



ADDRESS: #228, 1338B 36 AVE NE,
CALGARY, AB, T2E 6T6
PHONE: 403 269 1696
EMAIL: info@garagesuitescalgary.ca
WEBSITE: www.garagesuitescalgary.ca

ISSUE DATE: JUN. 11, 2026
REVISION #: X



ADDRESS: 109 LEGACY MANOR SE,
CALGARY , AB, T2X 2E7
PHONE: 403 971 9275
EMAIL:
info@anomalydraftinganddesign.com
WEBSITE:
www.anomalydraftinganddesign.com



PROJECT: HR098
ACCESSORY BUILDING - GARAGE SUITE
2324 PALLISER DRIVE SW,
CALGARY AB T2V 3S6

ISSUED FOR DEVELOPMENT PERMIT

SITE PLAN

LEGAL DESCRIPTION: Lot 26
Block 10
Plan 6073JK

MUNICIPAL ADDRESS: 2324 Palliser Drive S.W.
Calgary, Alberta

DATE OF SURVEY: April 29th, 2025.

NOTES:

Elevations are shown thus:  = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM: **152041 ELEV.: 1090.216**

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (3TM, CM114°) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All eaves are measured to fascia unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Calculation points shown thus: 

Found iron posts shown thus: 

Elevations shown thus: 

Fire hydrants shown thus: 

Lamp standards shown thus: 

Manholes shown thus: 

Power poles shown thus: 

Street signs shown thus: 

Electrical meter shown thus: 

Gas meter shown thus: 

Property lines shown thus: 

Right of ways shown thus: 

Eaves shown thus: 

Fences shown thus: 

Overhead lines shown thus: 

Gasline shown thus: 

Sanitaryline shown thus: 

Stormline shown thus: 

Waterline are shown thus: 

Coniferous Tree ----- 

Deciduous Tree ----- 

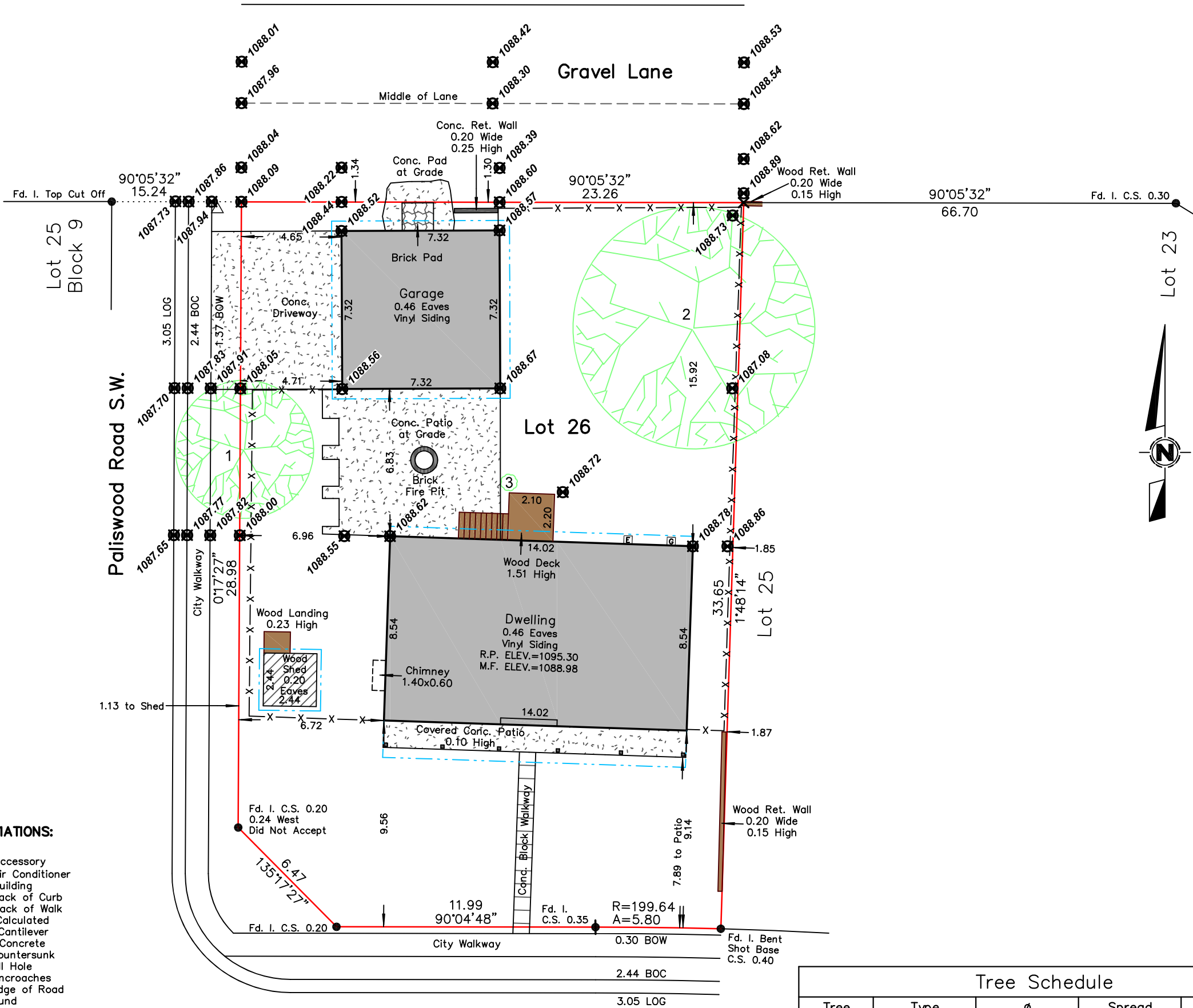
This plan represents the best information at the time of survey.
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All Underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477



2819A Centre Street N.W.
Calgary, Alberta T2E 2V7
Phone: 403-837-8599
E-mail: office@zoomsurveys.ca
Website: www.zoomsurveys.ca
©COPYRIGHT, ZOOM SURVEYS LTD. 2026

ABBREVIATIONS:

A - Arc
Acc. - Accessory
A/C - Air Conditioner
Bldg - Building
BOC - Back of Curb
BOW - Back of Walk
Calc. - Calculated
Cant. - Cantilever
Conc. - Concrete
C.S. - Countersunk
DH - Drill Hole
Enc. - Encroaches
EOR - Edge of Road
Fd. - Found
I. - Iron Post
M.A. - Maintenance Access
Mk. - Mark
O.D. - Overland Drainage
P/L - Property Line
R - Radius
Ret. - Retaining
R/W - Right of Way
W/O - Walkout Basement
W.W. - Window Well



2324 Palliser Drive S.W.

Tree Schedule				
Tree	Type	Ø	Spread	Height
1	Deciduous	0.40	8.00	5.00
2	Deciduous	0.75	14.00	12.00
3	Bush	---	0.70	1.00



GARAGE SUITES

PROJECT NO:
HR098

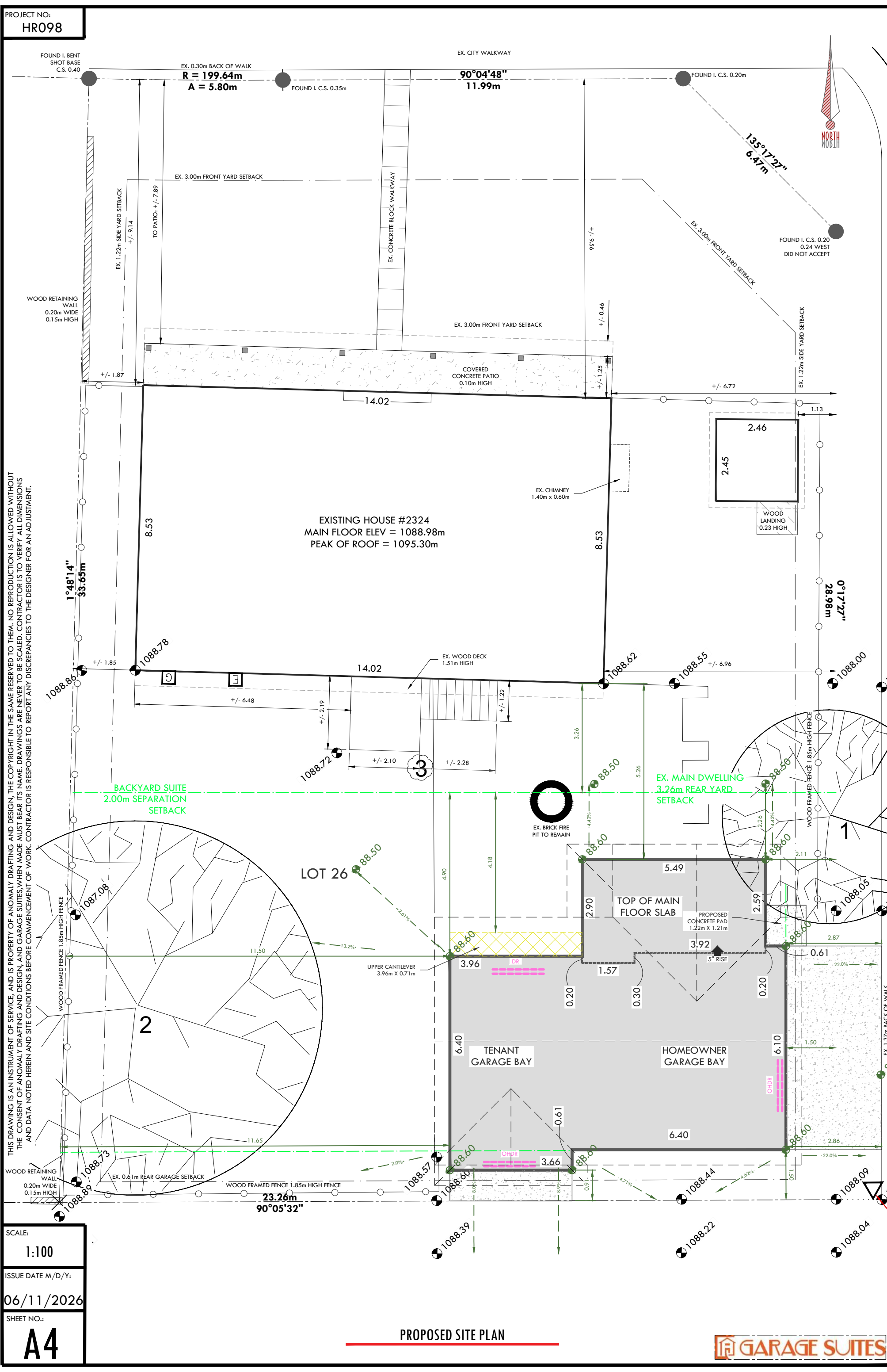
THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND IS PROPERTY OF ANOMALY DRAFTING AND DESIGN, THE COPYRIGHT IN THE SAME RESERVED TO THEM; NO REPRODUCTION IS ALLOWED WITHOUT THE CONSENT OF ANOMALY DRAFTING AND DESIGN, AND GARAGE SUITES, WHEN MADE MUST BEAR ITS NAME. DRAWINGS ARE NEVER TO BE SCALED. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN AND SITE CONDITIONS BEFORE COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE TO REPORT ANY DISCREPANCIES TO THE DESIGNER FOR AN ADJUSTMENT.

SCALE: 1:100
ISSUE DATE M/D/Y: 06/11/2026
SHEET NO.: A4

PROPOSED SITE PLAN



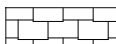
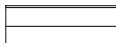
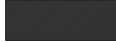
GARAGE SUITES



ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

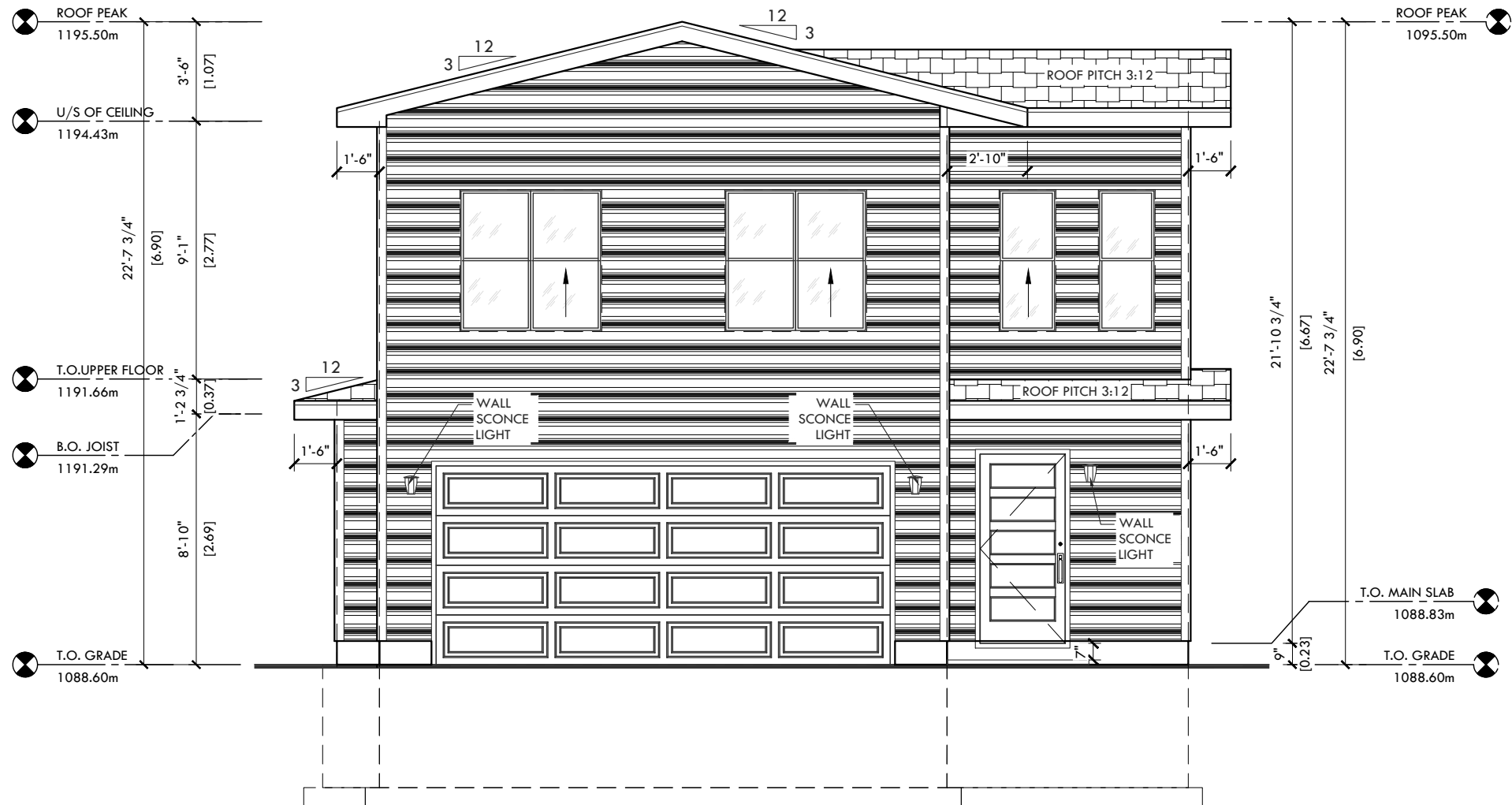
EXTERIOR FINISHES LEGEND

-  ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:
-  COMPOSITE WOOD: JAMES HARDIE LAP SIDING - COLOUR TBD
-  VINYL LAP SIDING: VINYL LAP SIDING - COLOUR TBD
-  DOOR AND WINDOW TRIM: JAMES HARDIE 3 1/2" BATTEN TRIM - COLOUR TBD

WINDOW DESCRIPTION

U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings



PROPOSED FRONT

SCALE:

3/16" = 1'-0"

ISSUE DATE M/D/Y:

06/11/2026

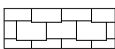
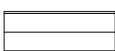
SHEET NO.:

A9

ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

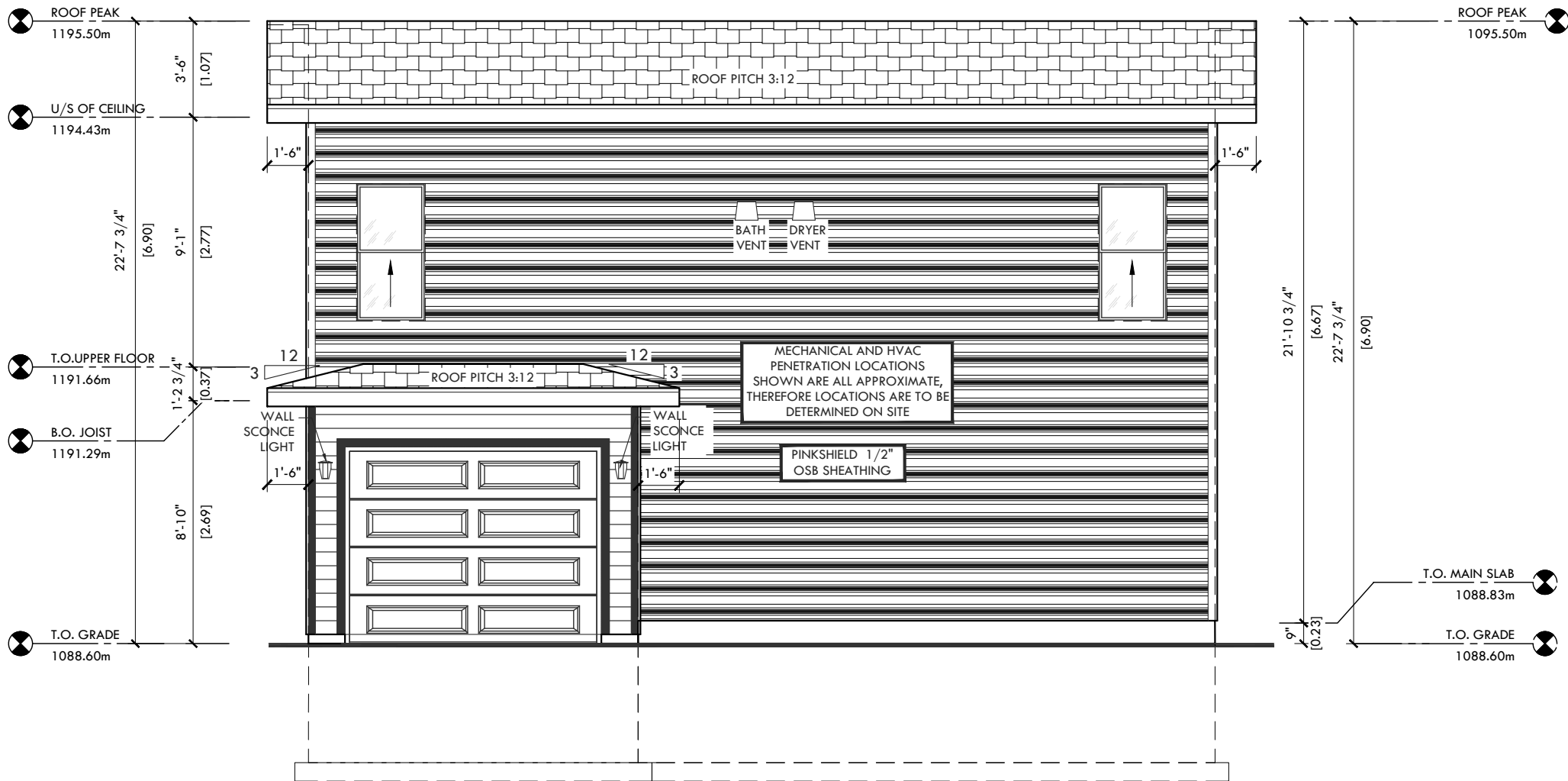
EXTERIOR FINISHES LEGEND

-  ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:
-  COMPOSITE WOOD: JAMES HARDIE LAP SIDING - COLOUR TBD
-  VINYL LAP SIDING: VINYL LAP SIDING - COLOUR TBD
-  DOOR AND WINDOW TRIM: JAMES HARDIE 3 1/2" BATTEN TRIM - COLOUR TBD

WINDOW DESCRIPTION

U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings



PROPOSED LEFT (LANE)

SCALE:

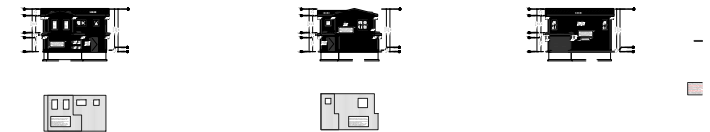
3/16" = 1'-0"

ISSUE DATE M/D/Y:

06/11/2026

SHEET NO.:

A10



ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE. WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:

COMPOSITE WOOD: JAMES HARDIE LAP SIDING
- COLOUR TBD

VINYL LAP SIDING: VINYL LAP SIDING
- COLOUR TBD

DOOR AND WINDOW TRIM: JAMES HARDIE 3 1/2"
BATTEN TRIM - COLOUR TBD

U-VALUE:	R VALUE:
----------	----------

<u>U-VALUE:</u>	<u>R VALUE:</u>
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

Garage Suite Rear Elevation

THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND IS PROPERTY OF ANOMALY DRAFTING AND DESIGN, THE COPYRIGHT IN THE SAME RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE CONSENT OF ANOMALY DRAFTING AND DESIGN, AND GARAGE SUITES, WHEN MADE. MUST BEAR ITS NAME. DRAWINGS ARE NEVER TO BE SCALED. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN AND SITE CONDITIONS BEFORE COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE TO REPORT ANY DISCREPANCIES TO THE DESIGNER FOR AN ADJUSTMENT.

SCALE:

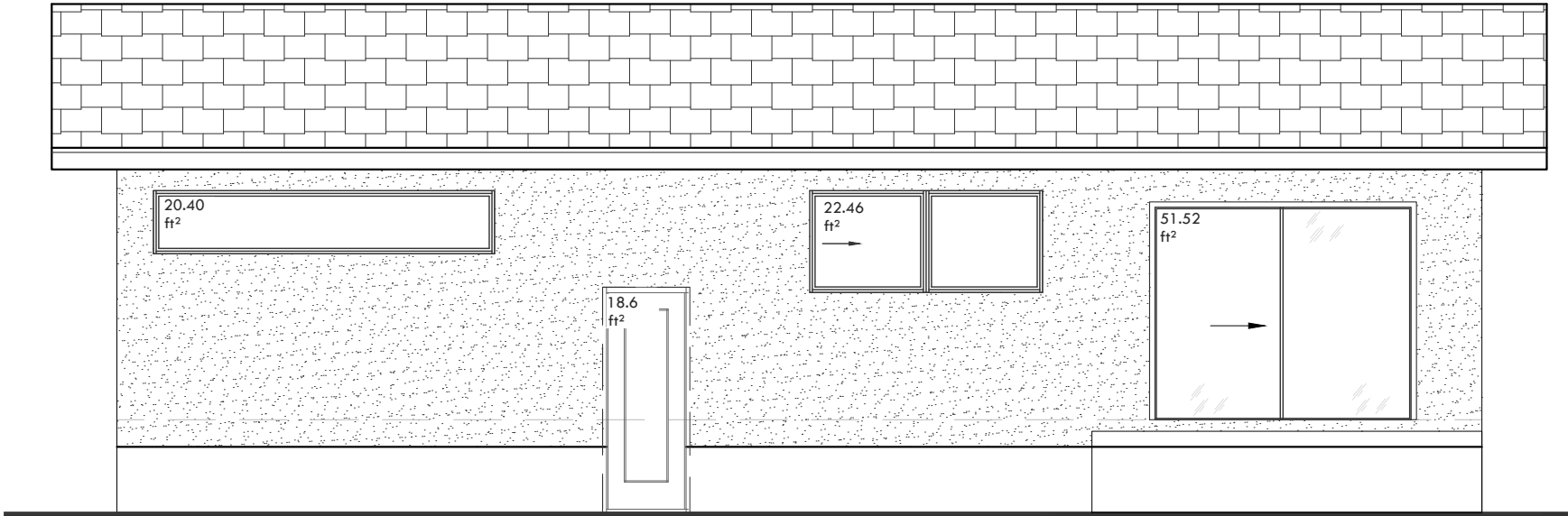
$$3/16'' = 1'-0''$$

ISSUE DATE M/D/Y:

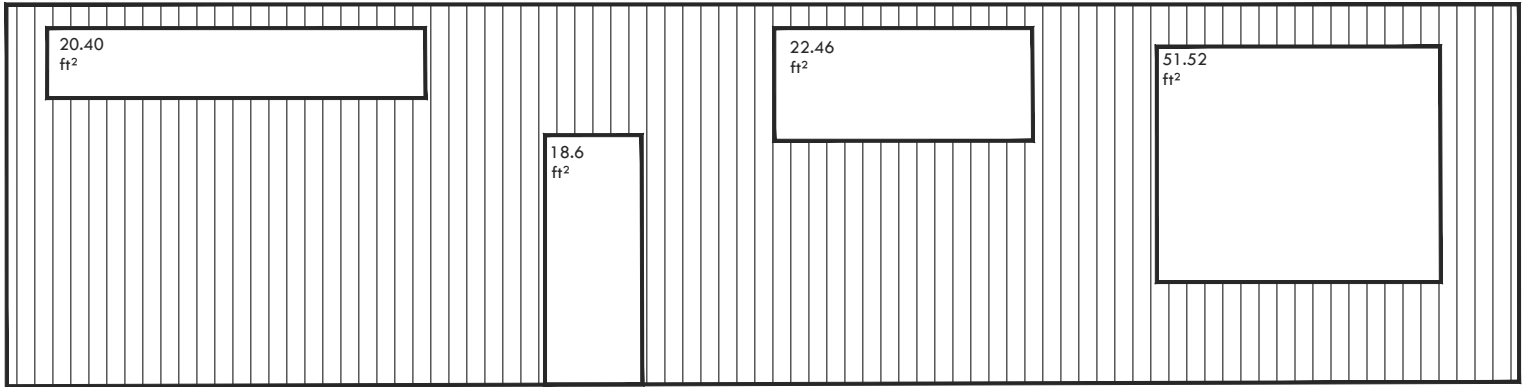
06/11/2026

SHEET NO.

A11



EXISTING REAR ELEVATION



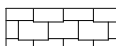
EXISTING REAR ELEVATION

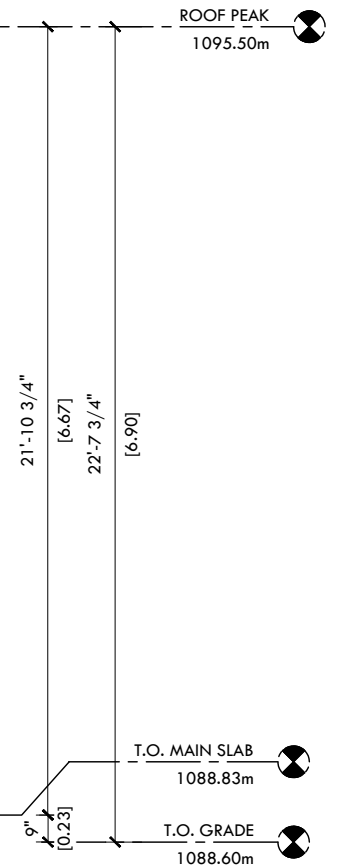
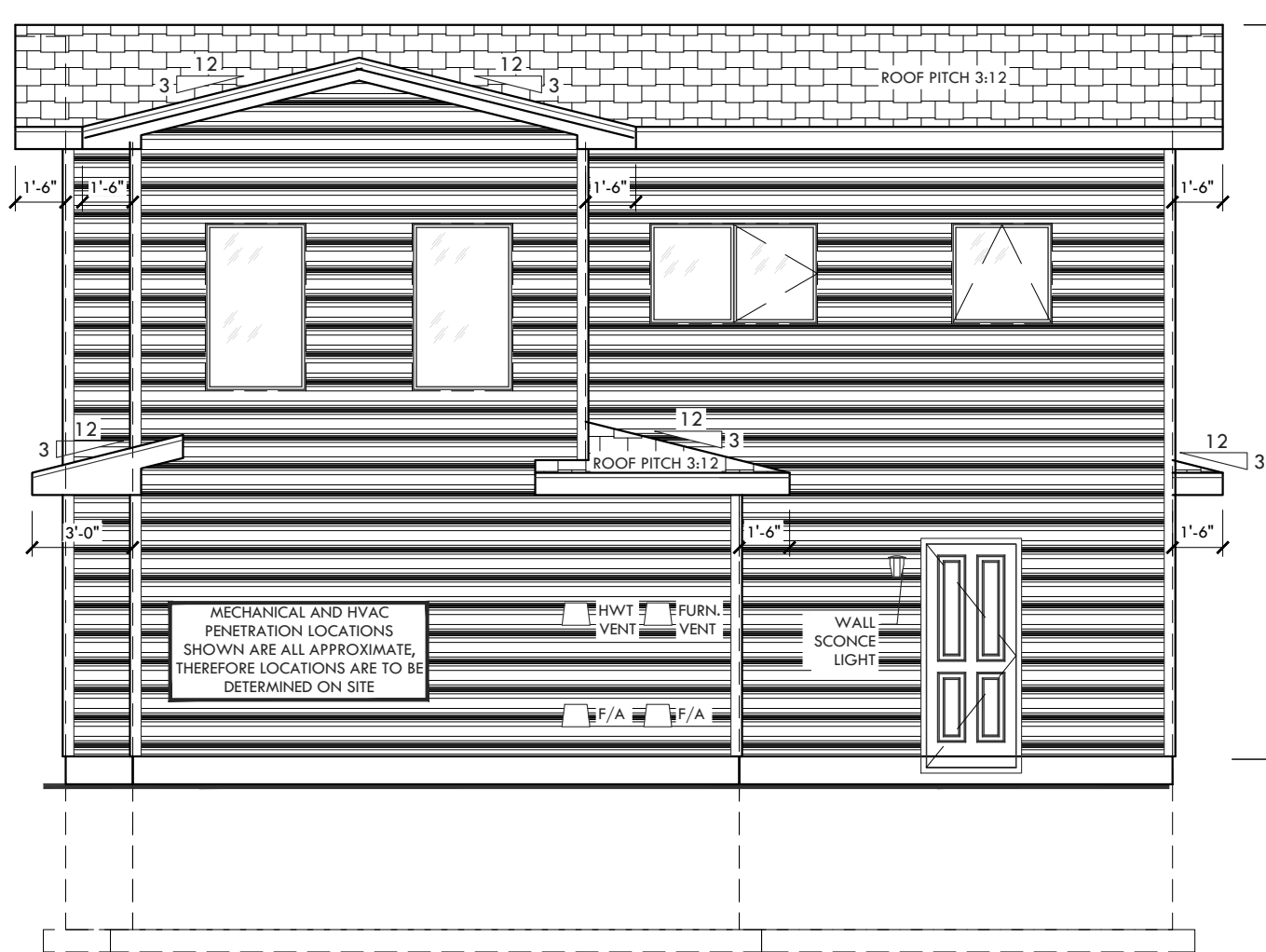
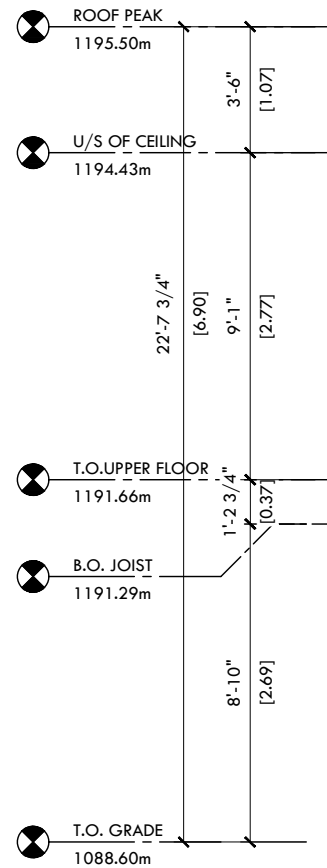
See TABLE 9.10.14.4.A. of the A.B.C 2023
BUILDING FACE AREA: 442.87 FT² (41.14 M²)
MAXIMUM ALLOWABLE COVERAGE: 28%
(Extrapolation: 125.07 FT²/442.87 FT²)
MAXIMUM ALLOWABLE OPENINGS: 141.72 FT²
(Extrapolation: 141.72*8825 = 125.07 FT²)
MAXIMUM EXPOSED AREA: 40 M²
LIMITING DISTANCE: 4.00M / ACTUAL 3.53M
(3.53m/4.00m = 88.25%) Reduction of 11.75%
TOTAL UNPROTECTED OPENINGS: 112.98 FT²
ACTUAL ALLOWABLE COVERAGE: 25.5%

ELEVATION GENERAL NOTES

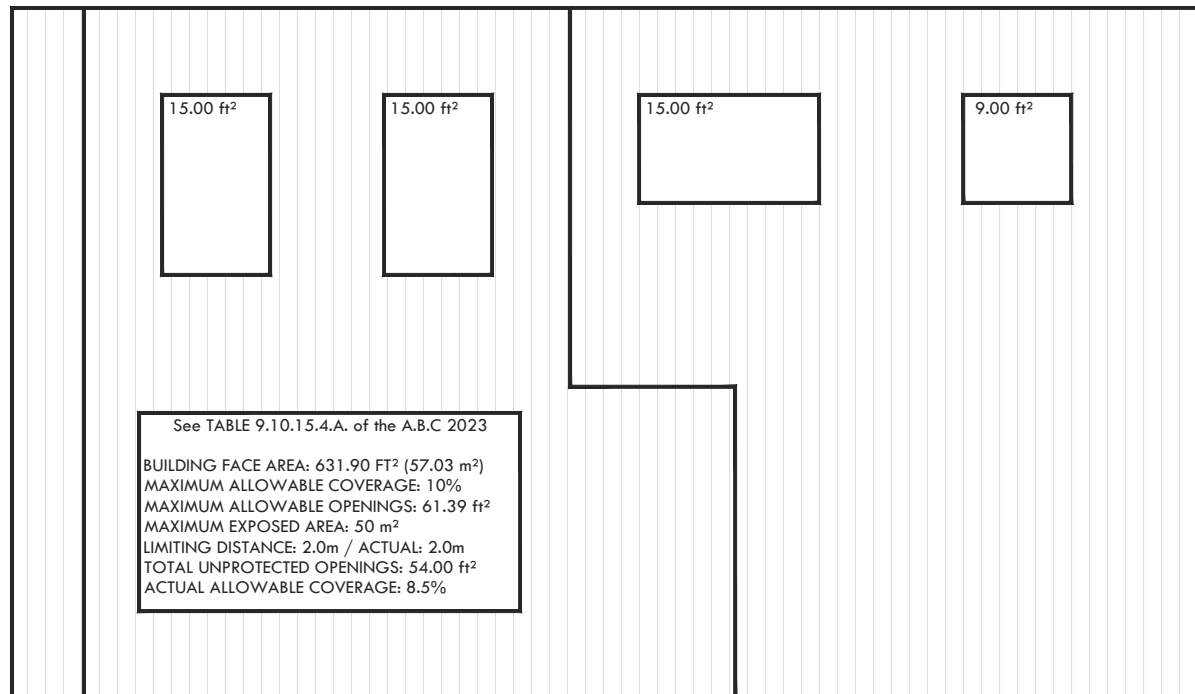
- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

EXTERIOR FINISHES LEGEND

-  ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:
-  COMPOSITE WOOD: JAMES HARDIE LAP SIDING - COLOUR TBD
-  VINYL LAP SIDING: VINYL LAP SIDING - COLOUR TBD
-  DOOR AND WINDOW TRIM: JAMES HARDIE 3 1/2" BATTEN TRIM - COLOUR TBD



PROPOSED RIGHT ELEVATION



UNPROTECTED OPENING CALCULATION