.567 ACRES EAST PARCEL: +/- 3.93 ACRES (15,938 sq.m.) (171,556 sq.ft.) WEST PARCEL: +/- 3.63 ACRES (14,687 sq.m.) (158,096 sq.ft.)	
BUILDING AREA	BUILDING 1: 65,000 sq.ft. (6,038 sq.m.) BUILDING 2: 60,000 sq.ft. (5,574 sq.m.)	
BUILDING HEIGHT	MAXIMUM HEIGHT: 18.0m (59 ft)	1P2007, 912
SITE COVERAGE	SITE AREA: 30,625.8 sq.m. (329,653 sq.ft.) TOTAL BUILDING AREA: 11,513 sq.m. (125,000 sq.ft.) SITE COVERAGE: 37.82%	1P2007, 911
PARKING PROVIDED	BUILDING 1: STALLS PROVIDED: 86 86 STALLS x 1000 sq.ft. / 65,000 sq.ft. = 1.32 STALLS PER 1000 sq.ft. BUILDING 2: STALLS PROVIDED: 116 116 STALLS x 1000 sq.ft. / 60,000 sq.ft. = 1.93 STALLS PER 1000 sq.ft. TOTAL STALLS PROVIDED - 202 STALLS (INCLUDING 8 BARRIER-FREE STALLS)	
BARRIER-FREE PARKING	REQUIRED: 4.0 BARRIER-FREE STALLS PER 100 PARKING STALLS PROVIDED 1.0 ADDITIONAL BARRIER-FREE STALL PER EACH ADDITIONAL INCREMENT OF 100 STALLS BUILDING 1: STALLS PROVIDED: 86 INCLUDING 4 BARRIER-FREE STALLS PROVIDED BUILDING 2: STALLS PROVIDED: 116 INCLUDING 4 BARRIER-FREE STALLS PROVIDED	1P2007, 121.1 NBC 2023 ALBERTA EDITION TABLE 3.8.2.5
BICYCLE PARKING	CLASS 1 BICYCLE STALLS NO REQUIREMENT CLASS 2 BICYCLE STALLS REQUIRES A MINIMUM OF 1 PER 2,000 sq.m. GROSS USABLE FLOOR AREA BUILDING 1: 0,038 sq.m. / 2,000 sq.m. = 4 STALLS 4 STALLS REQUIRED 6 STALLS PROVIDED BUILDING 2: 5,574 sq.m. / 2,000 sq.m. = 3 STALLS 3 STALLS REQUIRED 6 STALLS PROVIDED TOTAL STALLS PROVIDED: 12 CLASS 2 BICYCLE STALLS	1P2007, 203.2 (a)(v)



XXIII CAPITAL INC.
68TH AVENUE NE DEVELOPMENT
1115 68 AVE NE
PLAN:2211339; BLOCK:4;Lot:2

WalterFedy Project No.: 2026-0242
DEVELOPMENT PERMIT SUBMISSION 2026-06-10

- DRAWING LIST**
DP-0.00 COVER SHEET
DP-1.00 PROPOSED OVERALL SITE PLAN - BLDG 1
DP-1.01 PROPOSED ENLARGED SITE PLAN - BLDG 1
DP-1.02 PROPOSED ENLARGED SITE PLAN - BLDG 2
DP-1.03 PROPOSED TRAFFIC CONTROL PLANS
DP-1.04 PROPOSED SITE DETAILS
DP-2.00 PROPOSED PLANS - BLDG 1
DP-2.01 PROPOSED PLANS - BLDG 2
DP-3.00 PROPOSED ROOF PLANS - BLDG 1
DP-3.01 PROPOSED ROOF PLAN - BLDG 2
DP-4.00 PROPOSED BUILDING ELEVATION - BLDG 1
DP-4.01 PROPOSED BUILDING ELEVATION - BLDG 2
DP-5.00 PROPOSED BUILDING SECTIONS - BLDG 1
DP-5.01 PROPOSED BUILDING SECTIONS - BLDG 2



	PROPERTY LINE
	SETBACK LINE
	EXISTING UTILITY RIGHT-OF-WAY LINE
	45m FIRE HYDRANT COVERAGE RADIUS
	90m FIRE HYDRANT COVERAGE RADIUS
	BUILDINGS
	SOFTSCAPE (SOD, AND BARK, OR ROCK MULCH) REFER TO LANDSCAPE DRAWINGS
	HARDSCAPE FOR AMENITY SPACE (DECORATIVE PAVING) REFER TO LANDSCAPE DRAWINGS
	CONCRETE (CURBS, SIDEWALKS, APRONS, RAMPS)
	LIGHT/MEDIUM DUTY ASPHALT (DESIGNED TO SUPPORT A 38,556kg/85,000lbs LOAD AND A NFPA 1901 POINT LOAD OF 517 kPa (75 psi) OVER A 2.0'x2.0' (4 sq. ft.) AREA)
	HEAVY DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD; MINIMUM LOAD FOR GARBAGE AND RECYCLING VEHICLES 25,000 KG)

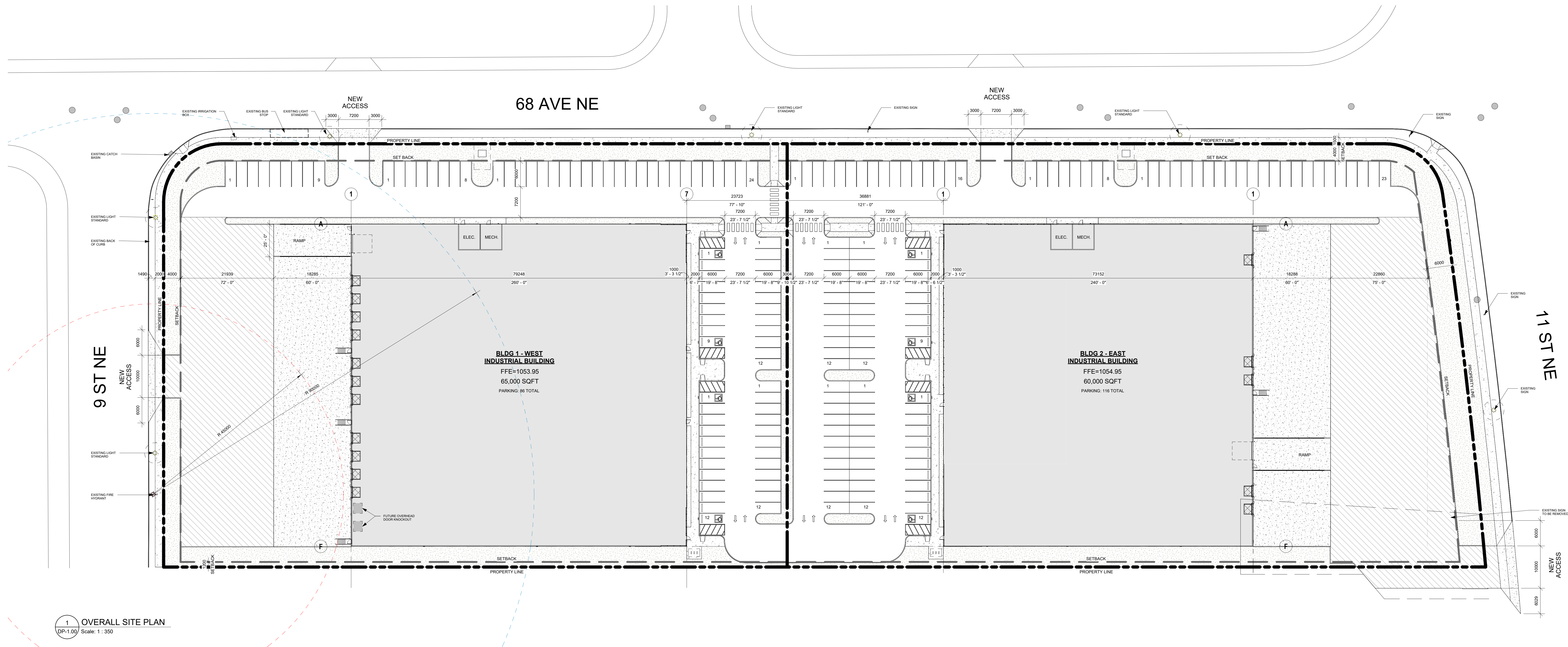


XXIII CAPITAL INC.



No.	ISSUANCE	DATE
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DP-1.00

GENERAL SITE NOTES

ALL NON-BARRIER FREE PARKING STALLS

- 2.60M X 5.40M (8' - 6.38" X 17' - 6.58") TYPICAL

ALL BARRIER FREE PARKING STALLS

- 2.60M X 5.40M (7' - 10.12" X 17' - 6.58") TYPICAL
- ALL BARRIER FREE PARKING STALLS TO HAVE A 2.60M PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK CURB RAMP

INTERNAL SITE CIRCULATION AISLE

- 7.20M (23' - 7.12") TYPICAL

PARKING ISLANDS / LANDSCAPE BUFFERS

- CURB RADIUS OF 1.00M (3'-3.14") TYPICAL, UNLESS NOTED OTHERWISE

RUBBER WHEEL STOP

- LOCATED 1.00M (3'-3.14") FROM FACE OF CURB TO CENTERLINE OF STOP
- TO BE PINNED TO ASPHALT
- TYPICAL AT ALL STALLS ALONG SIDEWALKS / FRONTAGE OF BUILDING

WASTE MANAGEMENT

- CONTAINERS FOR GARBAGE, RECYCLING, AND FOOD/YARD WASTE WILL BE PROVIDED BY EACH TENANT, AND STORED INTERNALLY WITHIN EACH OF THE INDIVIDUAL TENANT SPACES

INTERNAL SITE CIRCULATION SIDEWALKS

- ALL CONCRETE PEDESTRIAN SIDEWALKS TO HAVE OUR TYPICAL DIMENSION, UNLESS OTHERWISE NOTED.
- MINIMUM 2.00M WIDE (6' - 6.34") WIDE TYPICAL

SITE PLAN LEGEND

PROPERTY LINE

SETBACK LINE

EXISTING UTILITY RIGHT-OF-WAY LINE

45m FIRE HYDRANT COVERAGE RADIUS

90m FIRE HYDRANT COVERAGE RADIUS

BUILDING

SOFTSCAPE (SOD, AND BARK, OR ROCK MULCH) REFER TO LANDSCAPE DRAWINGS

HARDSCAPE FOR AMENITY SPACE (DECORATIVE PAVING) REFER TO LANDSCAPE DRAWINGS

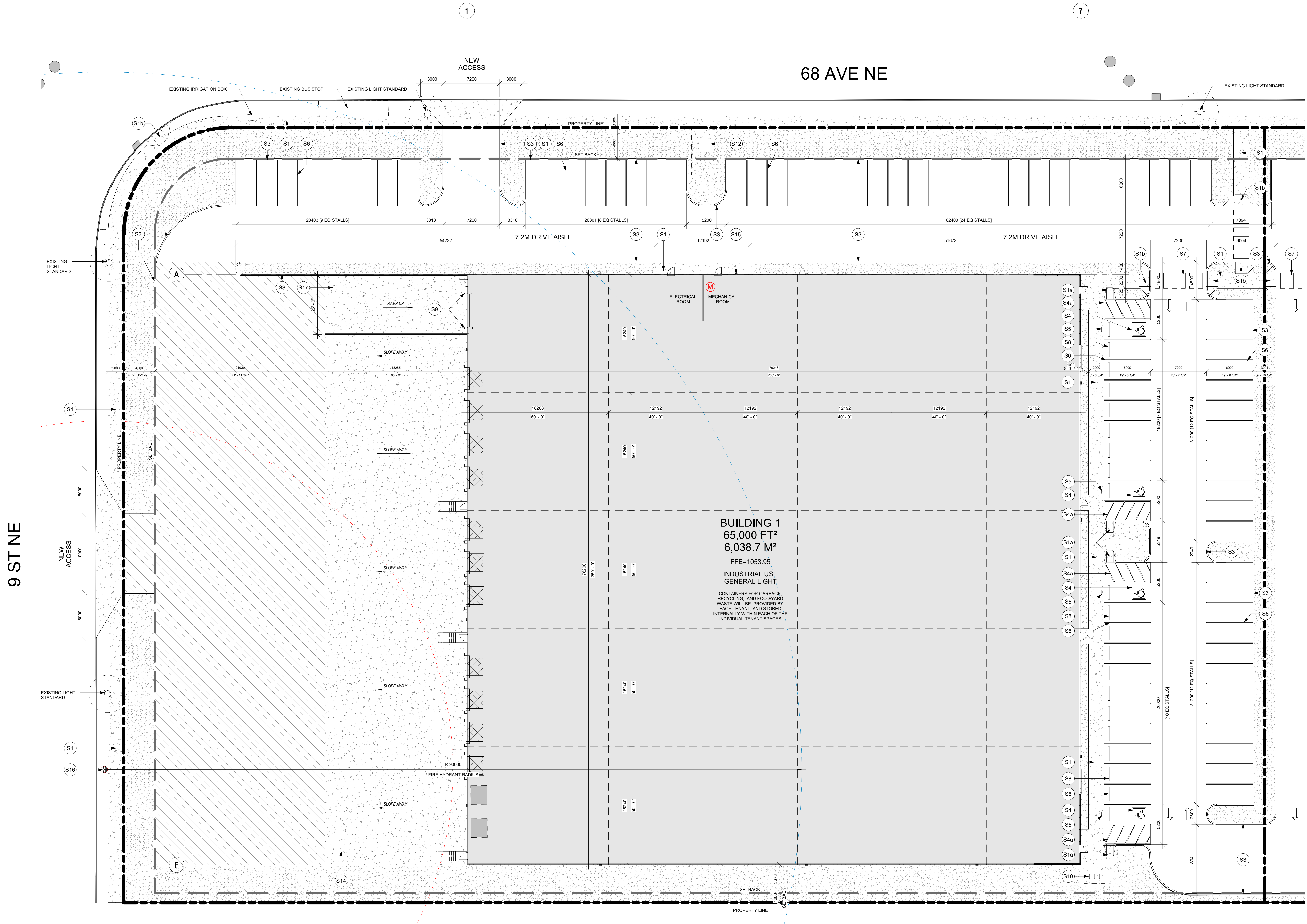
CONCRETE (CURBS, SIDEWALKS, APRONS, RAMPS)

LIGHT/MEDIUM DUTY ASPHALT (DESIGNED TO SUPPORT A 38,556kg/85,000lbs LOAD AND A NFPA 1901 POINT LOAD OF 517 kPa (75 psi) OVER A 2.0x2.0' (4 sq. ft.) AREA)

HEAVY DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD, MINIMUM LOAD FOR GARBAGE AND RECYCLING VEHICLES 25,000 KG)

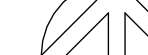
WATER METER LOCATION

SITE KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
S1	TYPICAL CONCRETE SIDEWALK AND CURB
S1a	TYPICAL CONCRETE H/C SIDEWALK RAMP, ALBERTA BARRIER FREE STANDARDS. REFER TO TYPICAL SITE DETAILS
S1b	TYPICAL CONCRETE SIDEWALK RAMP, CITY OF CALGARY STANDARDS. REFER TO TYPICAL SITE DETAILS
S3	TYPICAL CONCRETE CURB. REFER TO TYPICAL SITE DETAILS
S4	PAINTED BARRIER-FREE PARKING SYMBOL. REFER TO TYPICAL SITE DETAILS
S4a	2.6M WIDE PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK RAMP. TYPICAL AT ALL BARRIER FREE PARKING STALL LOCATIONS
S5	BARRIER-FREE DESIGNATED SIGNAGE.
S6	PAINTED PARKING LINES - COLOUR: YELLOW
S7	PAINTED CROSSWALK LINES - COLOUR: WHITE
S8	RUBBER WHEEL STOP
S9	6" GUARD POST. TYPICAL AT ALL DRIVE IN DOORS
S10	TYPICAL BIKE RACK. REFER TO 5/A1.02
S12	TRANSFORMER LOCATION
S14	CONCRETE APRON
S15	FIRE DEPARTMENT CONNECTION
S16	NEW FIRE HYDRANT LOCATION. REFER TO CIVIL DRAWINGS
S17	CONCRETE DRIVE-IN RAMP W/ GUARDRAILS



1 ENLARGED BLDG 1 - WEST - SITE PLAN
Scale: 1 : 200



	
TRUE NORTH	PROJECT NORTH

No.	ISSUANCE	DATE
1	DEVELOPMENT PERMIT SUBMISSION	2025-06-10

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CLIENT
XXIII CAPITAL INC.

SUITE 2000, 421 7th AVENUE SW

PROJECT
68TH AVENUE NE
DEVELOPMENT
1115 68 AVE NE
PLAN 2211336, BLOCK 4, L&2

TITLE
PROPOSED ENLARGED SITE
PLAN - BLDG 1

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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PROJECT NO: 2025-0242
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SHEET NO:
2025-0242
DP-1.01



No.	ISSUANCE	DATE
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XXIII CAPITAL INC.

SUITE 2000, 421 7th AVENUE SW

PROJECT

**68TH AVENUE NE
DEVELOPMENT**

1115 68 AVE NE
PLAN 2211339; BLOCK 41 of 2

TITLE

PROPOSED ENLARGED SITE
PLAN - BLDG 2

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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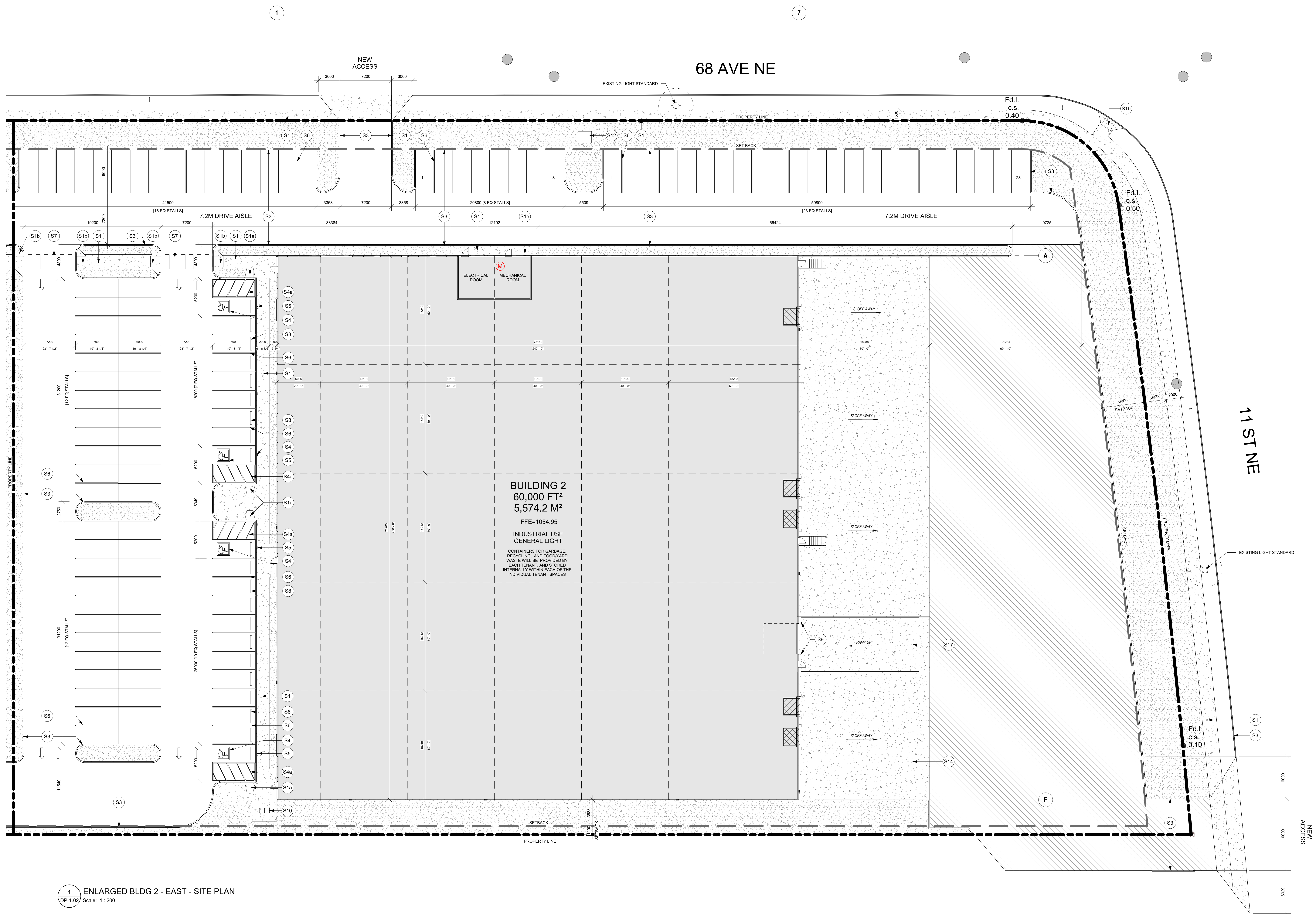
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- ALL NON-BARRIER FREE PARKING STALLS
 - 2.60M X 5.40M (8' - 6.30" X 17' - 6.50") TYPICAL
- ALL BARRIER FREE PARKING STALLS
 - 2.60M X 4.40M (8' - 10' 12" X 14' - 5.00") TYPICAL
 - ALL BARRIER FREE PARKING STALLS TO HAVE A 2.60M PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK CURB RAMP
- INTERNAL SITE CIRCULATION AISLE
 - 7.30M (23' - 7 1/2') TYPICAL
- PARKING ISLANDS / LANDSCAPE BUFFERS
 - CURB RADIUS OF 15.00M (3'-3" 14") TYPICAL, UNLESS NOTED OTHERWISE
- RUBBER WHEEL STOP
 - LOCATED 0.90M (2' 7 1/2") FROM FACE OF CURB TO CENTERLINE OF STOP
 - TO BE PINNED TO ASPHALT
 - TYPICAL AT ALL STALLS ALONG SIDEWALKS / FRONTAGE OF BUILDING

	PROPERTY LINE		LANDSCAPE FOR AMENITY SPACE (DECORATIVE PAVING) REFER TO LANDSCAPE DRAWINGS
	SETBACK LINE		CONCRETE (CURBS, SIDEWALKS, APRONS, RAMPS)
	EXISTING UTILITY RIGHT-OF-WAY LINE		LIGHT/MEDIUM DUTY ASPHALT (DESIGNED TO SUPPORT A 38,550kg/85,000lbs LOAD AND A WPA 150t POINT LOAD OF 517 kPa (75 psi) OVER A 2.0'x2.0' (4 sq. ft.) AREA)
	45m FIRE HYDRANT COVERAGE RADIUS		HEAVY DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD; MINIMUM LOAD FOR GARBAGE AND RECYCLING VEHICLES 25,000 KG)
	90m FIRE HYDRANT COVERAGE RADIUS		WATER METER LOCATION
	BUILDING		
	SOFTSCAPE (SOIL, AND BARK, OR ROCK MULCH) REFER TO LANDSCAPE DRAWINGS		

KEYNOTE	DESCRIPTION
S1	TYPICAL CONCRETE SIDEWALK AND CURB
S1a	TYPICAL CONCRETE H/C SIDEWALK RAMP. ALBERTA BARRIER FREE STANDARDS. REFER TO TYPICAL SITE DETAILS
S1b	TYPICAL CONCRETE SIDEWALK RAMP. CITY OF CALGARY STANDARDS. REFER TO TYPICAL SITE DETAILS
S3	TYPICAL CONCRETE CURB. REFER TO TYPICAL SITE DETAILS
S4	PAINTED BARRIER-FREE PARKING SYMBOL. REFER TO TYPICAL SITE DETAILS
S4a	2.6M WIDE PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK RAMP. TYPICAL AT ALL BARRIER FREE PARKING STALL LOCATIONS
S5	BARRIER-FREE DESIGNATED SIGNAGE.
S6	PAINTED PARKING LINES - COLOUR: YELLOW
S7	PAINTED CROSSWALK LINES - COLOUR: WHITE
S8	RUBBER WHEEL STOP
S9	6" GUARD POST. TYPICAL AT ALL DRIVE IN DOORS
S10	TYPICAL BIKE RACK. REFER TO S/A1.02
S12	TRANSFORMER LOCATION
S14	CONCRETE APRON
S15	FIRE DEPARTMENT CONNECTION
S16	NEW FIRE HYDRANT LOCATION. REFER TO CIVIL DRAWINGS
S17	CONCRETE DRIVE-IN RAMP W/ GUARDRAILS



1 ENLARGED BLDG 2 - EAST - SITE PLAN
DP-1.02 Scale: 1 : 200

DP-1.02

No.	ISSUANCE	DATE
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XXIII CAPITAL INC.

SUITE 2900, 421 7th AVENUE SW

PROJECT
68TH AVENUE NE
DEVELOPMENT
1115 68 AVE NE
PLAN:2211339; BLOCK:4;Lot:2

PROPOSED BUILDING ELEVATION - BLDG 1

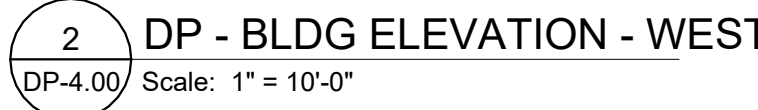
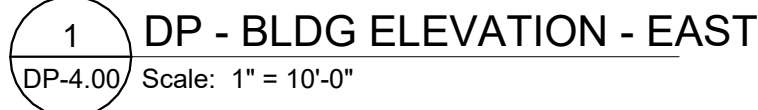
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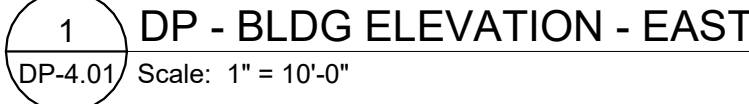
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