

VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

EXISTING UTILITIES	
---	SANITARY SEWER
---	STORM SEWER
---	WATER LINE
---	FENCE
●	TYPE 5A MANHOLE
■	TYPE 1S MANHOLE
□	CATCH BASIN
⊕	HYDRANT
X	WATER VALVE
---	U/G ELECTRICAL
---	GAS
PROPOSED UTILITIES	
---	SANITARY SEWER
---	STORM SEWER
---	WATER LINE
---	FENCE
○	TYPE 5A MANHOLE
⊙	CATCHBASIN/MANHOLE
□	TYPE 1S MANHOLE
□	CATCH BASIN
⊕	HYDRANT
X	WATER VALVE
⊙	WATER METER LOCATION
⊕	CONCRETE SWALE
⊕	ELECTRICAL METER LOCATION
⊕	GAS METER LOCATION

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1				
2				
3				
4				
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	26/05/29
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT



PROJECT

JOB DESCRIPTION
ALPINE PARK APARTMENT 33

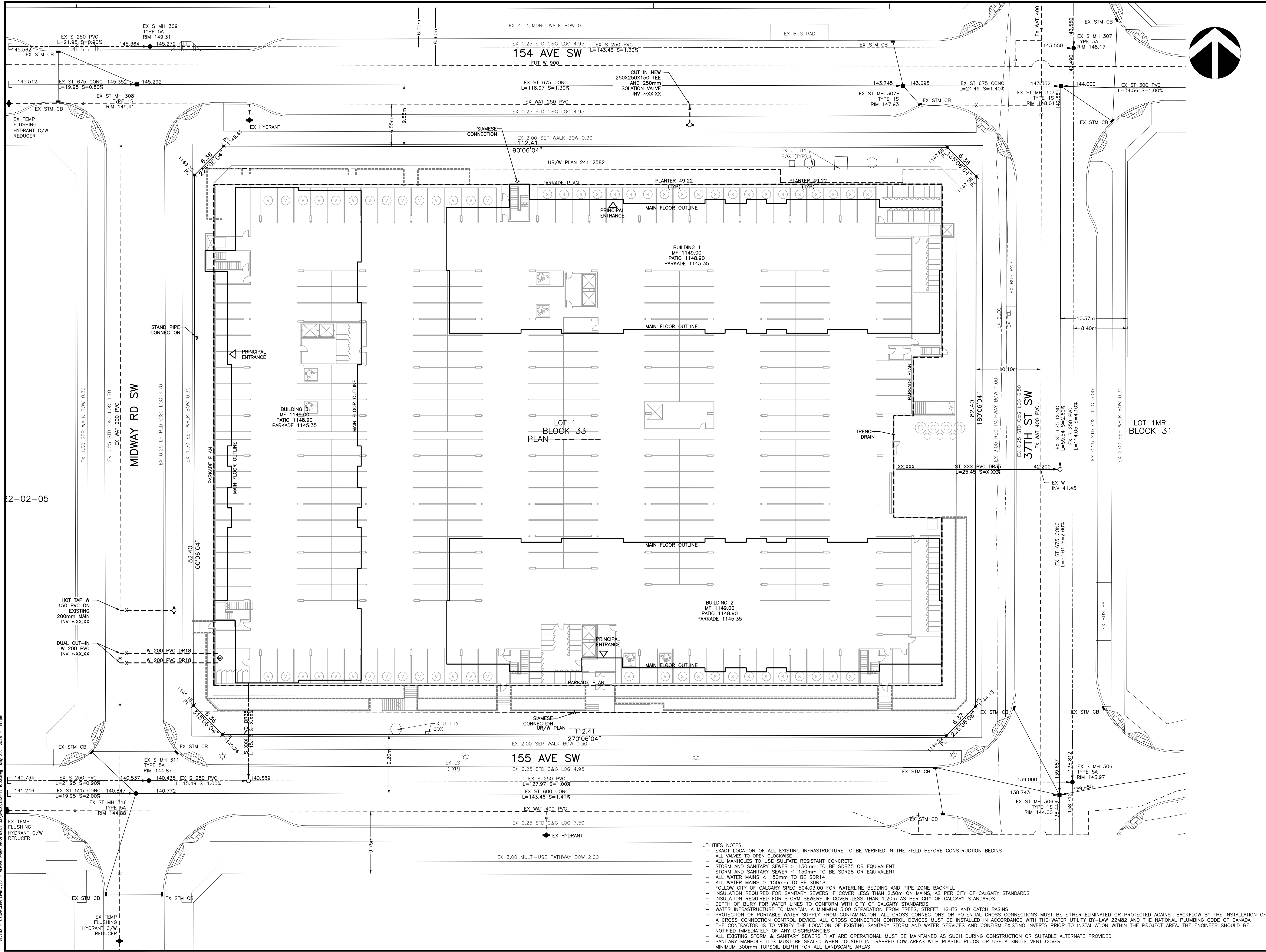
LOT: 1 BLK: 33 PLAN: -
DP#: - DSSP: -

ADDRESS: -
LEGAL DESCRIPTION: E 1/2-36-22-2-W5M

TITLE
SITE SERVICING PLAN (FOR DP)

SCALE: 1:250 STAMP:
 DWN: RH
 DES: RB
 DATE: MAY 29-26
 CHK: RB
 P. ENG: RB
 PERMIT:

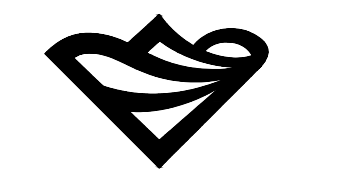
PROJECT NO. SHEET OF
 152-17 1 3
 DRAWING NAME SECTION ALL PRINTS FROM TO
 152-17-SVC R 0



UTILITIES NOTES:

- EXACT LOCATION OF ALL EXISTING INFRASTRUCTURE TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION BEGINS
- ALL VALVES TO OPEN CLOCKWISE
- ALL MANHOLES TO USE SULFATE RESISTANT CONCRETE
- STORM AND SANITARY SEWER > 150mm TO BE SDR35 OR EQUIVALENT
- STORM AND SANITARY SEWER ≤ 150mm TO BE SDR28 OR EQUIVALENT
- ALL WATER MAINS < 150mm TO BE SDR14
- ALL WATER MAINS ≥ 150mm TO BE SDR18
- FOLLOW CITY OF CALGARY SPEC 504.03.00 FOR WATERLINE BEDDING AND PIPE ZONE BACKFILL
- INSULATION REQUIRED FOR SANITARY SEWERS IF COVER LESS THAN 2.50m ON MAINS, AS PER CITY OF CALGARY STANDARDS
- INSULATION REQUIRED FOR STORM SEWERS IF COVER LESS THAN 1.20m AS PER CITY OF CALGARY STANDARDS
- DEPTH OF BURY FOR WATER LINES TO CONFORM WITH CITY OF CALGARY STANDARDS
- WATER INFRASTRUCTURE TO MAINTAIN A MINIMUM 3.00 SEPARATION FROM TREES, STREET LIGHTS AND CATCH BASINS
- PROTECTION OF PORTABLE WATER SUPPLY FROM CONTAMINATION: ALL CROSS CONNECTIONS OR POTENTIAL CROSS CONNECTIONS MUST BE EITHER ELIMINATED OR PROTECTED AGAINST BACKFLOW BY THE INSTALLATION OF A CROSS CONNECTION CONTROL DEVICE. ALL CROSS CONNECTION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH THE WATER UTILITY BY-LAW 22(MS) AND THE NATIONAL PLUMBING CODE OF CANADA
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING SANITARY STORM AND WATER SERVICES AND CONFIRM EXISTING INVERTS PRIOR TO INSTALLATION WITHIN THE PROJECT AREA. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES
- ALL EXISTING STORM & SANITARY SEWERS THAT ARE OPERATIONAL MUST BE MAINTAINED AS SUCH DURING CONSTRUCTION OR SUITABLE ALTERNATE PROVIDED
- SANITARY MANHOLE LIDS MUST BE SEALED WHEN LOCATED IN TRAPPED LOW AREAS WITH PLASTIC PLUGS OR USE A SINGLE VENT COVER
- MINIMUM 300mm TOPSOIL DEPTH FOR ALL LANDSCAPE AREAS

V1132 - CEDARGLEN LIVING - ALPINE PARK APARTMENT 33 (DSSP) 152-17 BASE.dwg May 29, 2026 - 1:43pm



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

- GRADING FEATURES**
- → → PROPOSED CONCRETE SWALE
 - PROPOSED CATCH BASIN
 - PROPOSED MANHOLE
 - PROPOSED CB/MANHOLE
 - ▨ PROPOSED ASPHALT PAVING
 - ▨ PROPOSED CONCRETE
 - ▨ PROPOSED PLANTER
 - - - PROPOSED RETAINING WALL
 - ↔ ↔ ↔ PROPOSED GRASS SWALE
 - ○ ○ PROPOSED CHAINLINK FENCE
 - ○ ○ PROPOSED POST & CABLE FENCE
 - ○ ○ PROPOSED SCREEN FENCE
 - ⊕ PROPOSED FINISHED GRADE
 - ⊕ EXISTING PL GRADE

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1				
2				
3				
4				
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	26/05/29
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

cedarglen
LIVING

PROJECT

JOB DESCRIPTION
ALPINE PARK APARTMENT 33

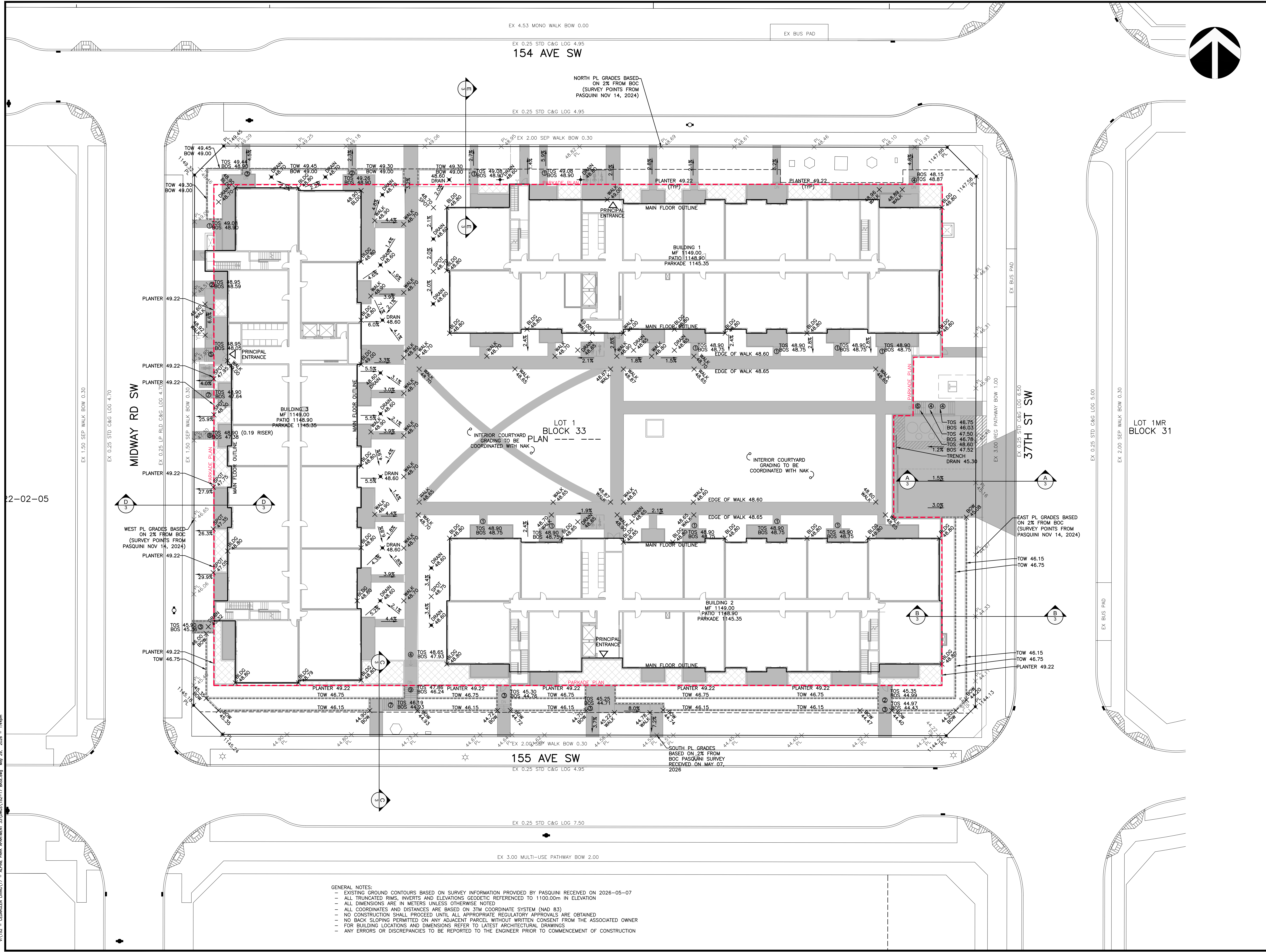
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DP#:	DSSP: -	

ADDRESS: -
LEGAL DESCRIPTION: -
TITLE

SITE GRADING PLAN (FOR DP)

SCALE: 1:250	STAMP:
DWN: RH	
DES: RB	
DATE: MAY 29-26	
CHK: RB	
P. ENG: RB	
PERMIT:	

PROJECT NO.	SHEET	OF
152-17	2	3
DRAWING NAME	SECTION	SCALE
152-17 GRAD	ALL PRINTS	R 0



GENERAL NOTES:

- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY PASQUINI RECEIVED ON 2026-05-07
- ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1100.00m IN ELEVATION
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
- ALL COORDINATES AND DISTANCES ARE BASED ON 3TM COORDINATE SYSTEM (NAD 83)
- NO CONSTRUCTION SHALL PROCEED UNTIL ALL APPROPRIATE REGULATORY APPROVALS ARE OBTAINED
- NO BACK SLOPING PERMITTED ON ANY ADJACENT PARCEL WITHOUT WRITTEN CONSENT FROM THE ASSOCIATED OWNER
- FOR BUILDING LOCATIONS AND DIMENSIONS REFER TO LATEST ARCHITECTURAL DRAWINGS
- ANY ERRORS OR DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION

V:\152 - CEDARGLEN LIVING - ALPINE PARK APARTMENT 33\DWG\152-17 GRAD.dwg May 29, 2026 - 1:44pm



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

GRADING FEATURES

- → → PROPOSED CONCRETE SWALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- ⊙ PROPOSED CB/MANHOLE
- ▨ PROPOSED ASPHALT PAVING
- ▩ PROPOSED CONCRETE
- ▤ PROPOSED PLANTER
- - - PROPOSED RETAINING WALL
- ↔ ↔ ↔ PROPOSED GRASS SWALE
- ○ ○ PROPOSED CHAINLINK FENCE
- □ □ PROPOSED POST & CABLE FENCE
- □ □ PROPOSED SCREEN FENCE
- + + + PROPOSED FINISHED GRADE
- + + + EXISTING PL GRADE

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	28/05/29
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

cedarglen
LIVING

PROJECT

JOB DESCRIPTION
**ALPINE PARK
APARTMENT 33**

LOT: 1 BLK: 33 PLAN: --

DP#: - DSSP: -

ADDRESS: --

LEGAL DESCRIPTION: --

TITLE

**SECTIONS
(FOR DP)**

SCALE: 1:250 STAMP:

DWN: RH

DES: RB

DATE: MAY 29-26

CHK: RB

P. ENG: RB

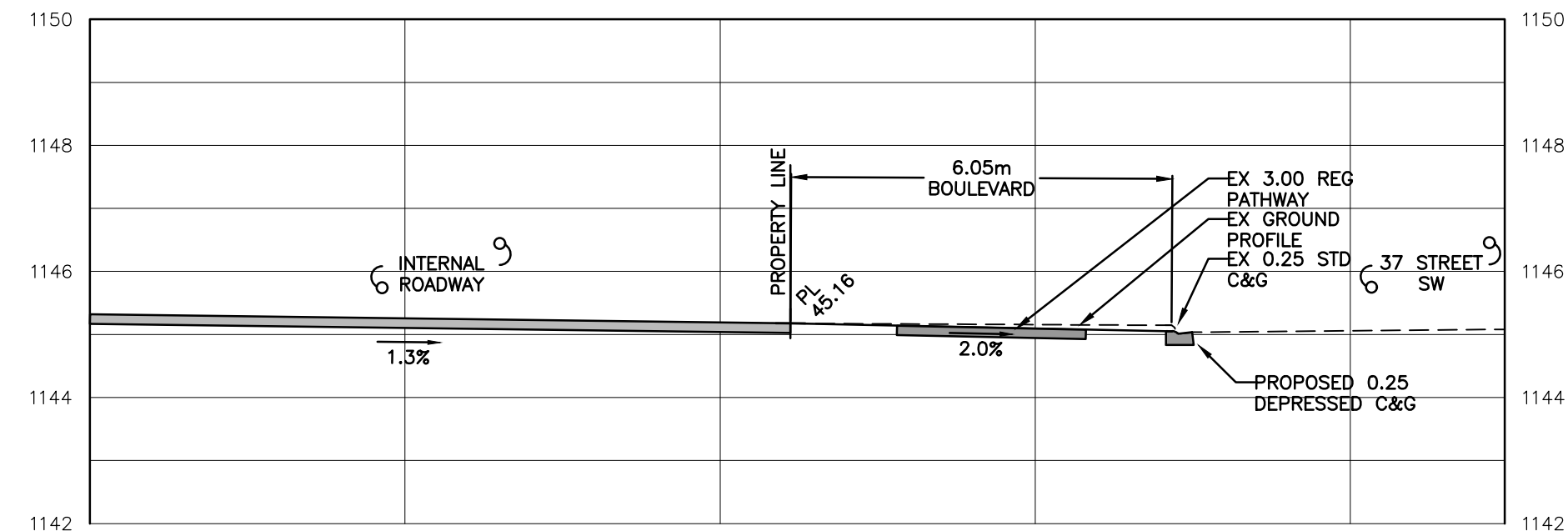
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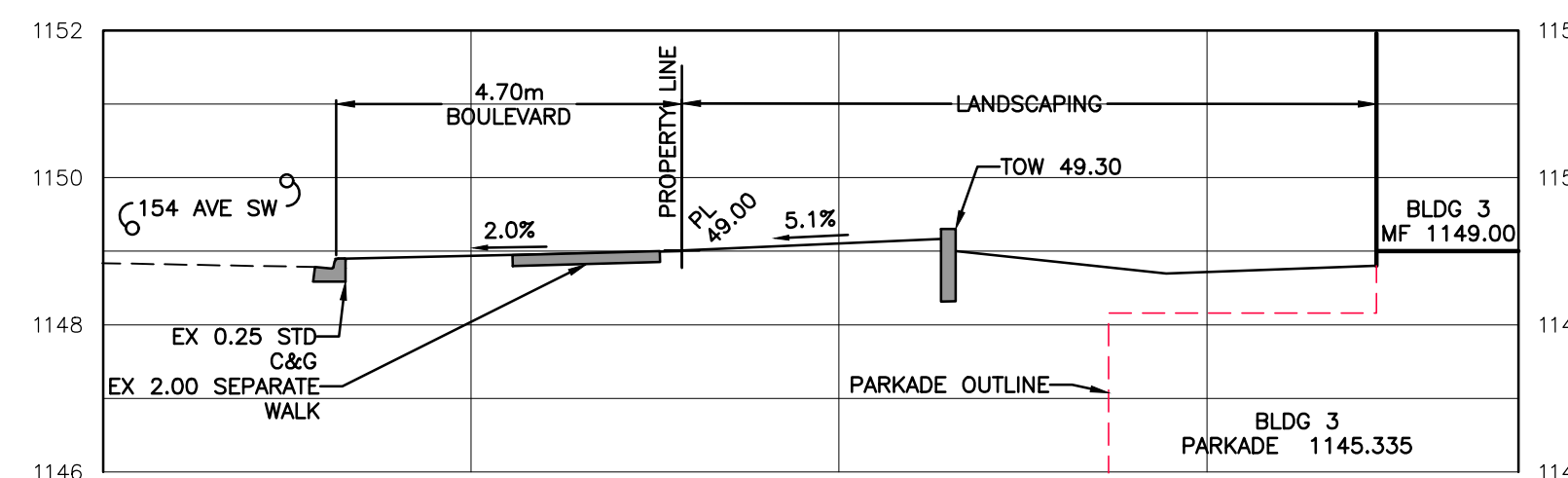
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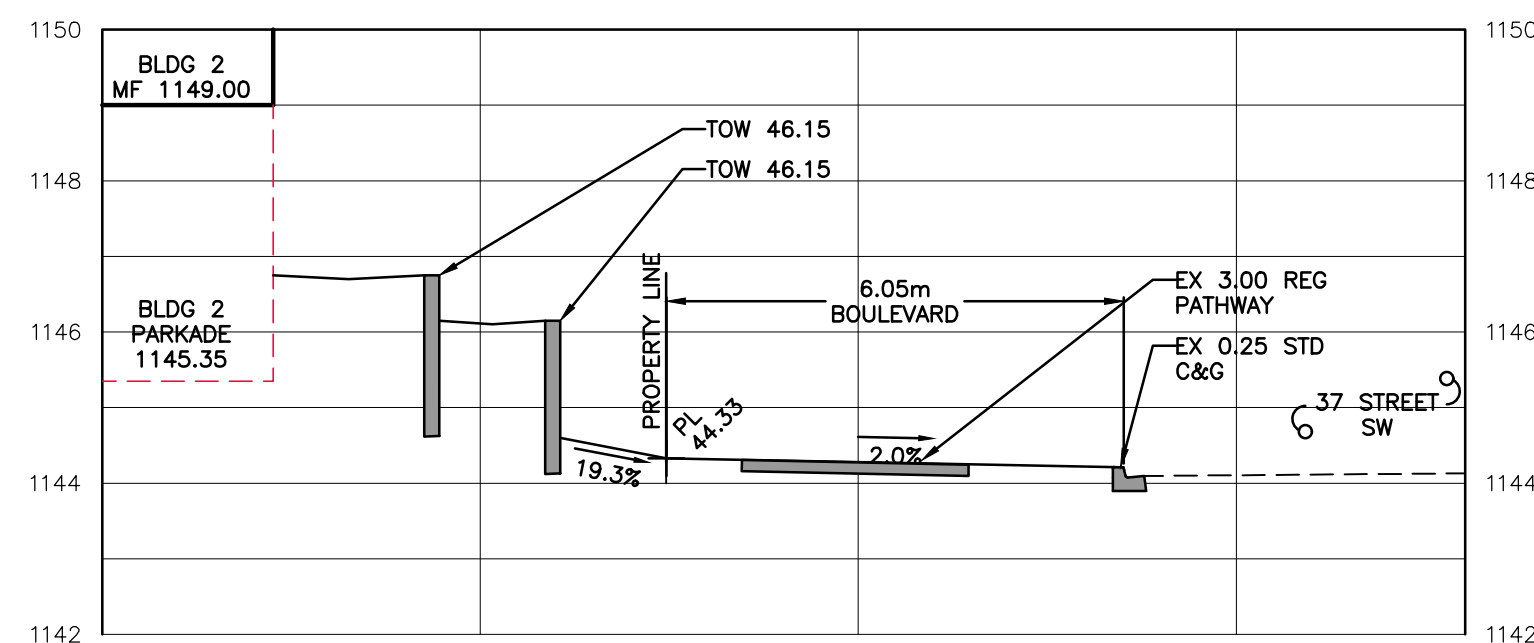
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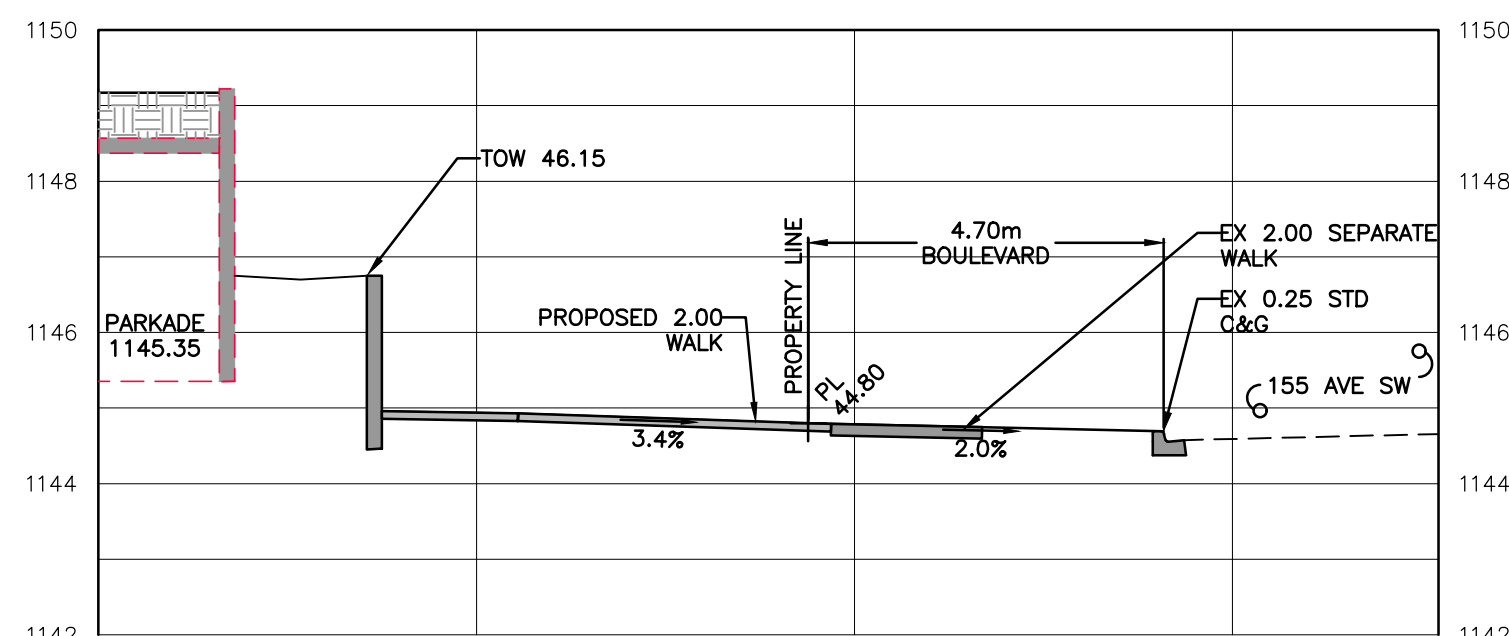
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COMMERCIAL CROSSING
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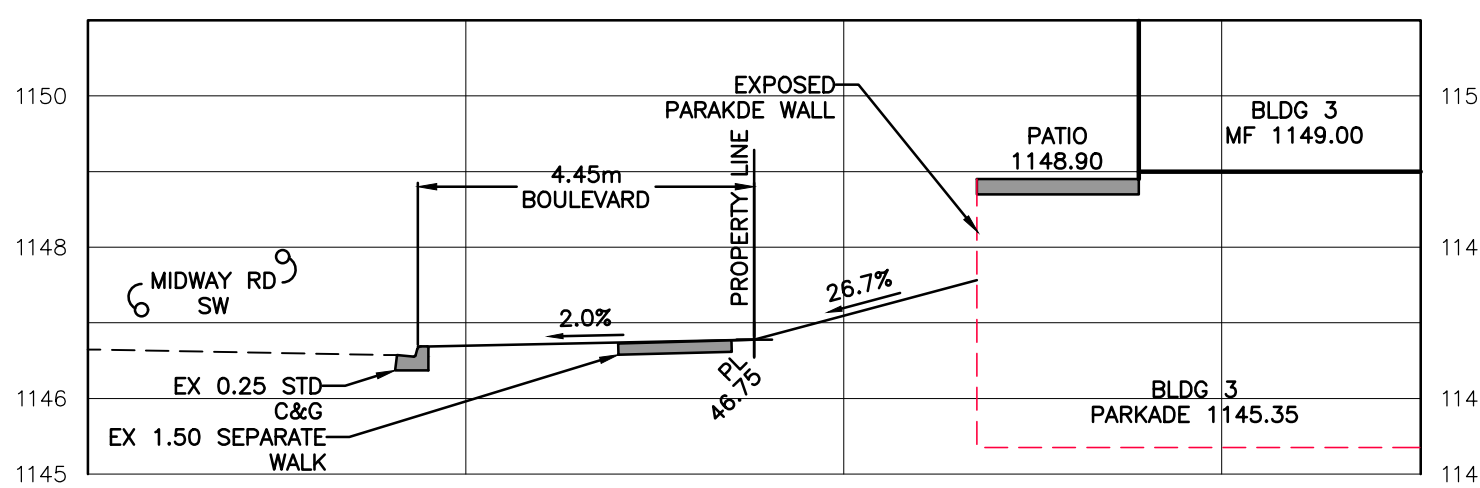
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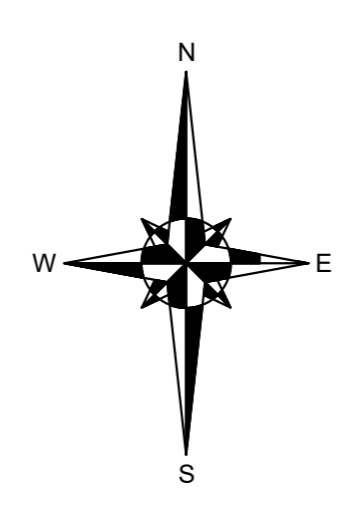
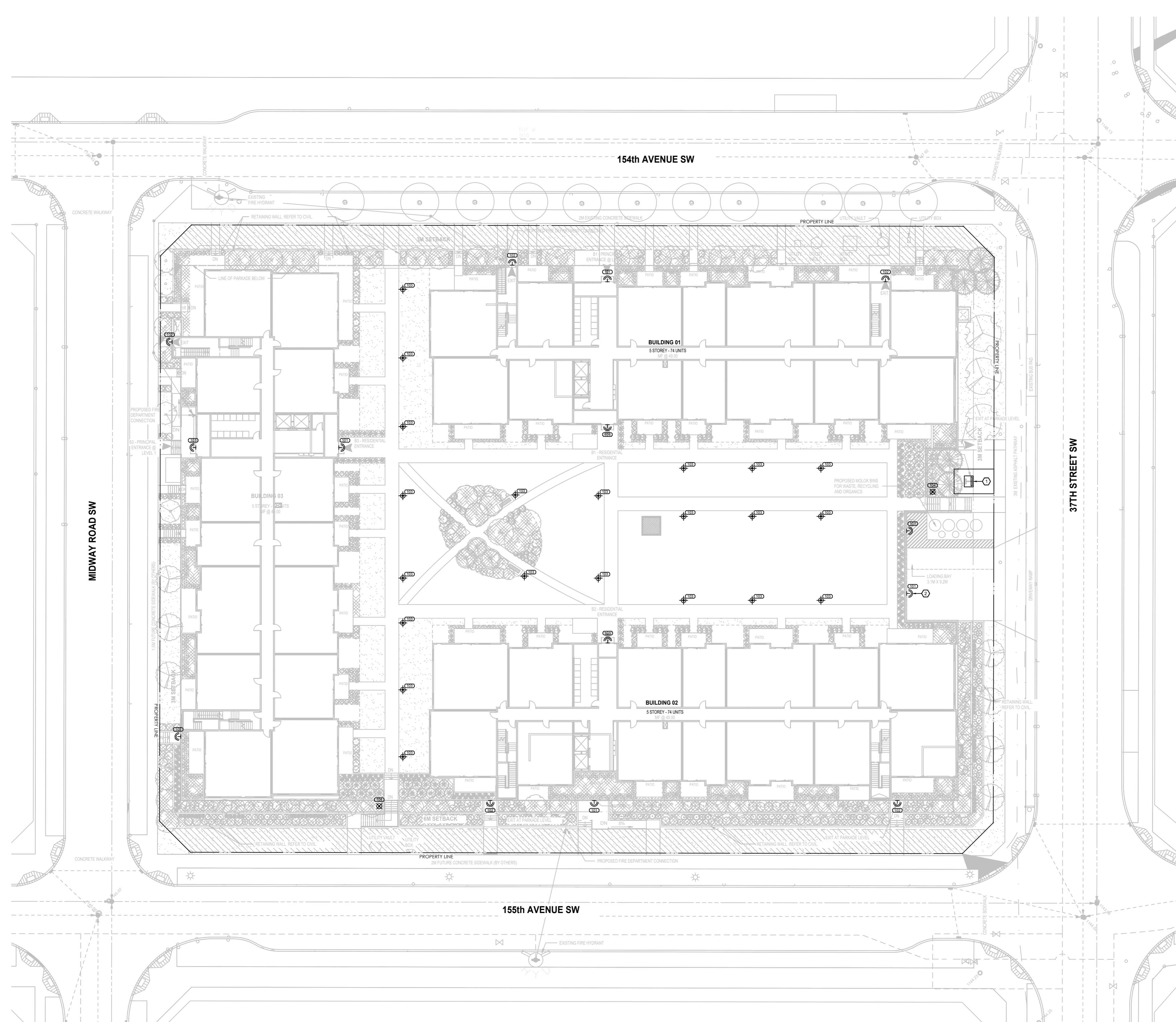
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BOULEVARD SECTION
SCALE 1:100



C
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BOULEVARD SECTION
SCALE 1:100



D
2
BOULEVARD SECTION
SCALE 1:100

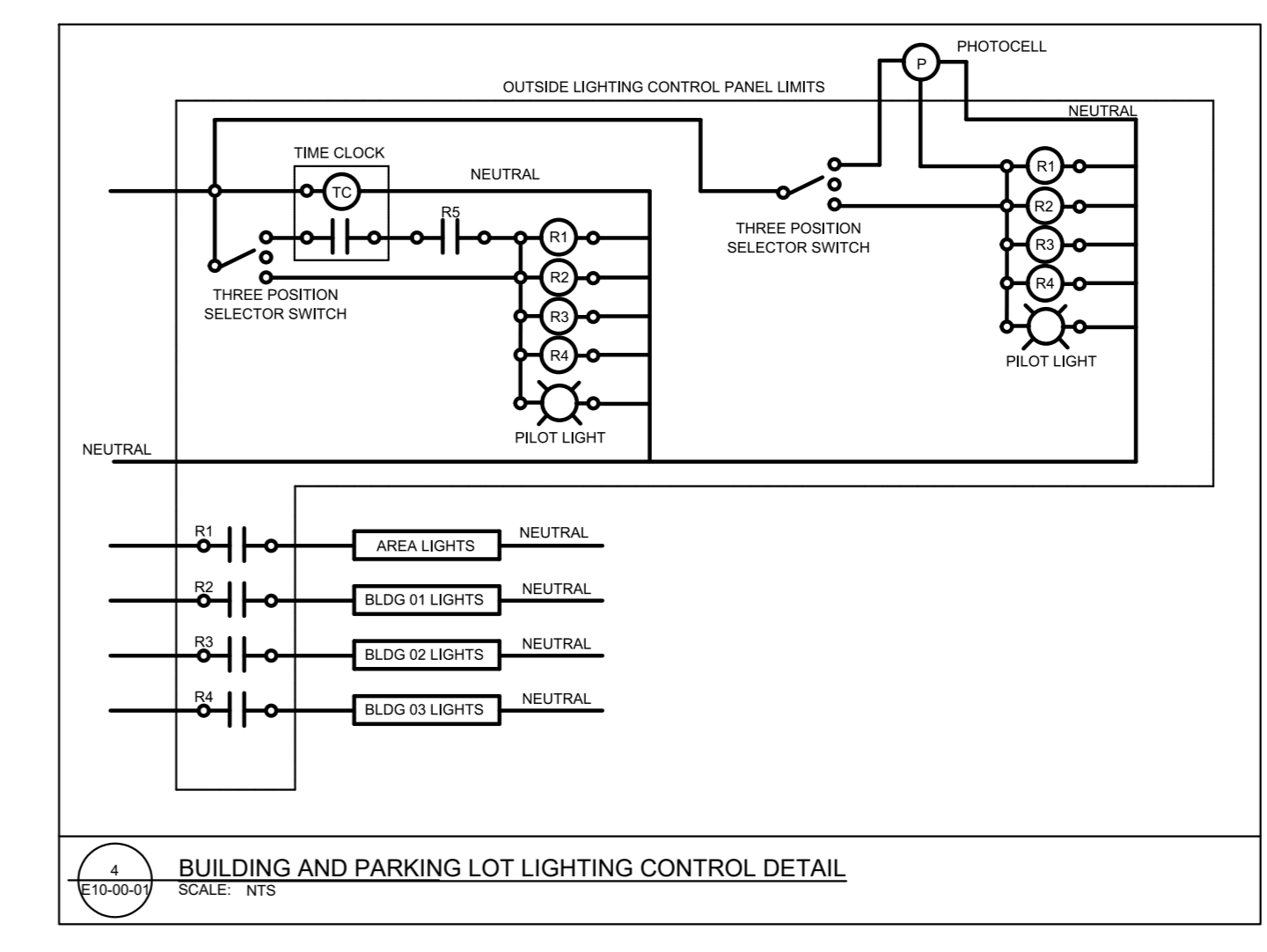
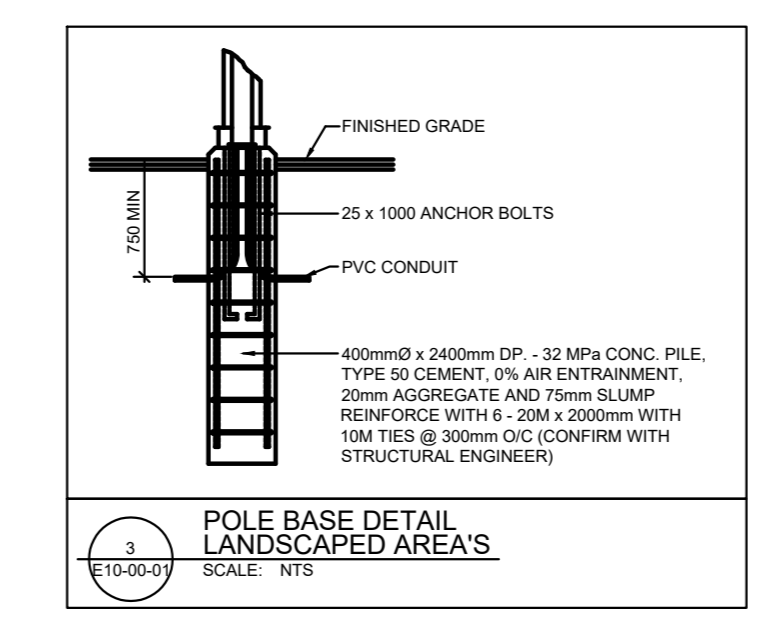
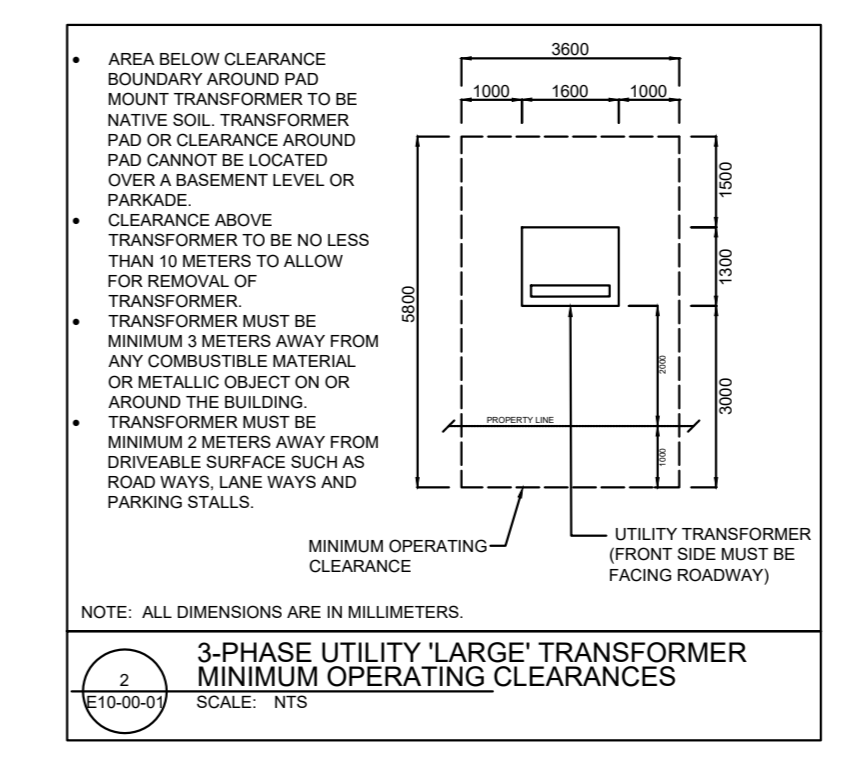


PROJECT INFORMATION:
 LEGAL DESCRIPTION:
 MUNICIPAL ADDRESS: 1030, 37 STREET SW, CALGARY AB

THIS DRAWING IS FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERS DRAWINGS FOR ALL DEEP SERVICE INFORMATION.

REFER TO SHALLOW SERVICE DESIGN DRAWINGS FOR ALL SHALLOW SERVICE INFORMATION FOR EACH BUILDING.

- GENERAL ELECTRICAL SITE NOTES:**
- LIGHTING CONTROL LERS TO INCLUDE TIME CLOCK AND PHOTOCELL CONTROL FUNCTION TO TURN OFF EXTERIOR LAMPWES WHEN SUFFICIENT DAYLIGHT AVAILABLE AND WHEN THE LIGHTING IS NOT REQUIRED DURING NIGHTTIME HOURS.
- SITE DRAWING KEY NOTES:**
- PROPOSED LOCATION OF UTILITY TRANSFORMER
 - FIXTURE TYPE '01' IN THIS LOCATION TO BE MOUNTED ABOVE PARKADE OVERHEAD DOOR AT PARKADE ENTRANCE.



SITE PLAN SITE LIGHTING LAYOUT
 SCALE: 1/8"=1'-0"

SYMBOL	DESCRIPTION
(Symbol)	BOLLARD LIGHT
(Symbol)	EXTERIOR WALL MOUNTED LIGHT
(Symbol)	EXTERIOR WALL MOUNTED STEP LIGHT
(Symbol)	POST TOP LIGHT

EXTERIOR LIGHTING SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	MANUFACTURERS CATALOGUE NUMBER	LAMP	LUMENS	QUANTITY	TOTAL METERS	MOUNTING	VOLTS	REMARKS
LED	WALL ENTRANCE WALL LIGHT	FALETTE	WPA500-LWV-02	30W LED	3000	8	240	WALL	120	
LED	EXIT DOOR WALL LIGHT	FALETTE	WPA500-LWV-02	10W LED	1000	6	72	WALL	120	
LED	BOLLARD LIGHT	HINKLEY	ATLANTIS	8W LED	800	21	168	BOLLARD	120	
LED	POST TOP LIGHT	FALETTE	APR4000-TLWV-02	30 30W LED	3000	2	72	POLE	120	



This drawing has been prepared solely for the use of CEDARGLEN and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
DEVELOPMENT PERMIT
 Key Plan

Consultants
 Survey:
 Civil:
 Architecture:
 Structural:
 Mechanical:
 Electrical:
 Interiors:
 Landscape:

Consultant
TUJ ENGINEERING
 MECHANICAL ELECTRICAL
 PROJECT #2024-078

Seal(s)
 2

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 Calgary, AB, Canada T2G 4Y5
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 NORR Architects Engineers Planners
 A Partnership of Corporations
 Jonathan Higham, Architect, AIA, OAA, OAC, MRC, MAA, AIAA, AIAPE
 Sarah Tomlin, P.Eng., P.Eng.
 Denis Hu, P.Eng., P.Eng.

Project Manager: Drawn: K.V. LU
 Project Leader: Checked: J.P. J.P./K.V.

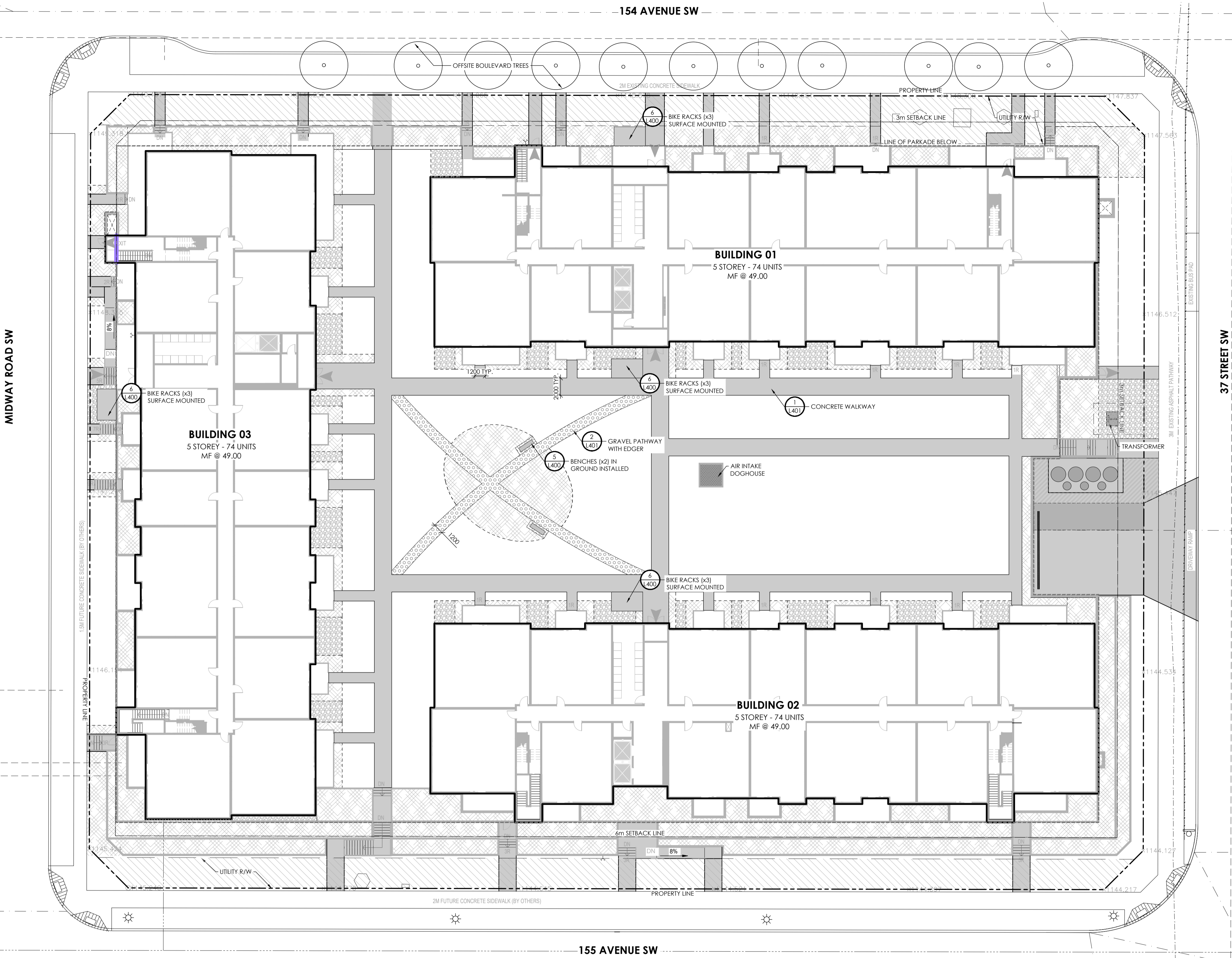
Client
CEDARGLEN LIVING
 100, 115 QUARRY PARK RD SE, CALGARY AB
 Project
MULTI-FAMILY - ALPINE PARK 2
 15300, 37 STREET SW, CALGARY AB
 Drawing Title
SITE PLAN SITE LIGHTING LAYOUT

Scale: As indicated
 Project No.: RZ1124-0080
 Drawing No.: **E10-00-01**
 ISO A3 Title Block - v.2023 - Rev (Sept23) - Copyright © 2023



GENERAL NOTES

1. THE STANDARDS AND GUIDELINES APPLICABLE FOR THE WORK ARE INCLUDE ALL NECESSARY CONSTRUCTION STANDARDS AND GUIDELINES OF LANDSCAPE, ENGINEERING AND ENVIRONMENTAL REGULATION.
2. WORK SHALL CONFORM TO CURRENT MUNICIPAL LAND USE BYLAW, AND STANDARD LANDSCAPE GUIDELINES & SPECIFICATIONS, CURRENT EDITION.
3. EQUIPMENT AND MATERIALS TO BE AS SPECIFIED. ANY REQUEST FOR ALTERNATES MUST CONFORM TO MUNICIPAL EQUIVALENCY SPECIFICATIONS AND BE APPROVED BY NAK AND THE MUNICIPALITY PRIOR TO BID SUBMISSION.
4. UTILITY LOCATIONS SHALL BE LOCATED IN THE FIELD AND VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTACT ALBERTA 1 CALL (1-800-242-3447) FOR LOCATES PRIOR TO ANY EXCAVATION.
5. CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE PRIOR TO COMMENCEMENT OF WORK.
6. LAYOUT INCLUDING PLANTING, PATHS, WALLS, FORM WORK, FURNITURE AND EQUIPMENT SHALL BE APPROVED ON SITE BY NAK PRIOR TO CONSTRUCTION AND INSTALLATION. NAK REQUIRES 24 HOURS NOTIFICATION/ REQUEST PRIOR TO LAYOUT INSPECTION.
7. PATH AND HARD SURFACE AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE; PATH GRADIENTS SHALL NOT EXCEED 8% UNLESS APPROVED IN WRITING BY NAK.
8. DEEP AND SHALLOW UTILITIES LOCATIONS SHALL BE VERIFIED ON SITE PRIOR TO PLANTING INSTALLATION. RECORD DRAWINGS WILL BE SUBMITTED TO PARKS AND UTILITY LINE ASSIGNMENT WITHIN 30 DAYS OF ISSUANCE OF CCC IF THERE ARE ANY FIELD CHANGES TO THE TREE PLANTING LOCATIONS.
9. ALL LANDSCAPED AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE; MINIMUM GRADIENT SHALL BE NO LESS THAN 2.0% AND MAXIMUM GRADIENT SHALL BE NO MORE THAN 33%.
10. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.



LAYOUT PLAN LEGEND

- PROPERTY LINE
- 0.9m HI. RAILING
- SANITARY SEWER PIPE
- WATER MAIN PIPE
- STORM WATER PIPE
- GAS PIPE
- POWER LINE
- SUBDRAINAGE
- SWALE
- CULVERT
- CATCH BASIN/MANHOLE
- WATER VALVE BY ENG.
- WATER HYDRANT BY ENG.
- PWS
- PARK WATER SERVICE
- UTILITY R/W

HARD SURFACING

- CONCRETE PAVING
- ROCKS
- CRUSHED RUNDLE PATHWAY

AMENITIES

- BENCH
- BIKE RACK
- PICNIC TABLE

Stamp for Revisions to Approved Plan

Revision	Approval Authority	SIGNATURE	YY.MM.DD

Revisions - Originally Approved By

Stamp for Approval

ISSUED FOR DP SUBMISSION	AJ	CR	2024-05-28
ISSUED FOR CLIENT'S REVIEW	AJ	CR	2024-10-11
ISSUED	Dwn.	PM	YY.MM.DD

The Alberta Association of Landscape Architects
Jack N. Vanstone
2024-05-28
PROJECT MANAGER: CR PROJECT NO: 24-146

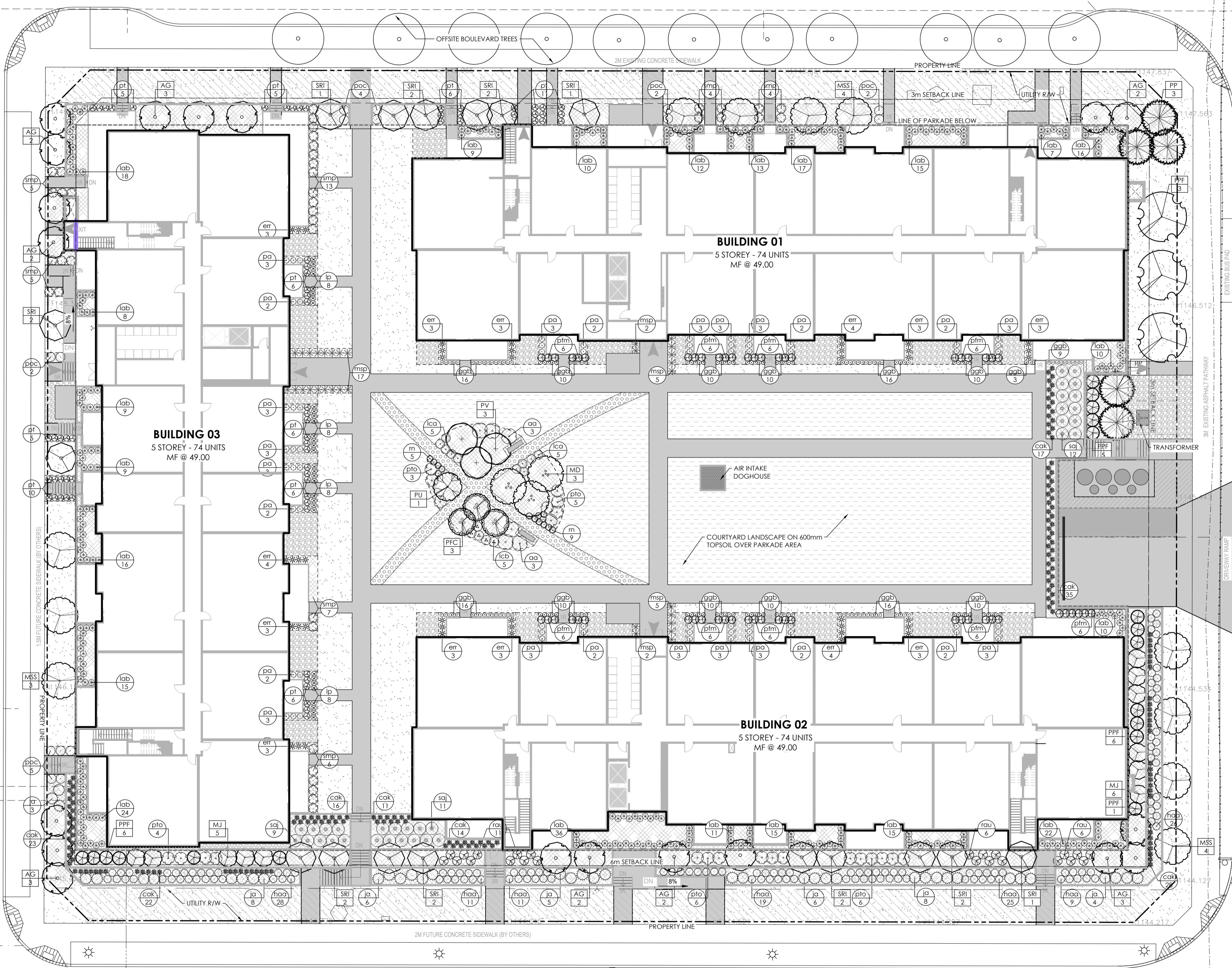
Client/Project
CEDARGLEN
ALPINE PARK II MULTI-FAMILY

Title
LAYOUT PLAN



MIDWAY ROAD SW

37 STREET SW



PLANTING NOTES

1. MINIMUM SETBACKS FOR TREES (CURRENT DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS; LANDSCAPE CONSTRUCTION 4.1.3)

Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
Sanitary	3.0m	4.0m	2.5m	3.0m	0m	3.0m
Storm (4.5m deep)	3.0m	4.0m	0m	2.5m	0m	3.0m
Water	3.0m	4.0m	0m	2.5m	0m	3.0m
Hydrants	3.0m	4.0m	N/A	2.5m	N/A	3.0m
Overhead (to outside conductor)	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
TELUS	2.0m	2.0m	1.5m	1.5m	2.0m	2.0m
CTV	2.0m	2.0m	1.5m	1.5m	2.0m	2.0m
ENMAX	2.0m	2.0m	1.5m	1.5m	2.0m	2.0m
Transformers (within Right of Way)	N/A (Tree planting not permitted within Utility Right-of-Way)					
	Poplar		Deciduous		Coniferous	
Street Light Pole	5.0m	4.0m-5.0m	Min. 4.0m			

- A) A 3.0m SEPARATION MAY BE REQUIRED AT THE DISCRETION OF THE UTILITIES.
- PIPE JOINTS ARE NOT PERMITTED ON WATER OR SEWER SERVICES LOCATED UNDER MEDIANS.
- TREES ON RESIDENTIAL (15m ROW) BOULEVARDS, WITH NO SIDEWALKS, CAN BE PLANTED 1.0m FROM DRIVEWAYS. DRIVEWAY CROSSINGS ARE TO BE ALIGNED, WHEREVER POSSIBLE, TO ALLOW SPACE FOR TREE PLANTING.
- THE EXACT LOCATION OF TREES SHALL BE DETERMINED ON SITE AND SHALL BE SUBJECT TO DRIVEWAY LOCATIONS, SERVICING, AND STREET LIGHTING, AND OTHER FURNISHINGS WHERE APPLICABLE. RECORD DRAWINGS ARE REQUIRED IF THERE ARE MAJOR CHANGES.
- TREES PLANTED 2.5M OR LESS FROM FENCE LINES WILL BE BEDDED.
- BEDS AND TREE WELLS TO RECEIVE A MINIMUM OF 75mm DEPTH OF CLEAN CONIFEROUS TREE MULCH IMMEDIATELY TO ENSURE MOISTURE IS MAINTAINED IN THE ROOT ZONE TO FACILITATE EARLY ROOT DEVELOPMENT AND PROVIDE THE TREES WITH THE BEST ESTABLISHMENT OPPORTUNITY.
- ALL PLANT MATERIAL MUST MEET THE SPECIFICATIONS SET OUT IN THE LATEST GUIDE SPECIFICATIONS FOR NURSERY STOCK PREPARED BY THE CNLA AND ISA.
- AT TIME OF ACCEPTANCE ALL MATERIAL MUST BE A HEALTHY, VIGOROUS GROWING CONDITION PER CITY OF CALGARY PARKS SPECIFICATIONS AND DETAILS.
- PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR AS OUTLINED IN THE CONTRACT AND AS PER CITY OF CALGARY PARKS LANDSCAPE GUIDELINES, SPECIFICATIONS AND DETAILS UNTIL THE DATE OF FINAL ACCEPTANCE CERTIFICATE.
- APPLY TOPSOIL TO THE FOLLOWING MINIMUM DEPTHS, MEASURED AT RIGHT ANGLES TO THE SUBGRADE AFTER LEVELING WITH A TOLERANCE OF 25mm OVER A DISTANCE OF 2.4m:
 - 300mm FOR SODDED AREAS
 - 600mm FOR SHRUB BEDS
- ALL SOD TO BE DROUGHT TOLERANT FESCUE SOD.
- LOW WATER IRRIGATION SYSTEM TO BE PROVIDED AS PER CITY'S CURRENT BY-LAW:
 - TO CONFINED TREES AND SHRUBS
 - PLANTING WITH SIMILAR WATER REQUIREMENTS ARE GROUPED TOGETHER
 - 30% MIN. TREES AND SHRUBS

PROJECT NAME: CEDARGLEN GLACIER RIDGE MULTI-FAMILY

CIVIC ADDRESS: 15350 37 STREET SW

ZONE: MULTI RESIDENTIAL HIGH DENSITY LOW RISE MH-1 DISTRICT

TOTAL AREA: 11057m²

LANDSCAPE AREA	REQUIRED	PROVIDED
LANDSCAPE AREA	4091m ² (37.0%) min.	6343
LANDSCAPE HARD SURFACE AREA	2046m ² (50.0%) max.	2146
LANDSCAPE SOFT SURFACE AREA	2046m ² (50.0%) min.	4197
SOD AREA	1227m ² (30.0%) max.	1575

SITE REQUIREMENTS

TREES	REQUIRED	PROVIDED
DECIDUOUS TREES	91	94
CONIFEROUS TREES	75% max.	71
SHRUBS	25% min.	23
		296

SETBACK REQUIREMENTS

FRONT SETBACK (NORTH)	REQUIRED	PROVIDED
FRONT SETBACK (NORTH)	3.0m	3.0m
REAR SETBACK (SOUTH)	3.0m	3.0m
SIDE SETBACK (EAST)	3.0m	3.0m
SIDE SETBACK (WEST)	3.0m	3.0m

TREE PLANTING

REAR SETBACK (NORTH)	REQUIRED	PROVIDED
REAR SETBACK (NORTH)	AREA: 349m ²	
DECIDUOUS 50mm CALIPER	3	0
DECIDUOUS 75mm CALIPER	3	0
CONIFEROUS 2.0m HT.	1	3
CONIFEROUS 3.0m HT.	1	0
SHRUBS	16	0
FRONT SETBACK (SOUTH) <td>REQUIRED</td> <td>PROVIDED</td>	REQUIRED	PROVIDED
FRONT SETBACK (SOUTH)	AREA: 682m ²	
DECIDUOUS 50mm CALIPER	6	0
DECIDUOUS 75mm CALIPER	6	0
CONIFEROUS 2.0m HT.	2	0
CONIFEROUS 3.0m HT.	2	0
SHRUBS	30	0
SIDE SETBACK (WEST) <td>REQUIRED</td> <td>PROVIDED</td>	REQUIRED	PROVIDED
SIDE SETBACK (WEST)	AREA: 261m ²	
DECIDUOUS 50mm CALIPER	2	7
DECIDUOUS 75mm CALIPER	2	6
CONIFEROUS 2.0m HT.	1	0
CONIFEROUS 3.0m HT.	1	0
SHRUBS	12	0
SIDE SETBACK (EAST) <td>REQUIRED</td> <td>PROVIDED</td>	REQUIRED	PROVIDED
SIDE SETBACK (EAST)	AREA: 261m ²	
DECIDUOUS 50mm CALIPER	2	5
DECIDUOUS 75mm CALIPER	2	7
CONIFEROUS 2.0m HT.	1	0
CONIFEROUS 3.0m HT.	1	0
SHRUBS	12	0

SEEDING NOTES

- SUBGRADE TO BE SCARIFIED TO ENSURE ADEQUATE DRAINAGE.
- APPLY TOPSOIL:
 - 300mm FOR NATIVE SEEDED AREAS
- CONTRACTOR TO PROVIDE SEED CERTIFICATES TO PARKS INSPECTOR FOR REVIEW AND APPROVAL PRIOR TO SEED APPLICATION. ALL SPECIES SUBSTITUTES WILL BE REQUIRE ADDITIONAL APPROVAL FROM CITY PARKS.
- APPLY SEED MIX BY BRILLIANT SEEDING OR OTHER APPROVED ALTERNATIVES.
- DO ALL SEEDING IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE DURING THE PERIOD FROM MAY 1 TO SEPTEMBER 30 (OR AS WEATHER PERMITS), WHEN WIND SPEEDS ARE MINIMAL, AND WHEN SITE CONDITIONS ARE APPROVED BY THE PARKS.
- APPLY 91kg/ha OF 16-20-0 FERTILIZER AT THE TIME OF SEEDING AND THEN TWO MONTHS INTO THE GROWING SEASON, APPLY 32 kg/ha OF 32-4-8 FERTILIZER.
- PROTECT ALL NEWLY SEEDED AREAS AS REQUIRED AND REMEDY ALL DAMAGED AREAS AND UNTIL TURF HAS PROPERTY ESTABLISHED.
- SEE TO BE CITY OF CALGARY NATIVE BRIGHT SEED MIX.

CONIFEROUS SHRUBS	PERENNIALS	GRASSES
ja Juniperus horizontalis 'Plumosa' ANDORRA JUNIPER 0.6m sprd 40	err Echinops ritro 'Royal Blue' GLOBE THISTLE #2 pot, 0.7m OC 42	saj Sedum 'Autumn Joy' AUTUMN JOY STONECROP #2 pot, 1.2m OC 32
ggg Gallardia grandiflora 'Burgundy' BURGUNDY BLANKET FLOWER #2 pot, 0.4m OC 155	haa Hydrangea arborescens 'Annabelle' ANNABELLE HYDRANGEA #2 pot, 0.8m OC 129	cak Calamagrostis x acutiflora 'Karl Foerster' KARL FORESTER FEATHER REED GRASS #2 pot, 0.5m OC 165
lp Linum perenne BLUE FLAX #2 pot, 0.6m OC 32	pa Perovskia atriplicifolia RUSSIAN SAGE #2 pot, 0.7m OC 63	mep Miscanthus sinensis 'Purpurascens' FLAME GRASS #2 pot, 1.0m OC 31
lab Leymus arenarius 'Blue Dune' BLUE DUNE LYME GRASS #2 pot, 0.7m OC 317		

PLANTING SCHEDULE

SPECIFICATION	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QTY
DECIDUOUS TREES	AG	Acer ginnala	AMUR MAPLE	75mm cal.	19
	FPF	Fraxinus pennsylvanica 'Footfalls'	FOOTHILLS GREEN ASH	50mm cal.	3
	MD	Malus 'Dolgo'	DOLGO CRABAPPLE	50mm cal.	3
	MJ	Malus 'Jefspire'	PURPLE SPIRE FLOWERING TREE	50mm cal.	11
	MSS	Malus 'Spring Snow'	SPRING SNOW FLOWERING TREE	50mm cal.	11
	PFC	Prunus fruticosa x cerasus 'Juliet'	JULIET CHERRY	50mm cal.	3
	PV	Prunus virginiana var. melanocarpa	CHOKECHERRY	50mm cal.	3
	PU	Pyrus ussuriensis	USSURIAN PEAR	50mm cal.	1
	SRI	Syringa reticulata 'Ivory Silk'	IVORY SILK LILAC	75mm cal.	19
CONIFEROUS TREES	PP	Picea pungens	COLORADO SPRUCE	2.0m ht.	5
	PPF	Picea pungens 'Fastigiata'	COLUMNAR BLUE SPRUCE	3.0m ht.	18
DECIDUOUS SHRUBS	aa	Aemilanchier alnifolia	SASKATOON	0.6m ht.	6
	poc	Physocarpus opulifolius 'Centre Glow'	CENTRE GLOW NINEBARK	0.6m ht.	15
	lca	Lonicera caerulea 'Aurora'	AURORA HONEYBERRY	0.6m ht.	10
	lab	Lonicera caerulea 'Borealis'	BOREALIS HONEYBERRY	0.6m ht.	5
	pt	Prunus tenella	RUSSIAN ALMOND	0.6m ht.	66
	pto	Prunus tomentosa	NANKING CHERRY	0.6m ht.	24
	pfm	Patentilla fruticosa 'McKay's White'	MCKAY'S WHITE POTENTILLA	0.8m ht.	54
	rau	Ribes aureum	GOLDEN FLOWERING CURRANT	0.6m ht.	23
	m	Ribes nigrum	BLACK CURRANT	0.6m ht.	14
	smf	Syringa meyeri 'Palibin'	DWARF KOREAN LILAC	0.6m ht.	39

PLANTING PLAN LEGEND

PROPERTY LINE
0.9m HT. RAILING
SANITARY SEWER PIPE
WATER MAIN PIPE
STORM WATER PIPE
GAS PIPE
POWER LINE
SUBDRAINAGE
SWALE
CULVERT
CATCH BASIN/MANHOLE
WATER VALVE BY ENG.
WATER HYDRANT BY ENG.
PARK WATER SERVICE
UTILITY R/W

HARD SURFACING
CONCRETE PAVING
ROCKS
CRUSHED RUNDLE PATHWAY

SOFT SURFACING
FESCUE SOD
WILD FLOWER SEED MIX (CITY OF CALGARY NATIVE BRIGHT SEED MIX)
CONIFEROUS BARK MULCH
PLANTING BED EDGE

AMENITIES
BENCH
BIKE RACK
PICNIC TABLE

PLANTING KEY
XX TREE SPECIES
00 QUANTITY
XX SHRUB SPECIES
00 QUANTITY

Client/Project

CEDARGLEN

ALPINE PARK II MULTI-FAMILY

Title

PLANTING PLAN

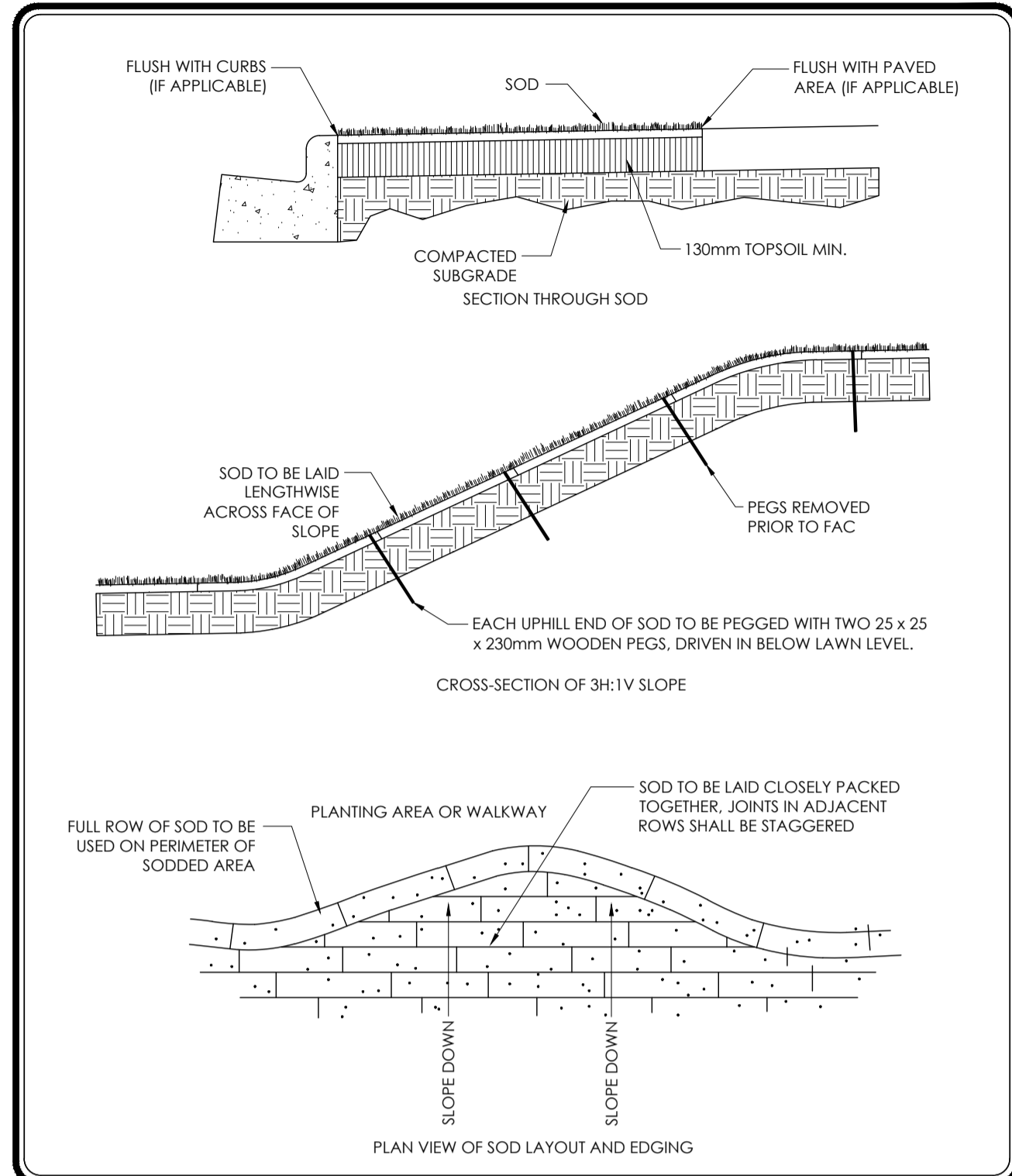
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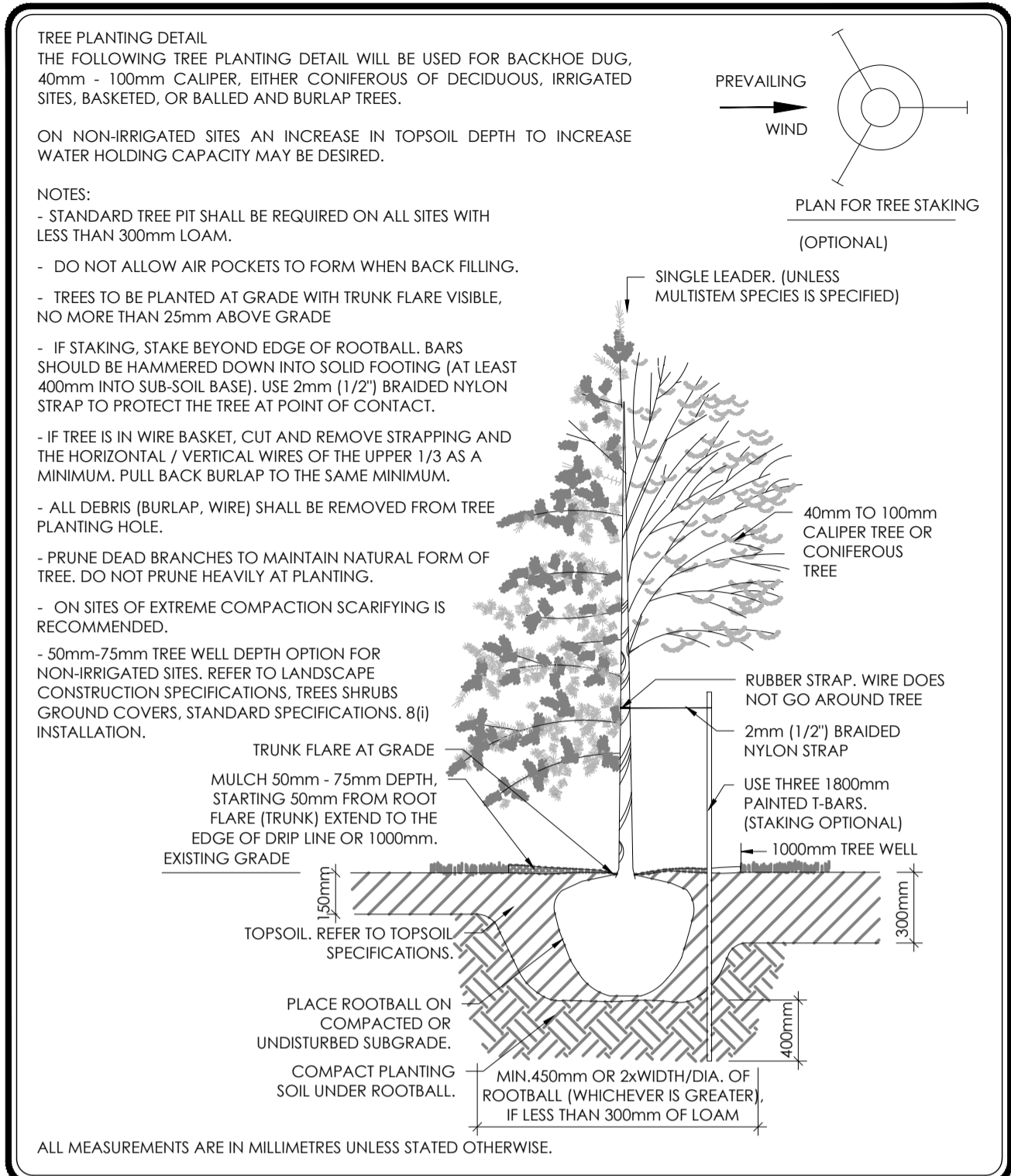
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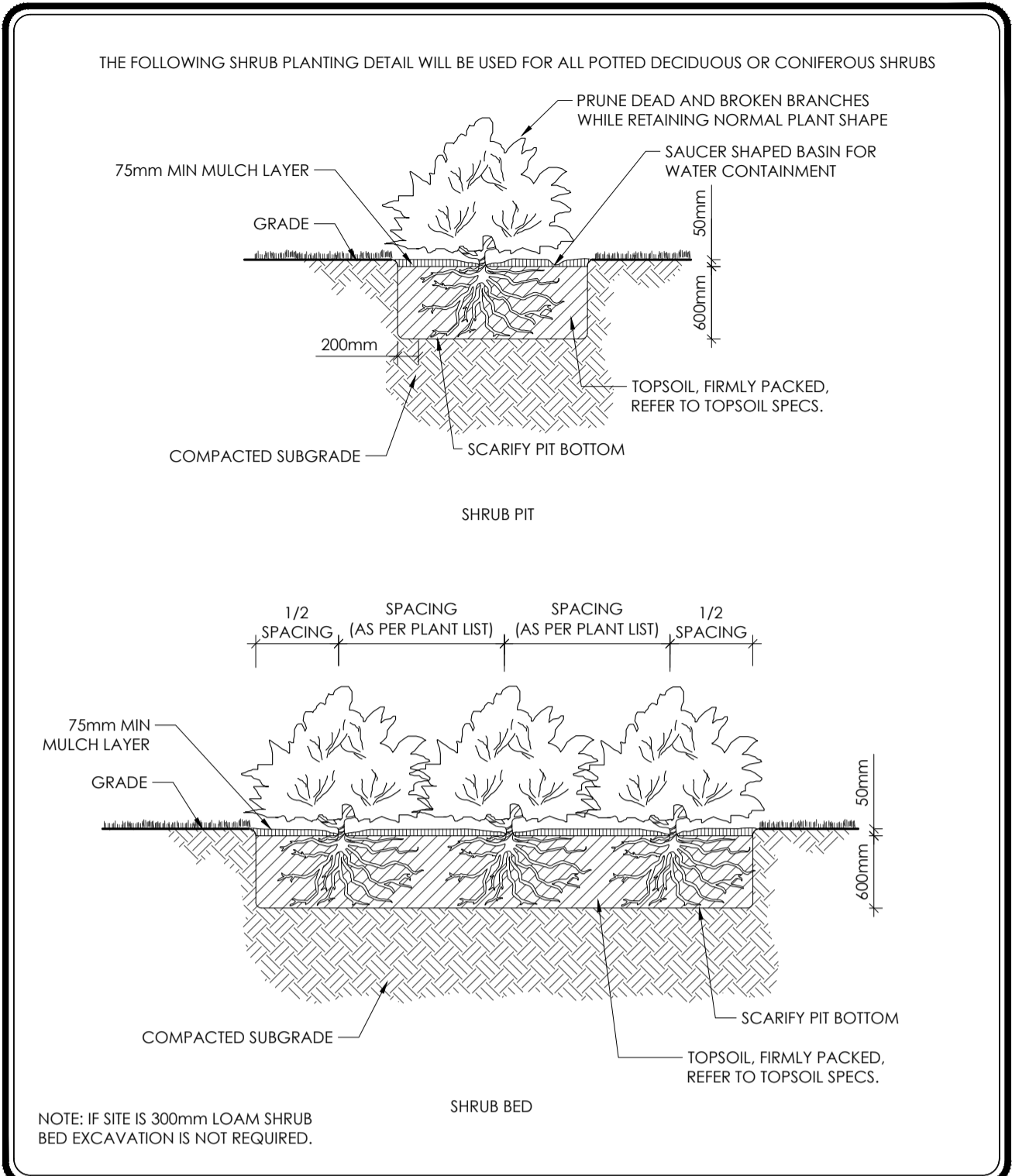
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	SPECIFICATIONS	M.M.	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	SOD DETAIL	DESIGN BY	29
		DATE	FILE NO.

1 SOD DETAIL
N.T.S



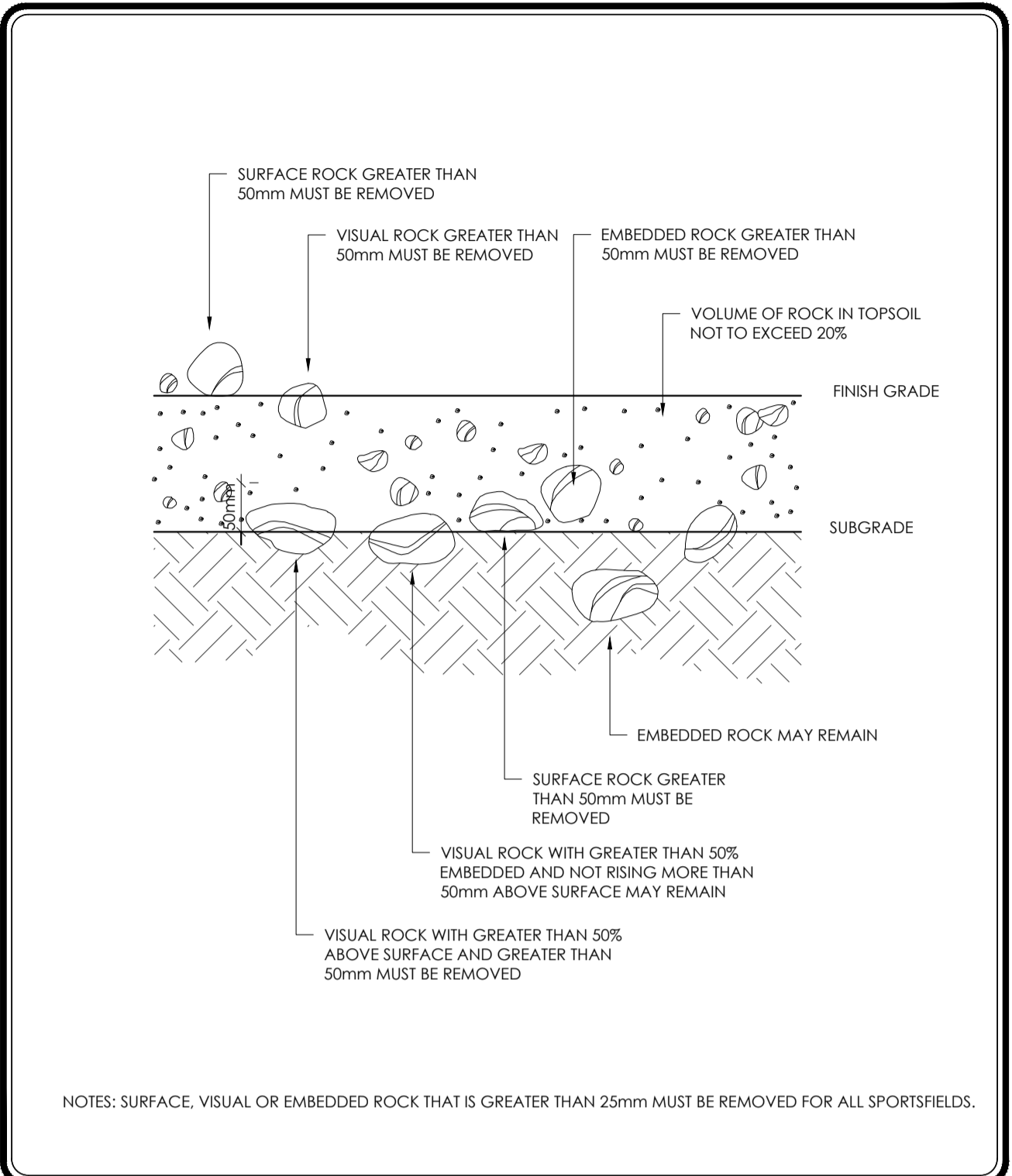
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	SHEET TITLE	DATE	SHEET NO.
	TREE PLANTING DETAIL 40mm - 100mm CALIPER TREES	DESIGN BY	23
		DATE	FILE NO.

2 TREE PLANTING DETAIL
N.T.S



	PROJECT TITLE	DRAWN BY	SCALE
	SPECIFICATIONS	W.B./M.M.	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	SHRUB PLANTING DETAIL	DESIGN BY	25
		DATE	FILE NO.

3 SHRUB PLANTING DETAIL
N.T.S



	PROJECT TITLE	DRAWN BY	SCALE
	SPECIFICATIONS	M.M.	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	TOPSOIL / SUBGRADE PREPARATION	DESIGN BY	28
		DATE	FILE NO.

4 TOPSOIL PREPARATION
N.T.S

Stamp for Revisions to Approved Plan

Revision

Approval Authority SIGNATURE YY.MM.DD
Approvals - Originally Approved By YY.MM.DD

Stamp for Approval

ISSUED FOR DP SUBMISSION A.J. C.R. 2024-05-28
ISSUED FOR CLIENT'S REVIEW A.J. C.R. 2024-10-11
ISSUED Dwn. P.M. YY.MM.DD

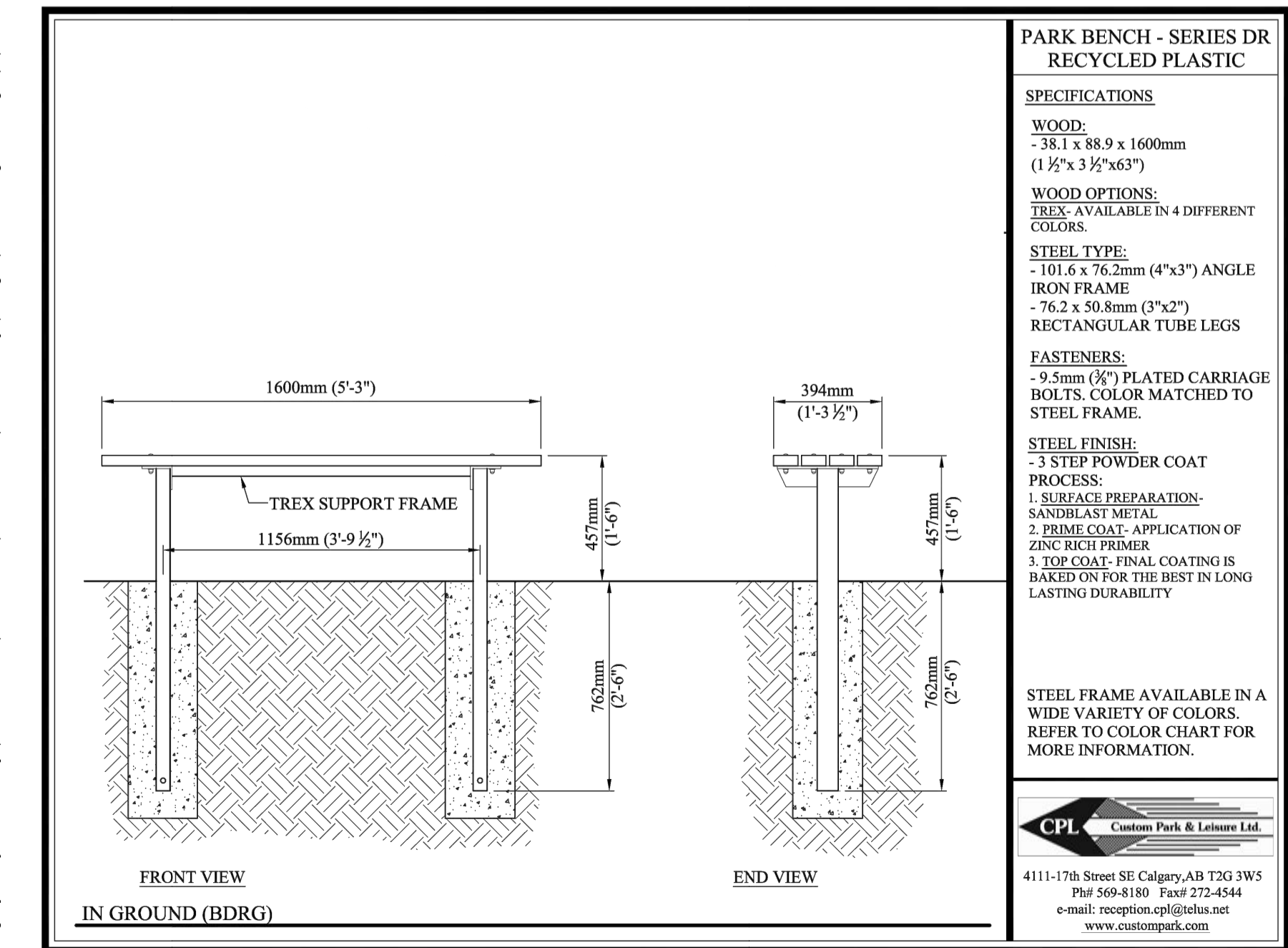
PROJECT MANAGER: CR 2024-05-28 PROJECT NO: 24-146

The Alberta Association of Landscape Architects
Jack Vanstone
2024-05-28

Client/Project
CEDARGLEN
ALPINE PARK II MULTI-FAMILY

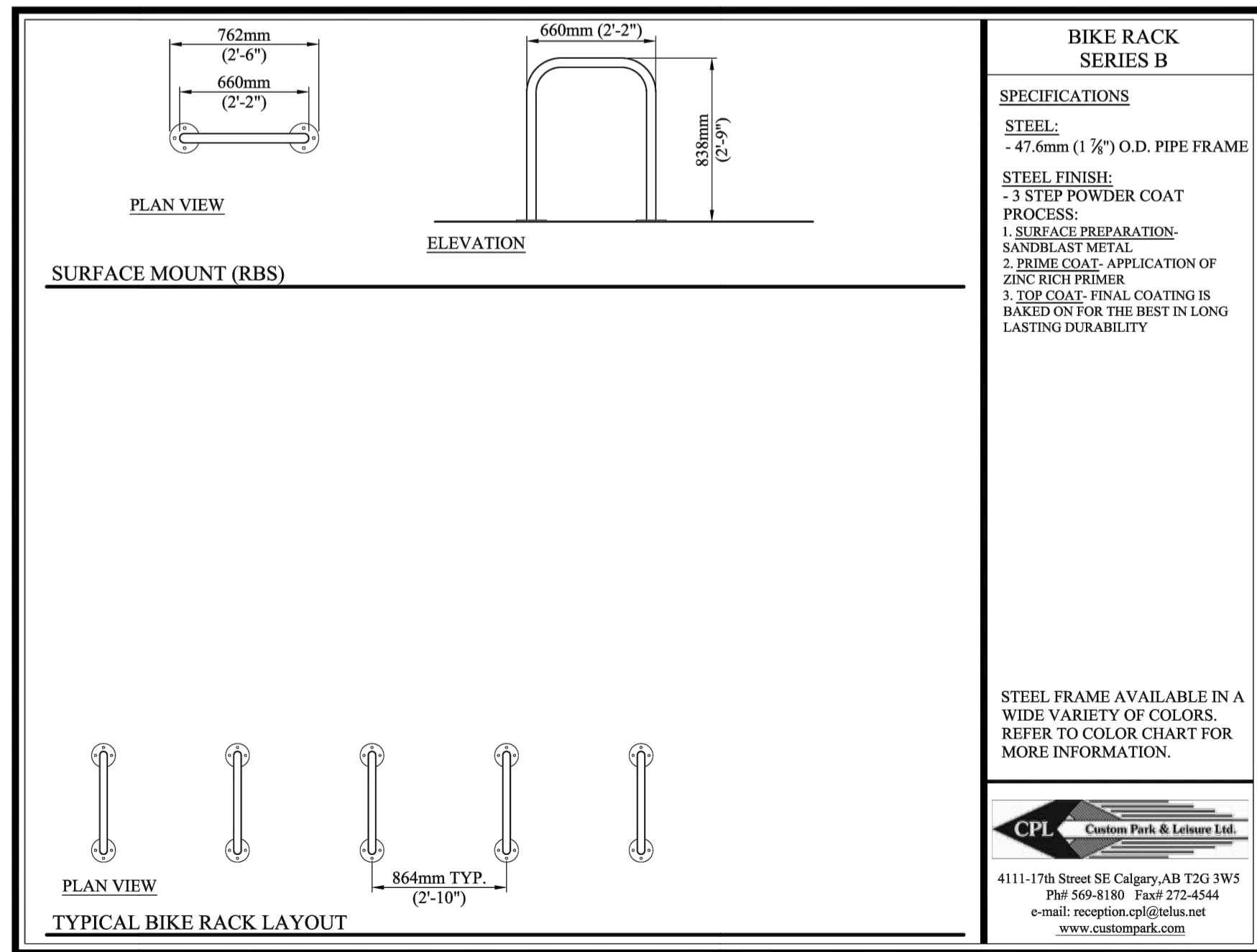
Title
DETAILS PLAN

Scale AS SHOWN Sheet No. L400



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	SPECIFICATIONS	M.M.	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	SERIES 'DR' PARK BENCH	DESIGN BY	29
		DATE	FILE NO.

5 SERIES 'DR' PARK BENCH
N.T.S



	PROJECT TITLE	DRAWN BY	SCALE
	SPECIFICATIONS	M.M.	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	SERIES 'B' BIKE RACK	DESIGN BY	23
		DATE	FILE NO.

6 SERIES 'B' BIKE RACK
N.T.S

BIKE RACK SERIES B

SPECIFICATIONS

STEEL:
- 47.6mm (1 7/8") O.D. PIPE FRAME

STEEL FINISH:
- 3 STEP POWDER COAT PROCESS:
1. SURFACE PREPARATION- SANDBLAST METAL
2. PRIME COAT- APPLICATION OF ZINC RICH PRIMER
3. TOP COAT- FINAL COATING IS BAKED ON FOR THE BEST IN LONG LASTING DURABILITY

STEEL FRAME AVAILABLE IN A WIDE VARIETY OF COLORS. REFER TO COLOR CHART FOR MORE INFORMATION.

4111-17th Street SE Calgary, AB T2G 3W5
Ph: 509-8180 Fax: 272-4544
e-mail: reception.cpl@aloha.net
www.custompark.com

	PROJECT TITLE	DRAWN BY	SCALE
	SPECIFICATIONS	M.M.	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	SERIES 'B' BIKE RACK	DESIGN BY	23
		DATE	FILE NO.

6 SERIES 'B' BIKE RACK
N.T.S

Z:\Shared\Calgary\Projects\Library\CedarGlen\24146 - Alpine Park II Multi-Family.dwg



ARTIST RENDERING - FOR REFERENCE ONLY.

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 norr.com

NORR Architects Engineers Planners
 A Partnership of Corporations
Poon McKenzie Architects (PBA) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
 Adrian Todella, P.Eng., APEGA
 Chris Pal, P.Eng., APEGA

CEDARGLEN ALPINE PARK 2

36 MIDWAY RD SW

cedarglen
 LIVING

DEVELOPMENT PERMIT: DEVELOPMENT PERMIT NO.
 NORR PROJECT NUMBER: RZ1124-0080

ISSUED FOR DEVELOPMENT PERMIT - 2026-05-29

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
PASQUINI & ASSOCIATES #450, 1011 - 9TH AVENUE SE, CALGARY, AB T2G 0H7 PHONE: 403 452 7677	VERITAS DEVELOPMENT SOLUTIONS UNIT 4, 141 COMMERCIAL DRIVE CALGARY, AB T3Z 2A7 PHONE: 587 393 5653	NORR 2300 - 411 1ST SE CALGARY, AB T2G 4Y5 PHONE: 403 264 4000	TRL & ASSOCIATES 100, 165-10TH AVENUE SW CALGARY, AB T2C 0J7 PHONE: 403 244 4944
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ ENGINEERING #301 - 14TH STREET, N.W CALGARY, AB T2N 2A1 PHONE: 825 609 6848	TLJ ENGINEERING #301 - 14TH STREET, N.W CALGARY, AB T2N 2A1 PHONE: 825 609 6848	- ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	NAK DESIGN STRATEGIES 438 11 AVENUE SE #310 CALGARY, AB T2G 0Y4

Site Information

Table with 2 columns: Field Name and Value. Fields include Land Use District, Legal Description, Municipal Address, Community, Site Area, etc.

Development Statistics

Table with 2 columns: Field Name and Value. Fields include Proposed Use, FAR, Density, Total Units, etc.

Table with 2 columns: Field Name and Value. Fields include Building Height Max, Building Setbacks, Street, etc.

Table with 2 columns: Field Name and Value. Fields include Landscape Coverage, Min. Permitted Coverage, etc.

Building Areas

Table with 2 columns: Level and Gross Floor Area. Rows include Building 1, Building 2, Building 3, and Total GFA.

Vehicle Parking

Table with 4 columns: Units, Requirement, Required, Provided. Rows include Resident Parking, Visitor Parking, etc.

Bike Parking

Table with 4 columns: Units, Requirement, Required, Provided. Rows include Class 1 - Secure Lockers, Class 2 - Outdoor Racks.

Building 1

Table with 7 columns: Name, 1st, 2nd, 3rd, 4th, 5th, Total. Rows include Unit F2, Unit H, Unit L, etc.

Building 2

Table with 7 columns: Name, 1st, 2nd, 3rd, 4th, 5th, Total. Rows include Unit F2, Unit H, Unit L, etc.

Building 3

Table with 7 columns: Name, 1st, 2nd, 3rd, 4th, 5th, Total. Rows include Unit F2, Unit H, Unit L, etc.

Unit Types & Areas

Table with 10 columns: Type, Description, WIR, Area, Balcony, Total #. Rows include Unit F2, Unit H, Unit L, etc.

Note - patio sizes at main floor vary per building

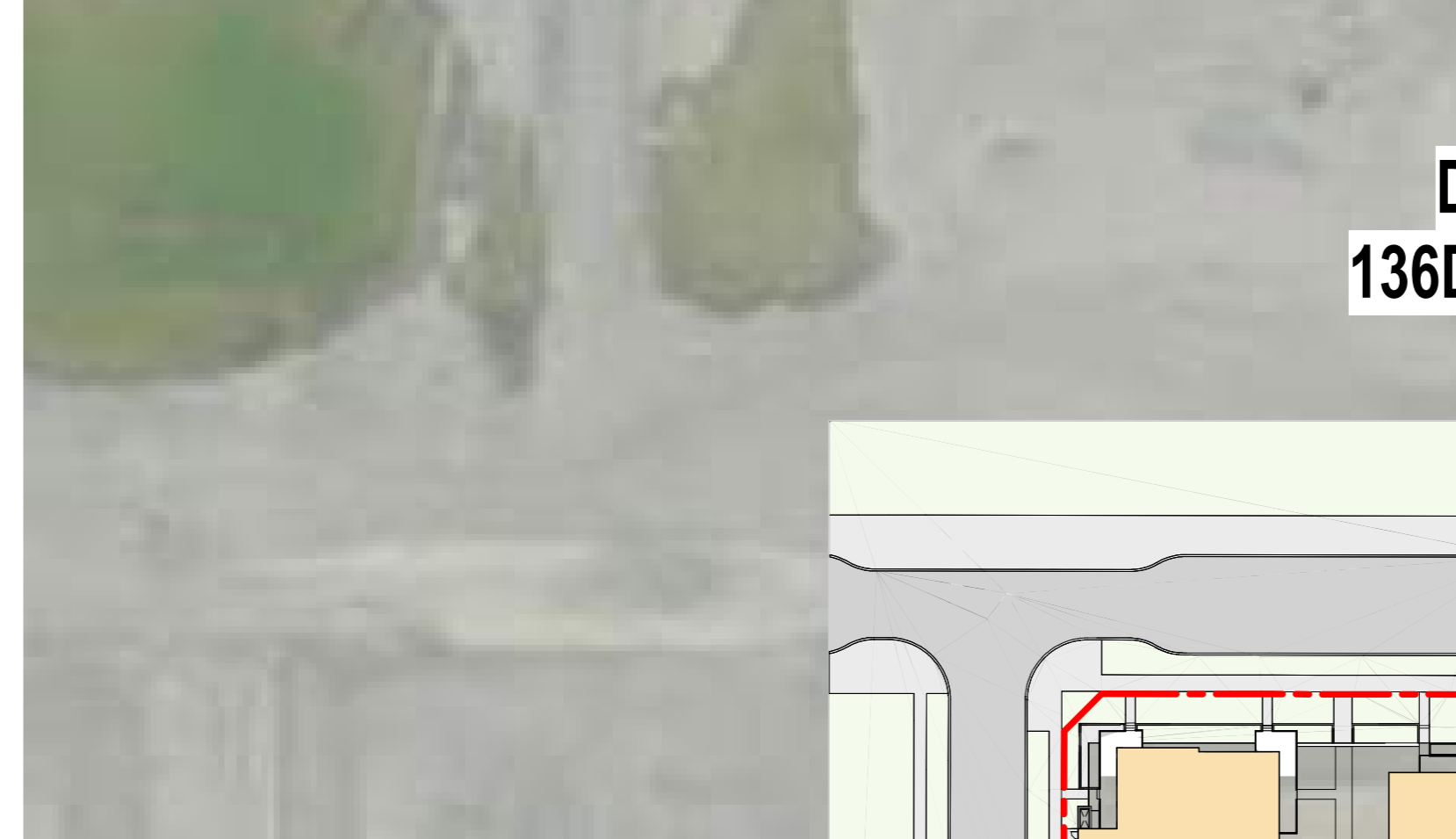
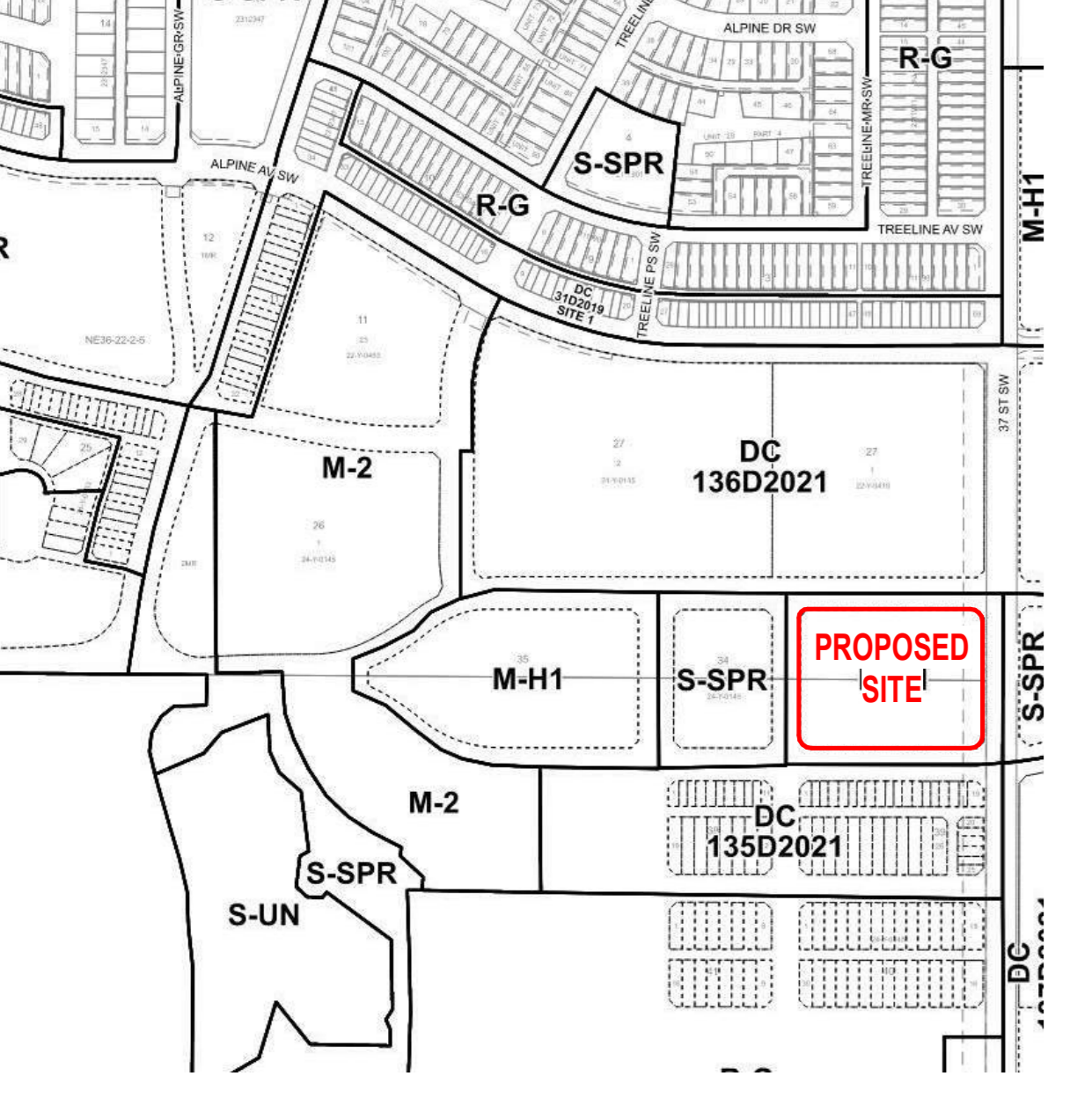
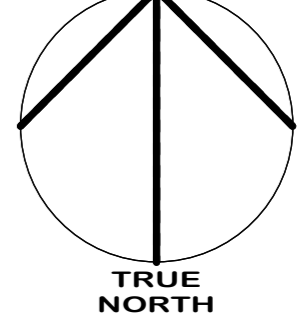
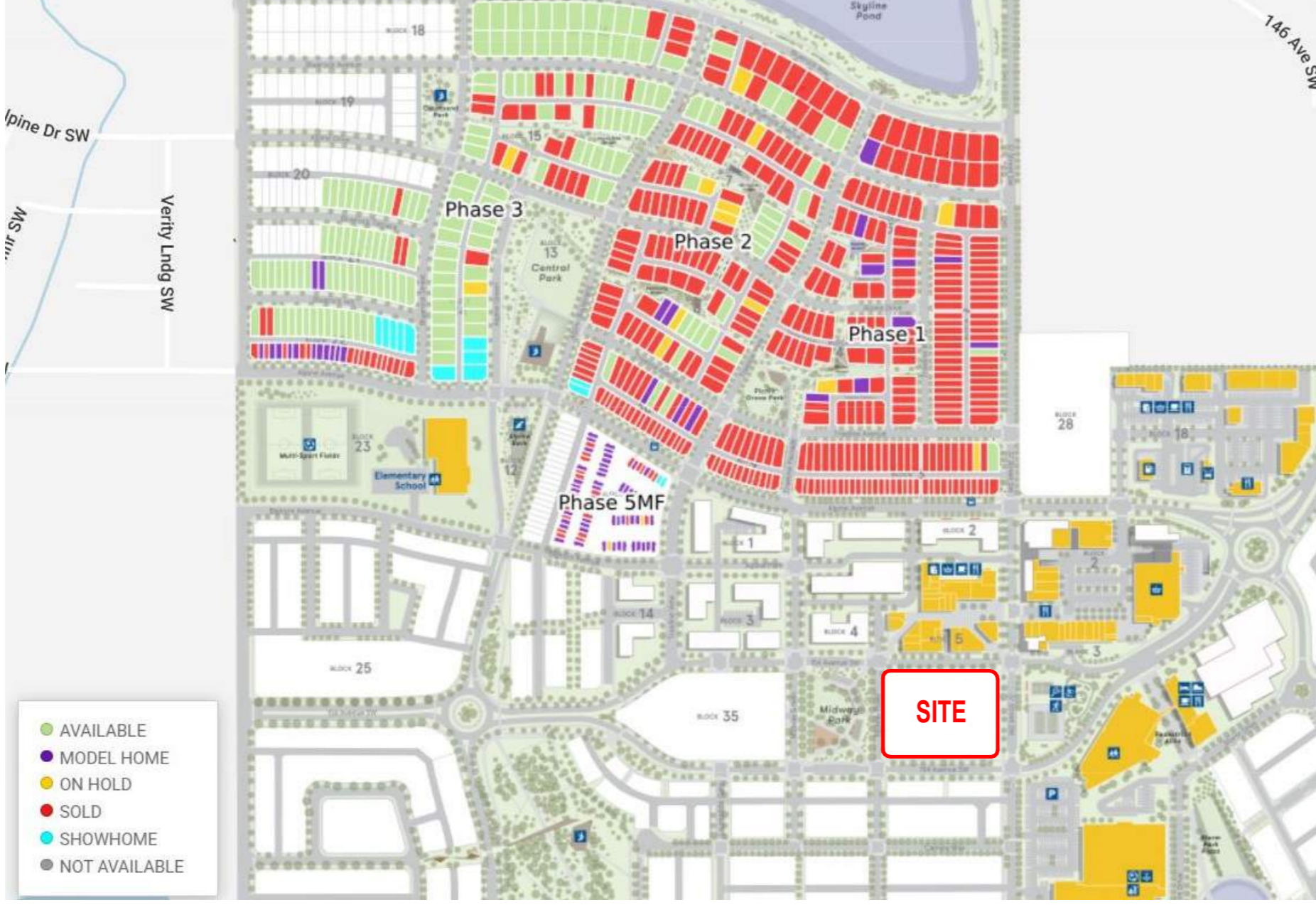


Table with 2 columns: Drawing Index Architecture and Drawing Index Civil. Lists drawing numbers and titles.

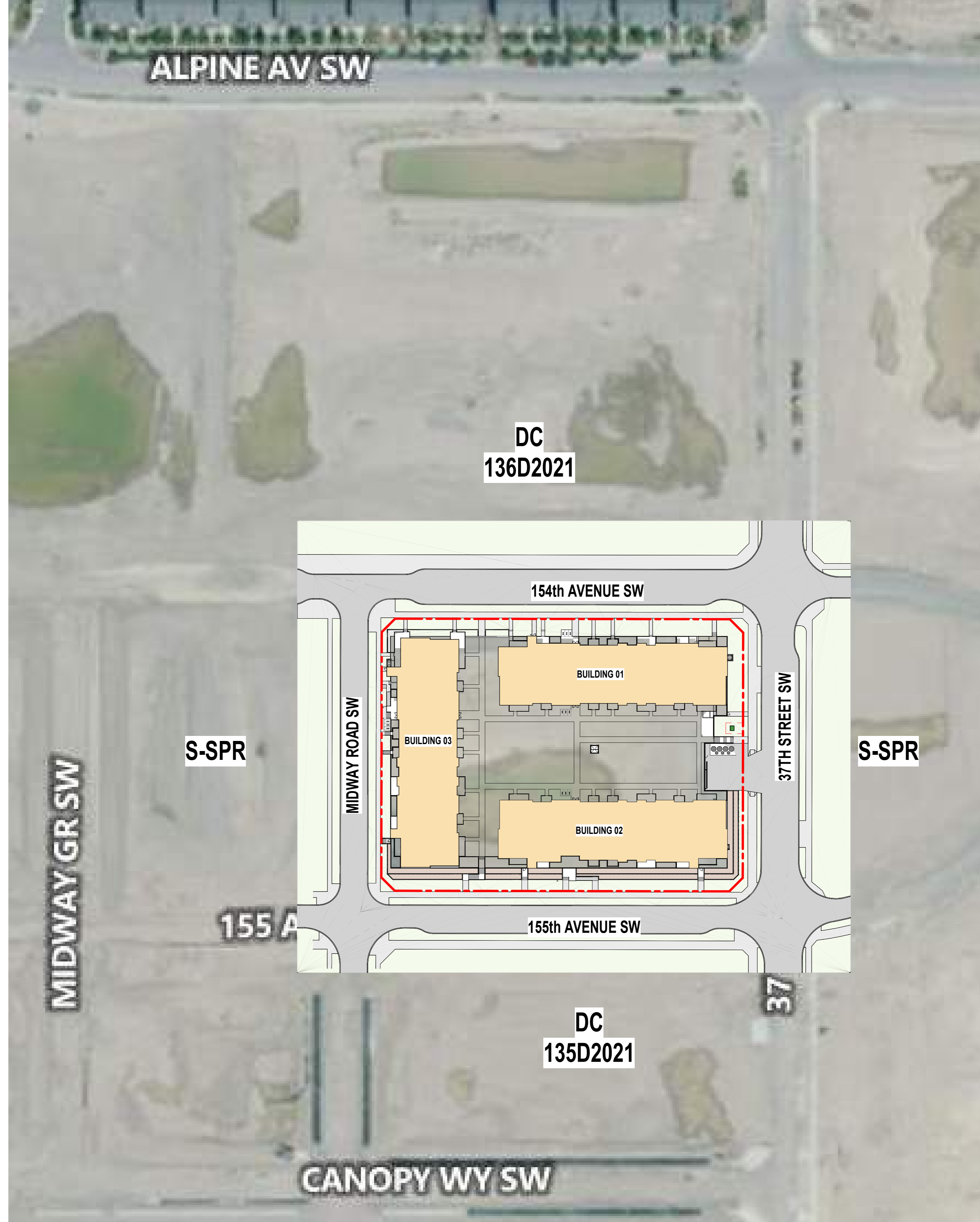
Table with 2 columns: Drawing Index Electrical and Drawing Index Landscape. Lists drawing numbers and titles.



ZONING MAP



VICINITY MAP



1 OVERALL SITE CONTEXT SCALE: 1:800

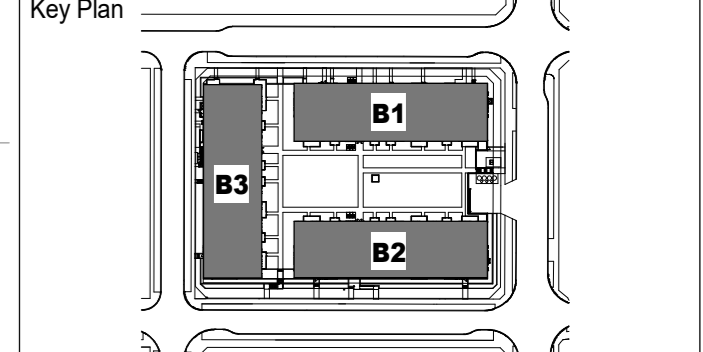
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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component



- Consultants: Survey: PASQUINI & ASSOCIATES, Dwg: VERITAS DEVELOPMENT SOLUTIONS, Architecture: NORR, Structural: TRI & ASSOCIATES, Mechanical: TLJ ENGINEERING, Electrical: TLJ ENGINEERING, Interiors: NAK DESIGN STRATEGIES, Landscape: NAK DESIGN STRATEGIES

Seal(s)

JOINT FIRM NORR Architects Engineers Planners

NORR 2300, 411 - 1st Street SE Calgary, AB, Canada T2G 4Y5 norr.com

Project Manager: A. Guco, Drawn: S. Karveli / S. Sheth, Project Leader: S. Karveli, Checked: D. Dessario / A. Guco

Client: CEDARGLEN LIVING

100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

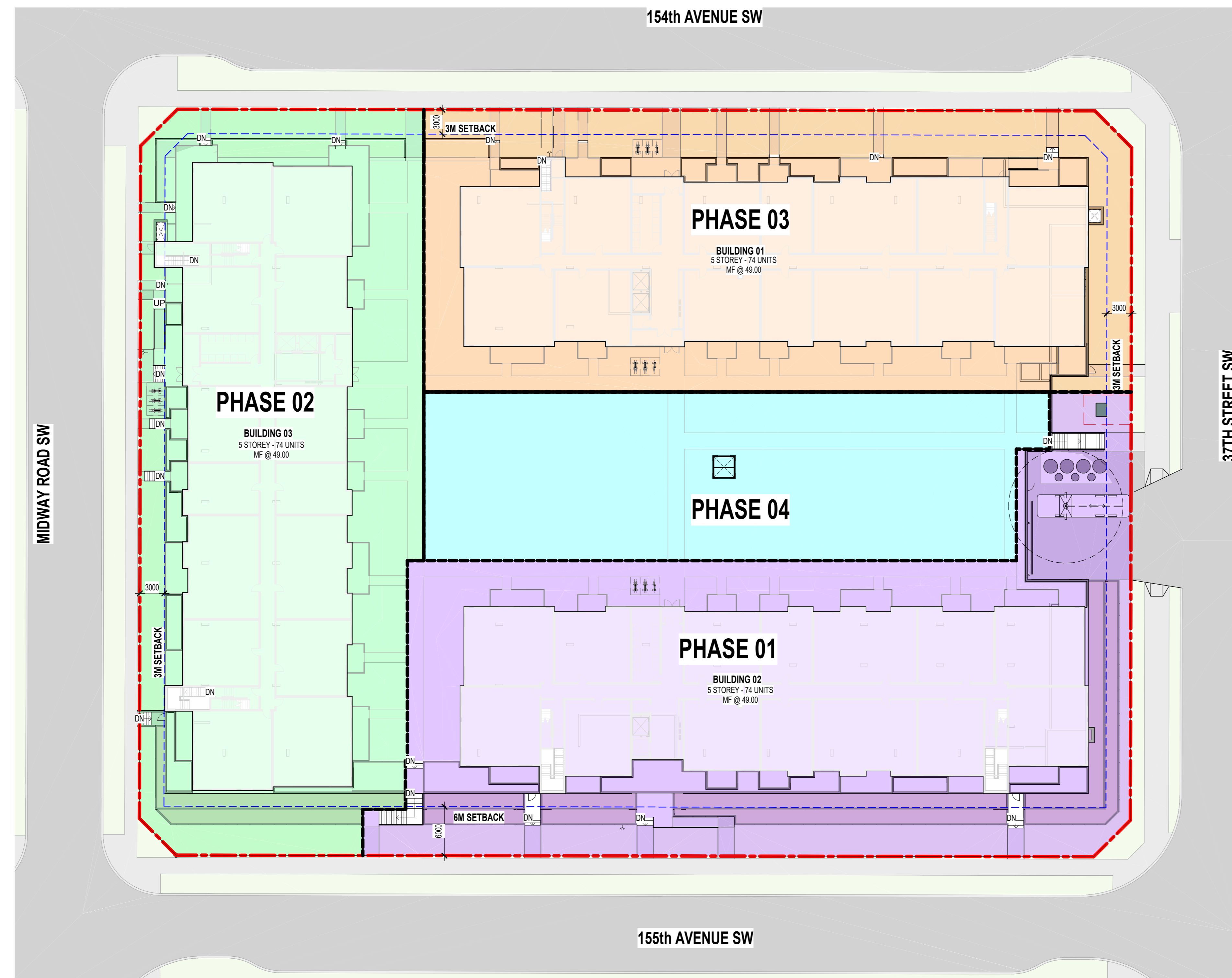
Project: CEDARGLEN ALPINE PARK 2

36 MIDWAY RD SW Drawing Title: SITE STATISTICS AND VICINITY PLAN

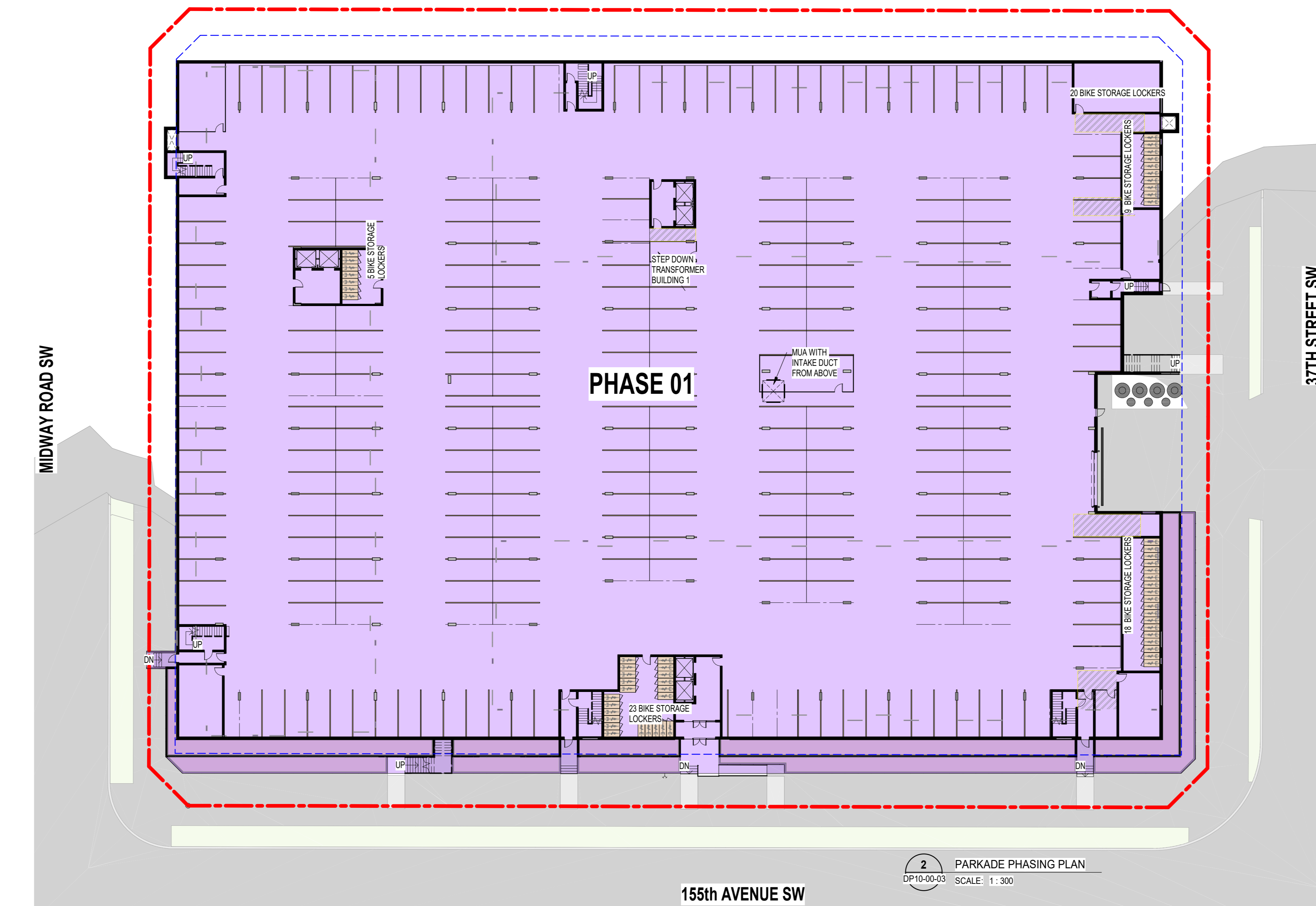
Scale: As indicated

Project No: RZ1124-0080

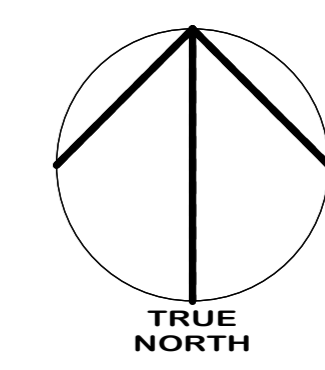
Drawing No: DP10-00-01



4 SITE PHASING PLAN
 DP10-00-03 SCALE: 1:300



2 PARKADE PHASING PLAN
 DP10-00-03 SCALE: 1:300



DATE	ISSUED FOR	REV
2026-05-20	ISSUED FOR DEVELOPMENT PERMIT	1

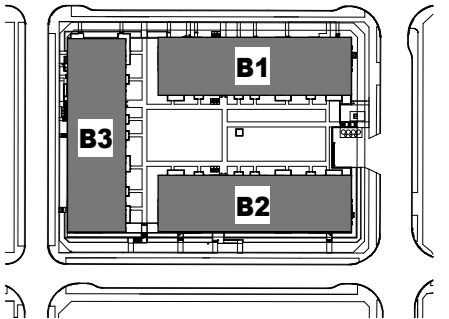
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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component

Key Plan



Consultants

Survey:	PASQUINI & ASSOCIATES
Civil:	VERITAS DEVELOPMENT SOLUTIONS
Architecture:	NORR
Structural:	TRI & ASSOCIATES
Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	
Landscape:	NAK DESIGN STRATEGIES

Seal(s)



JOINT FIRM
 NORR Architects Engineers Planners
 Inverly
 THE ALBERTA ASSOCIATION OF ARCHITECTS
 REGISTRATION NO. 20000

NORR
 2300, 411 - 1st Street SE
 Calgary, AB, Canada T2G 4Y5
 norr.com

NORR Architects Engineers Planners
 A Partnership of Corporations

Jonathan Hughes, Architect, AIA, CMA, ABC, NAA, AAPE, AAPE
 Adam Yonke, P.Eng., PECSA
 Chris Lee, P.Eng., PECSA

Project Manager	A. Guco	Drawn	S. Karveli / S. Sheth
Project Leader	S. Karveli	Checked	D. Dessario / A. Guco

Client
CEDARGLEN LIVING

100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project
CEDARGLEN ALPINE PARK 2

36 MIDWAY RD SW

Drawing Title
SITE PHASING

Scale
 As indicated

Project No.
 RZ1124-0080

Drawing No.
DP10-00-03

SITE PHASING NOTES

- BUILDING PHASES - NON SEQUENTIAL**
- SERVICE CONNECTIONS AS REQUIRED
 - BARRIER-FREE PEDESTRIAN ACCESS AND ACCESS TO PUBLIC STREETS AND PATHWAYS WILL BE AVAILABLE AT EACH PHASE OF DEVELOPMENT
 - ALL PHASES TO TIE IN PROPOSED SIDEWALKS AND ROADWAYS TO EXISTING SIDEWALKS AND ROADWAYS BEYOND PARCEL PROPERTY
 - MOLOK INSTALLATION PHASED AS REQUIRED FOR OCCUPANCY; ACCESS TO PERMANENT OR TEMPORARY WASTE RECYCLING FACILITIES WILL BE AVAILABLE AT EACH PHASE OF CONSTRUCTION
 - ORDER OF PHASING AFTER PHASE 1 IS NON SEQUENTIAL

PHASE 01

- SERVICE CONNECTIONS
- PARKADE 1 AND HEATED CONCRETE RAMP TO COMPLETION
- BUILDING 2 TO COMPLETION
 SURROUNDING SIDEWALKS, CURBS, RETAINING WALLS, WALKWAYS, SOFT LANDSCAPING AND CONNECTIONS TO EXISTING SIDEWALKS AND STEPS, INCLUDING OVERTOP OF FINISHED PARKADE
- MOLOK (WASTE & RECYCLING AREAS)
- LOADING/STAGING AREAS CONSTRUCTED UP TO AND INCLUDING SURROUNDING CURBS

PHASE 02

- BUILDING 3 TO COMPLETION
- SURROUNDING SIDEWALKS, CURBS, RETAINING WALLS, WALKWAYS, SOFT LANDSCAPING AND CONNECTIONS TO EXISTING SIDEWALKS AND STEPS, INCLUDING OVERTOP OF FINISHED PARKADE

PHASE 03

- BUILDING 1 TO COMPLETION
- SURROUNDING SIDEWALKS, CURBS, RETAINING WALLS, WALKWAYS, SOFT LANDSCAPING AND CONNECTIONS TO EXISTING SIDEWALKS AND STEPS, INCLUDING OVERTOP OF FINISHED PARKADE

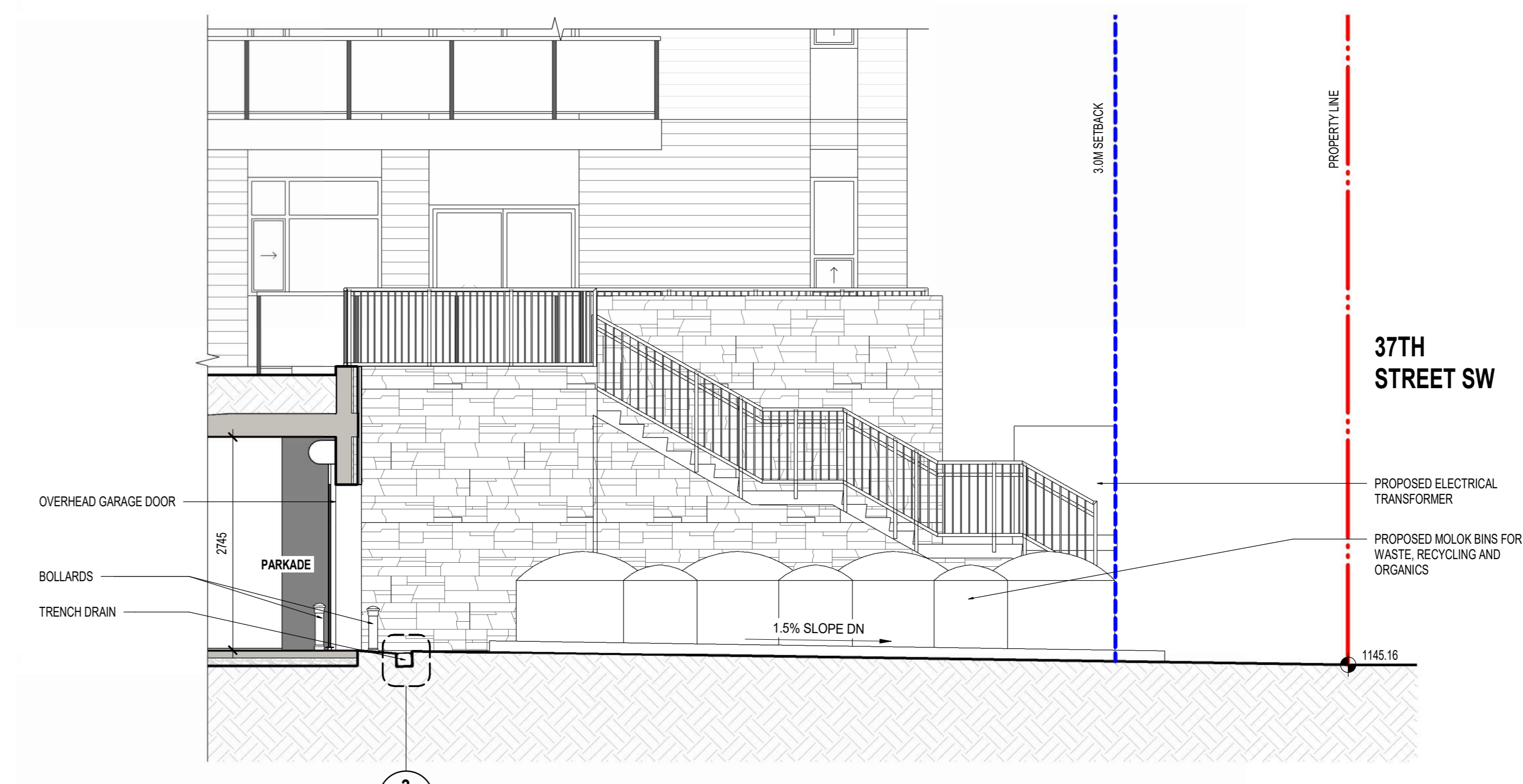
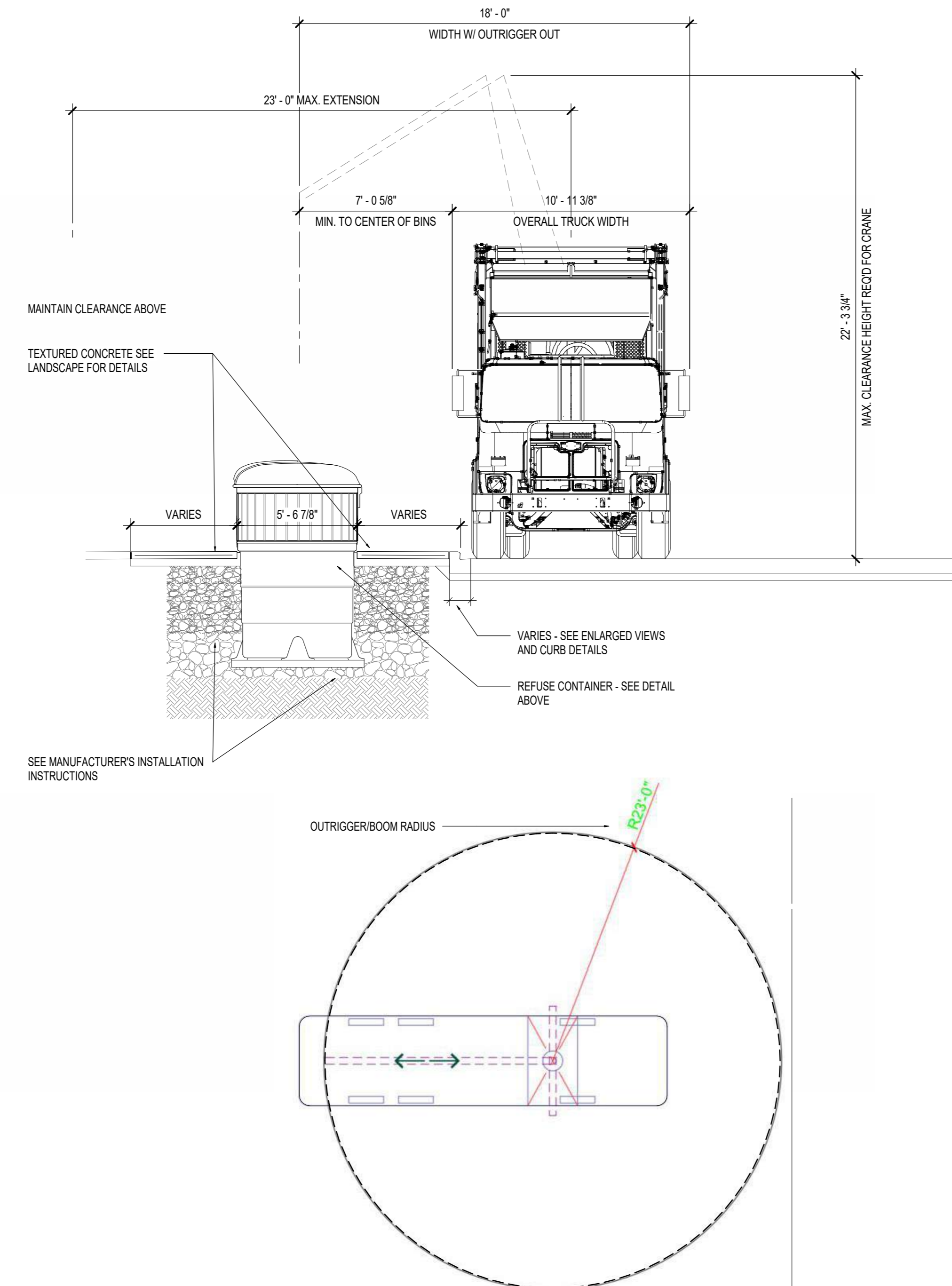
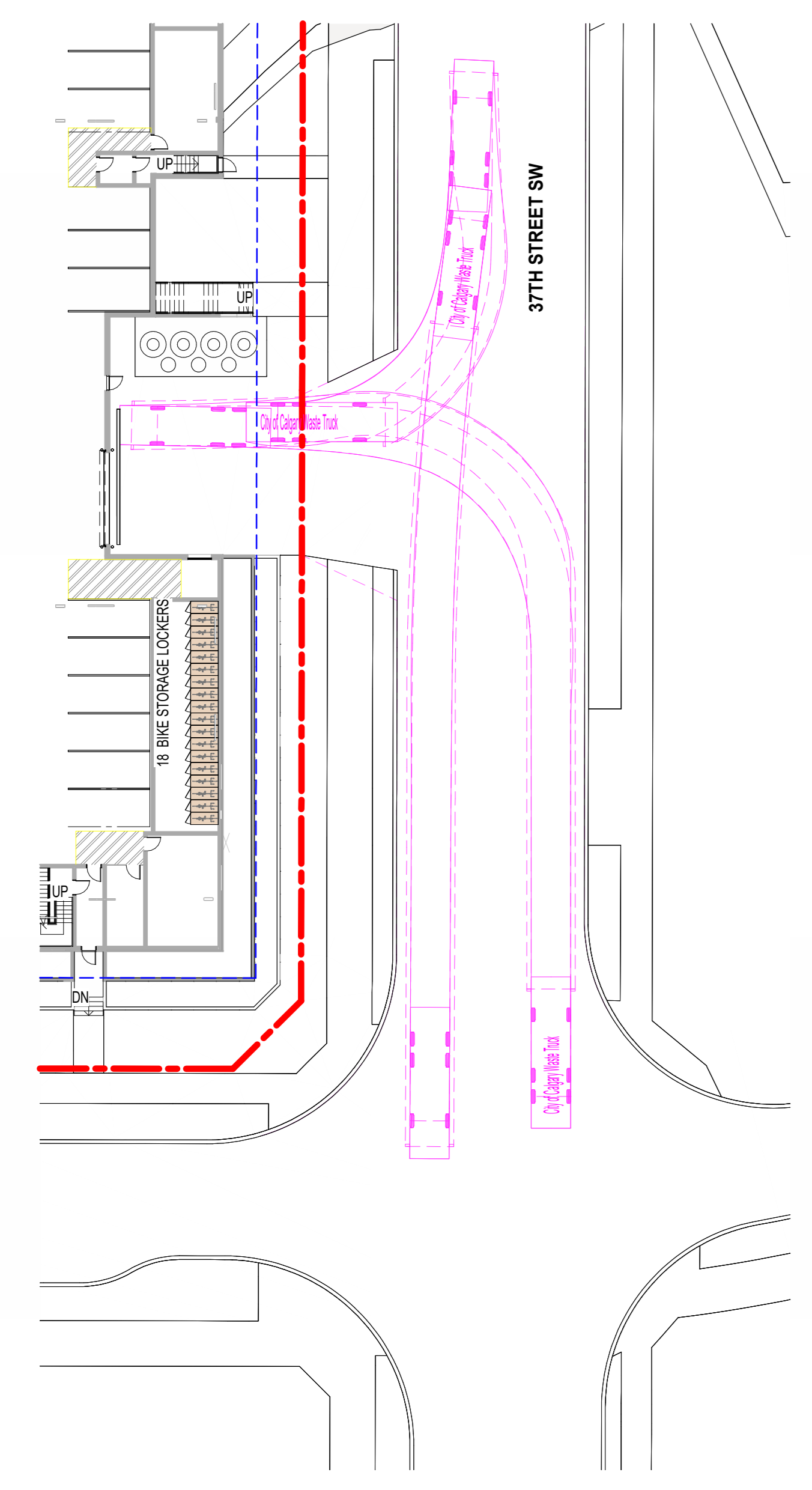
PHASE 04

- LANDSCAPING IN CENTRAL COURTYARD

PHASING LEGEND

	PHASE 01
	PHASE 02
	PHASE 03
	PHASE 04

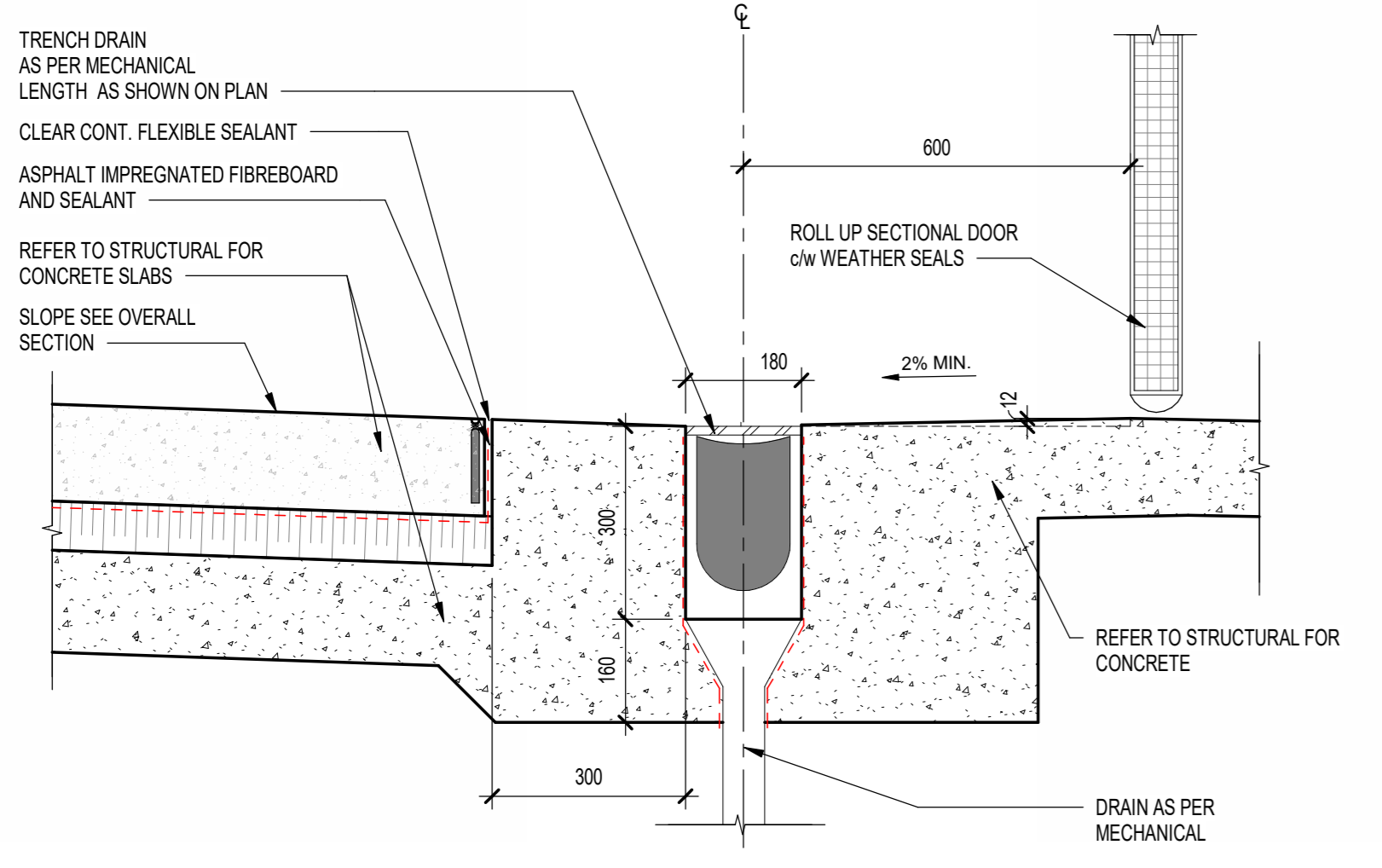
09/2024 2:14:17 PM
 Absolute Draw - Cedar Glen - Alpine Park 2 - CDMPR - 021 13-0800 - Compartment#02 - 2du - 225174



2 ENLARGED SECTION - PARKADE ENTRANCE
SCALE: 1:50

4 W & R TRUCK SWEEP PATH
DP10-00-05 SCALE: 1:300

10 W & R TRUCK - ACCESS RANGE
DP10-00-05 SCALE: 1:50



3 TRENCH DRAIN DETAIL
DP10-00-05 SCALE: 1:10

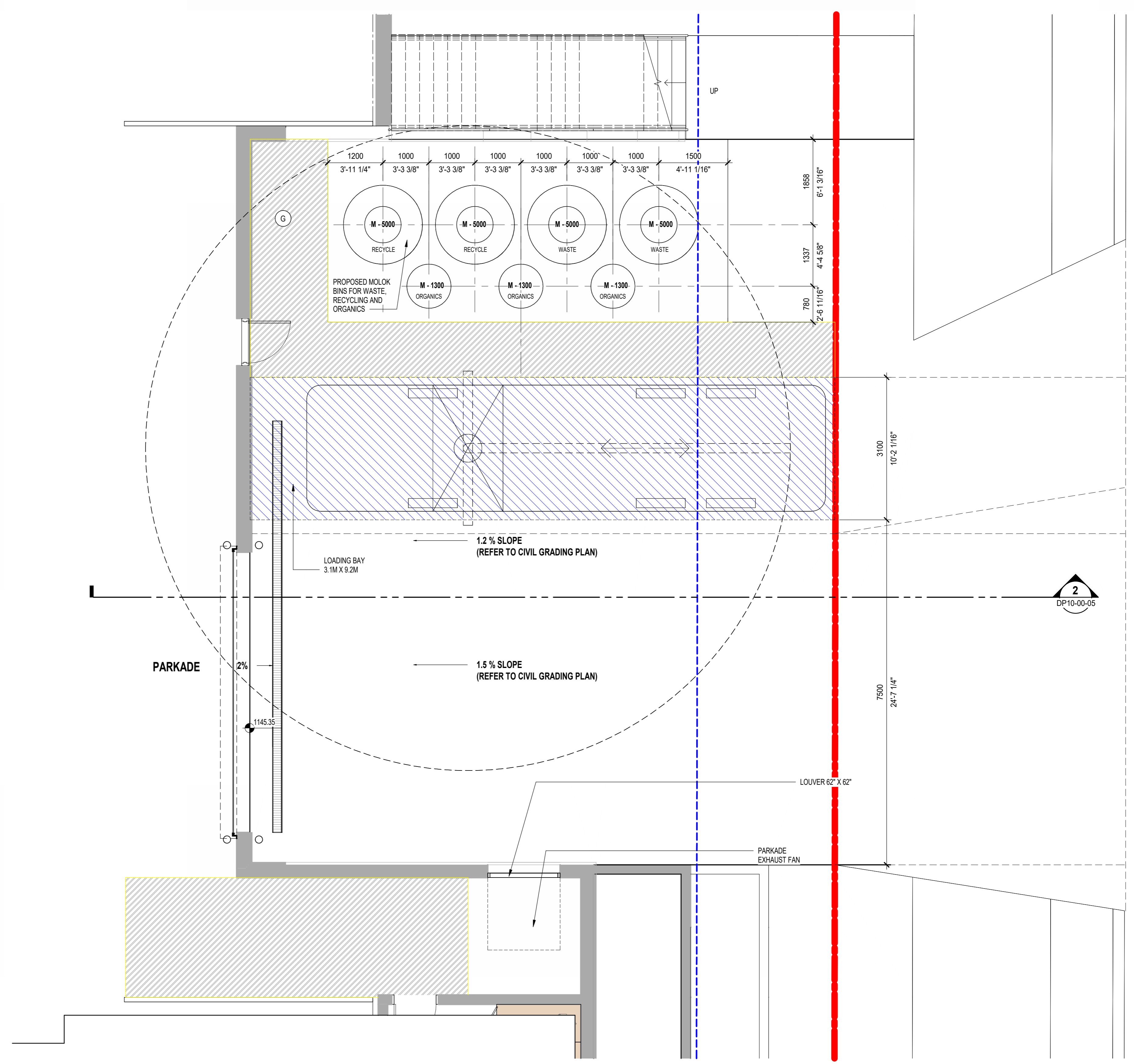


MODEL	CAPACITY	MOLOK CLASSIC				
	SQ.M	YD3	DIAMETER (MM)	DEPTH	USE	REMARKS
M-5000	5	6.5	1700	1500	W & R	
M-3000	3	4	1300	1500	W & R	
M-1300	1.3	1.7	900	1500	W & R & O	BIO-WASTE 800L
M-800	800L	1.0	750	1500	W & R & O	BIO-WASTE 800L
M-300	300L	0.4	600	1100	W & R	
M-GREASE	800L	1.0	900	1500	COOKING OIL	
M-STORAGE	2600L	3.4	1700	600	STORAGE	

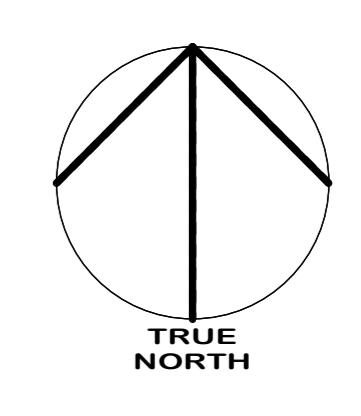
Recycling, Organics & Waste Bin Calculation

# UNITS	222	0.3 YD3/UNIT		# PICKUPS	# BINS	TOTAL
TOTAL	100%	66.6		3	2	93.3
Recycling (R)	40%	26.6	6.5	3	2	39.0
Organics (O)	20%	13.3	1.7	3	3	15.3
Waste (W)	40%	26.6	6.5	3	2	39.0

- General Notes**
- * UNDERGROUND STORAGE BINS USED: MOLOK CLASSIC TYPE OR SIMILAR
 - * WASTE RECYCLING PICKUP AREA TO BE ASPHALT ROAD
 - * PICKUP AREA MUST HAVE A CAPACITY TO CARRY A LOADED COLLECTION VEHICLE OF 25,000 KG OR
 - * 38,556 KG (85,000 LB) WHEN THE ROAD IS PART OF A FIRE ACCESS ROUTE
 - * MAXIMUM SLOPE IN COLLECTION AREA IS 4% IN ANY DIRECTION
 - * REFER TO MANUFACTURER MANUAL AND SPECIFICATIONS



1 ENLARGED PLAN - MOLOKS
DP10-00-05 SCALE: 1:50



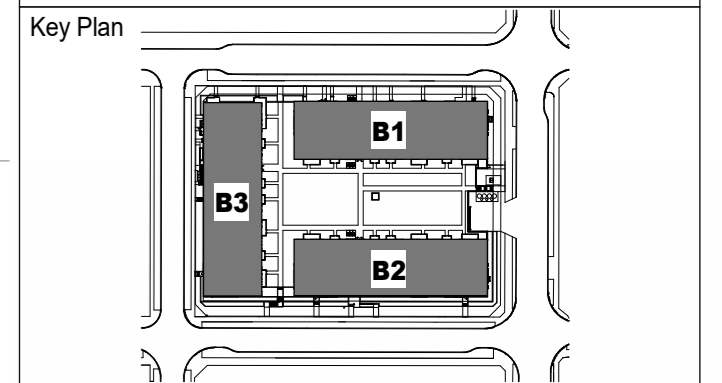
DATE	ISSUED FOR	REV
2026-05-29	ISSUED FOR DEVELOPMENT PERMIT	1

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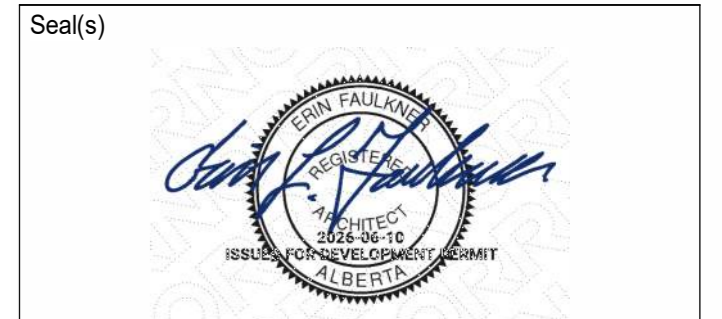
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component



Consultants

- Survey: PASQUINI & ASSOCIATES
- Civil: VERITAS DEVELOPMENT SOLUTIONS
- Architecture: NORR
- Structural: TRI & ASSOCIATES
- Mechanical: TLJ ENGINEERING
- Electrical: TLJ ENGINEERING
- Interiors: NAK DESIGN STRATEGIES
- Landscape: NAK DESIGN STRATEGIES



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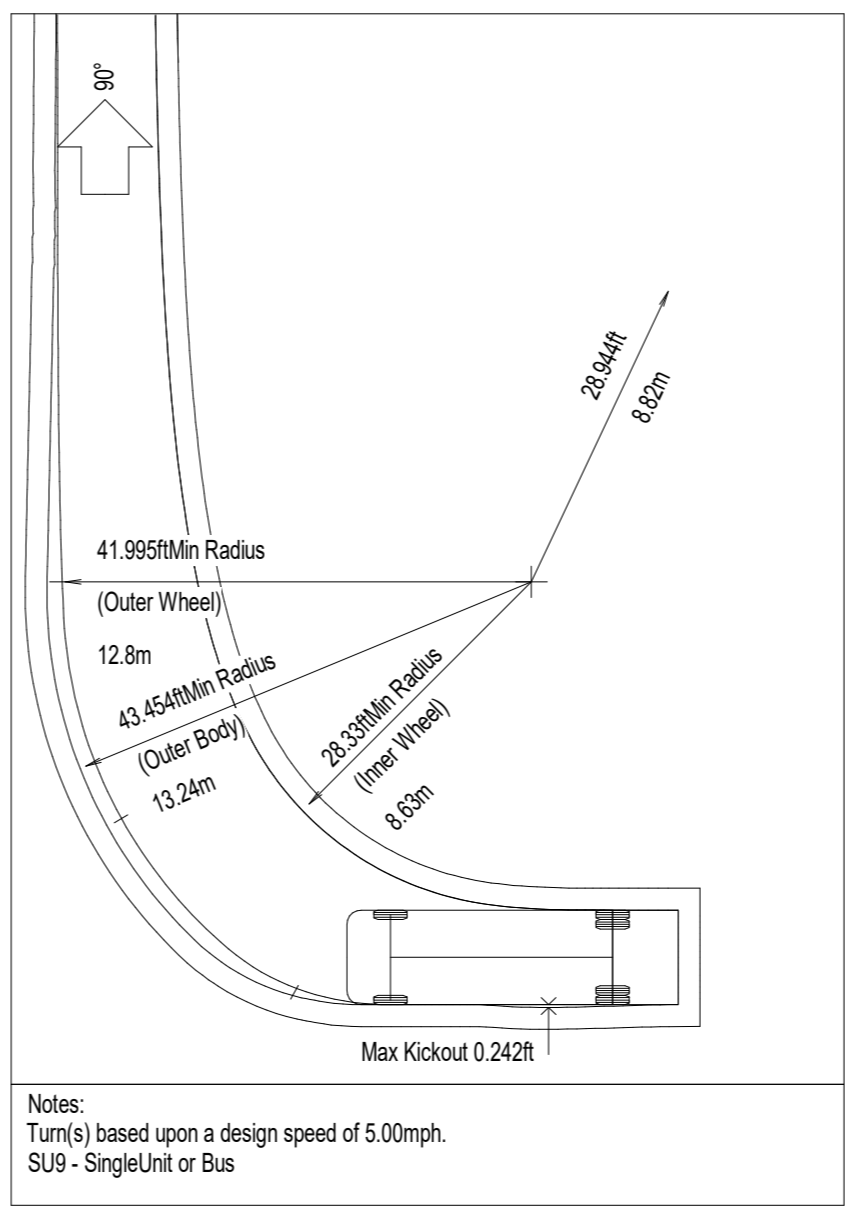
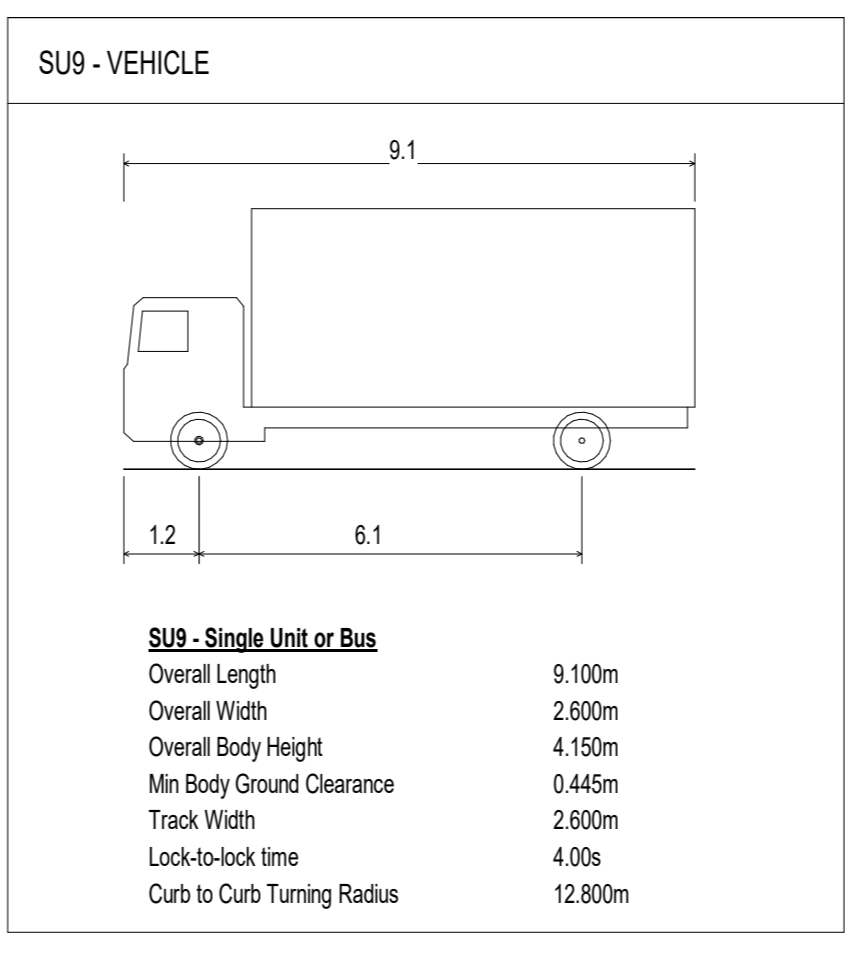
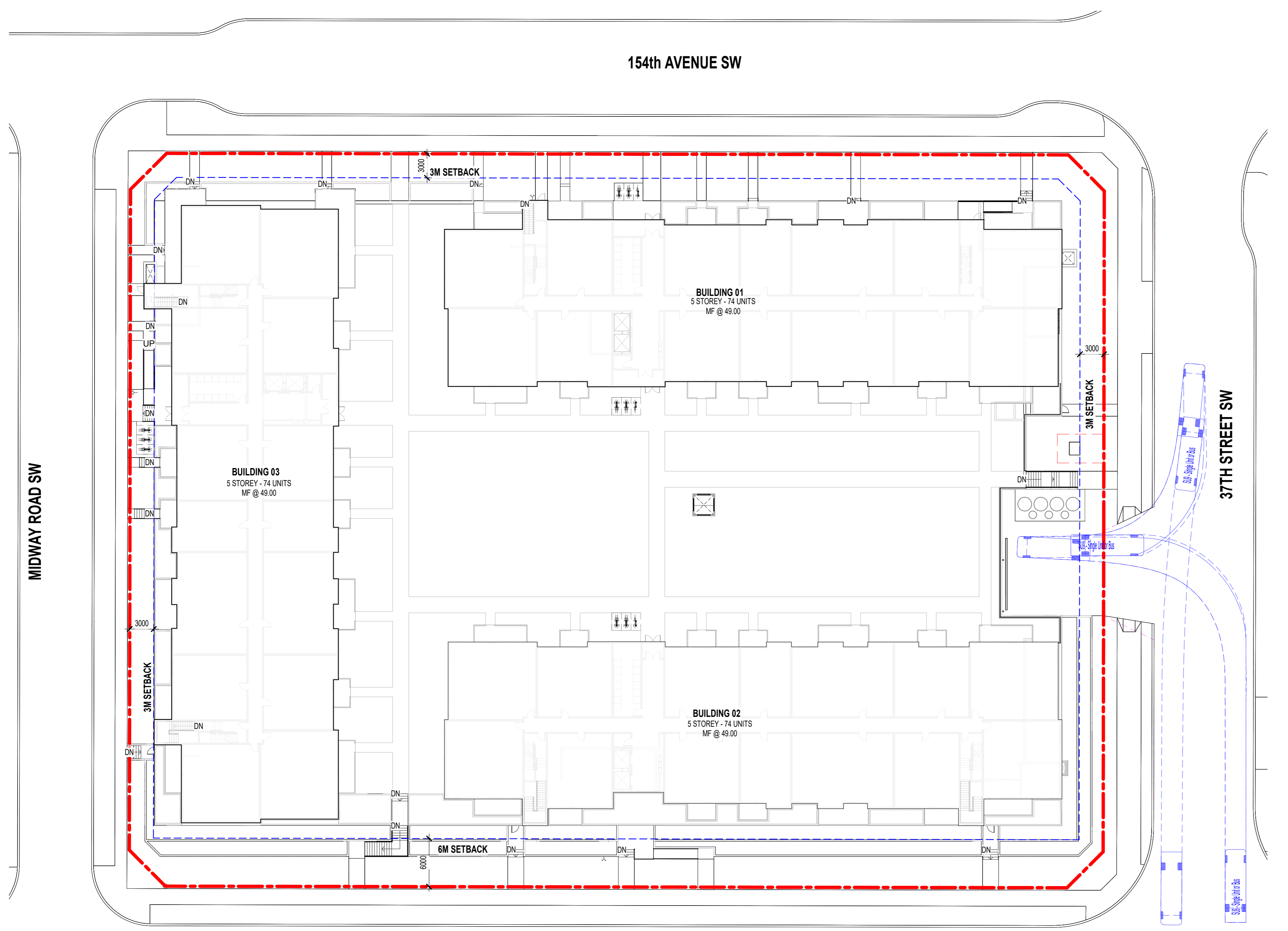
Project Manager: A. Guco
Project Leader: S. Karvetti
Client: CEDARGLEN LIVING

Project: CEDARGLEN ALPINE PARK 2

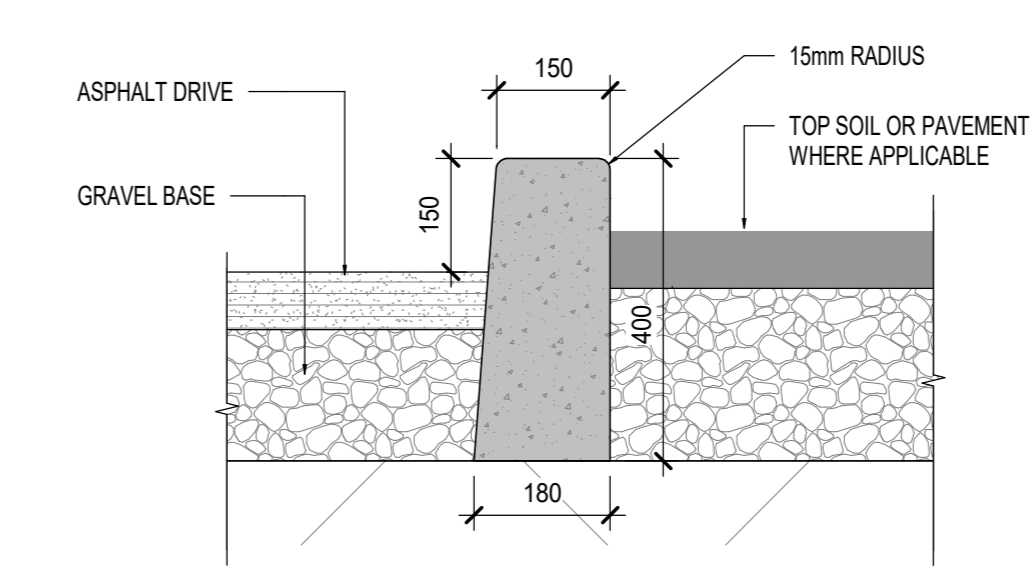
36 MIDWAY RD SW
Drawing Title: WASTE & RECYCLING TRUCK SWEEP PATH & DETAILS

Scale: As indicated
Project No.: RZ1124-0080
Drawing No.: DP10-00-05

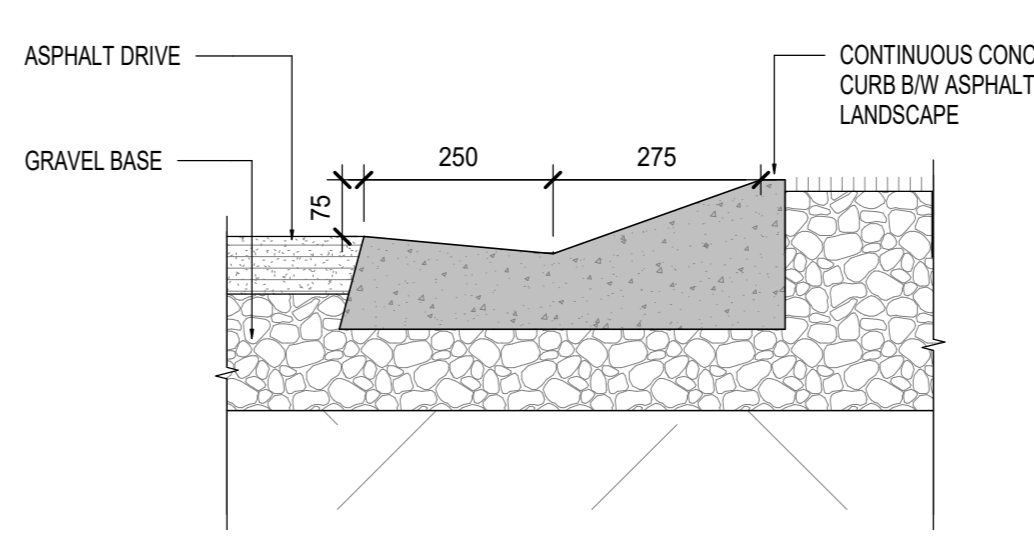
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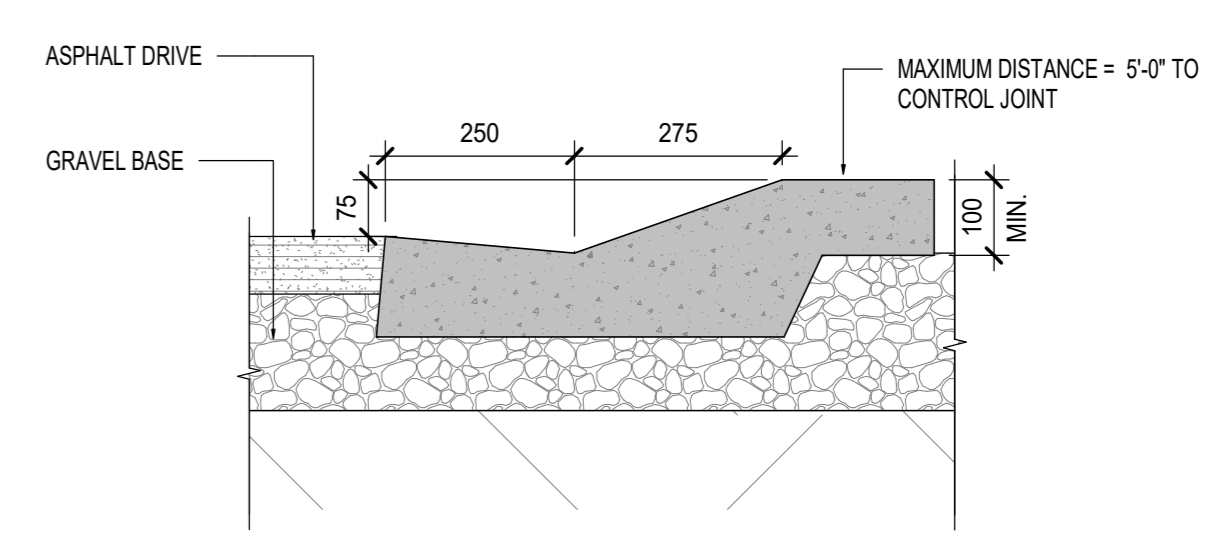
Notes:
 Turn(s) based upon a design speed of 5.00mph.
 SU9 - Single Unit or Bus



CURB WALL

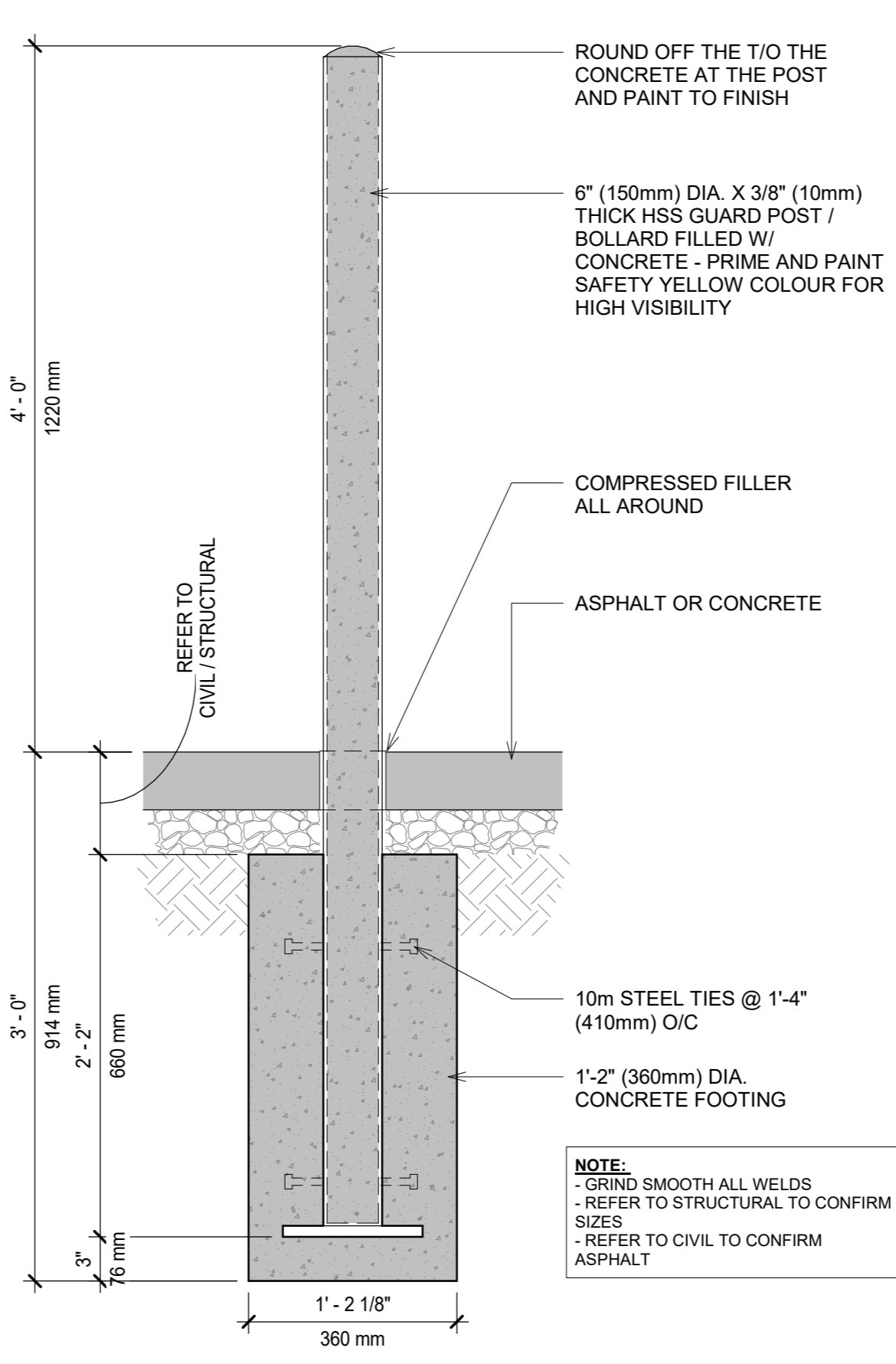


ROLLED CURB AT LANDSCAPE

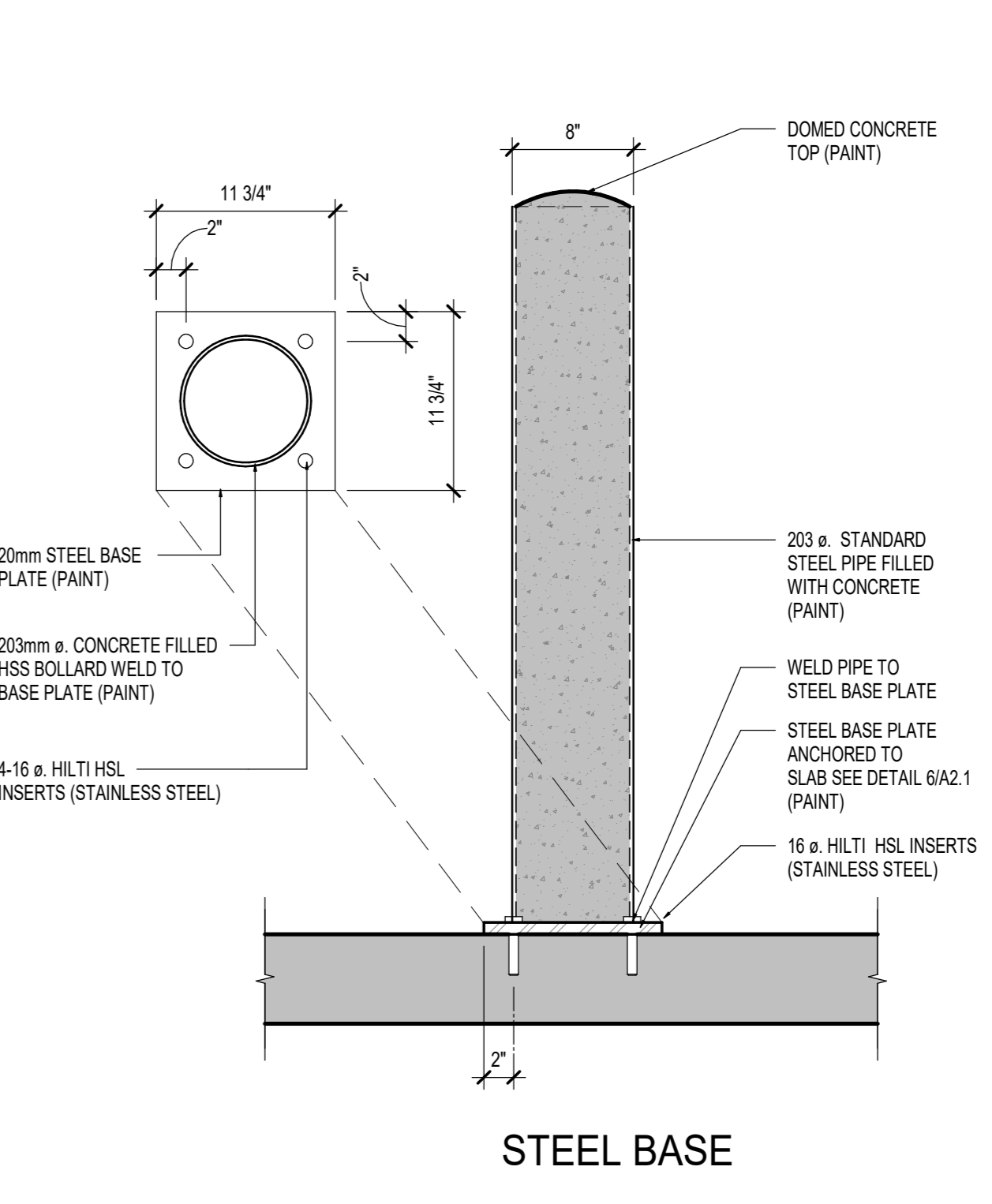


ROLLED CURB AT SIDEWALK

3 TYPICAL CONCRETE CURB DETAILS
 DP10-00-06 SCALE: 1:10

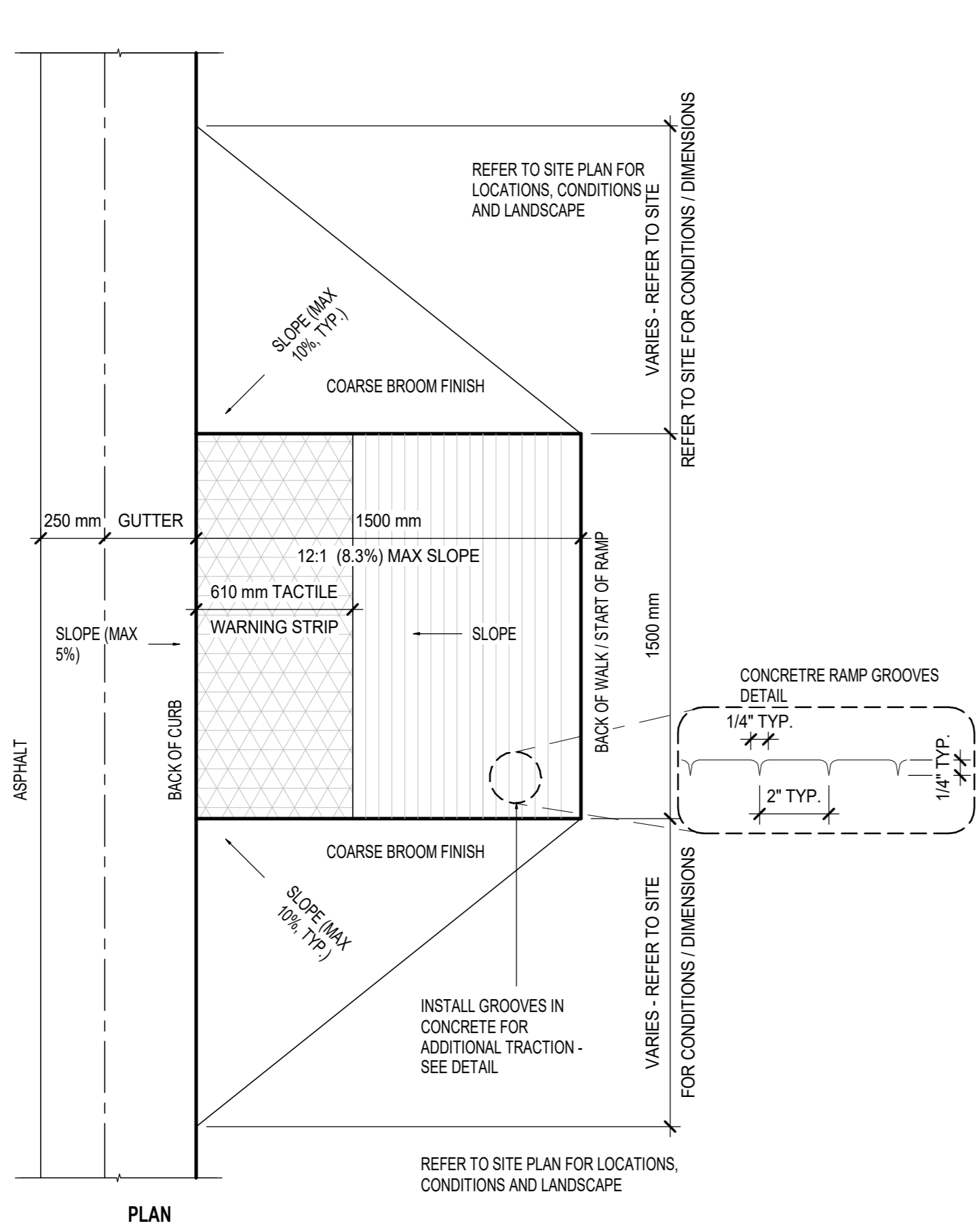


CONCRETE BASE



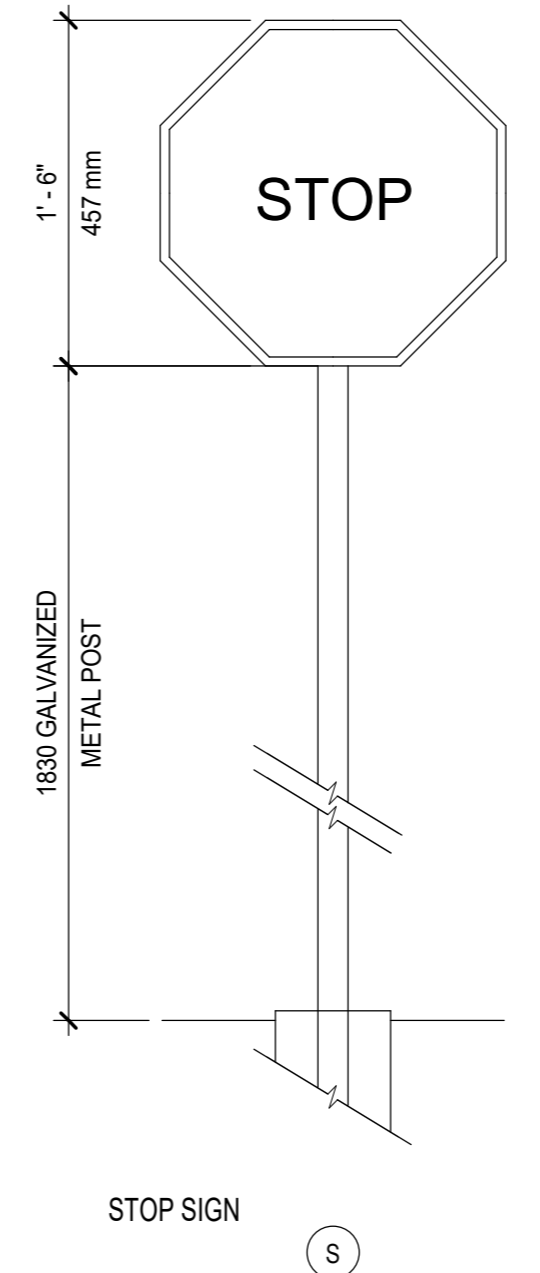
STEEL BASE

2 TYPICAL BOLLARD INSTALLATION DETAILS
 DP10-00-06 SCALE: 1:10

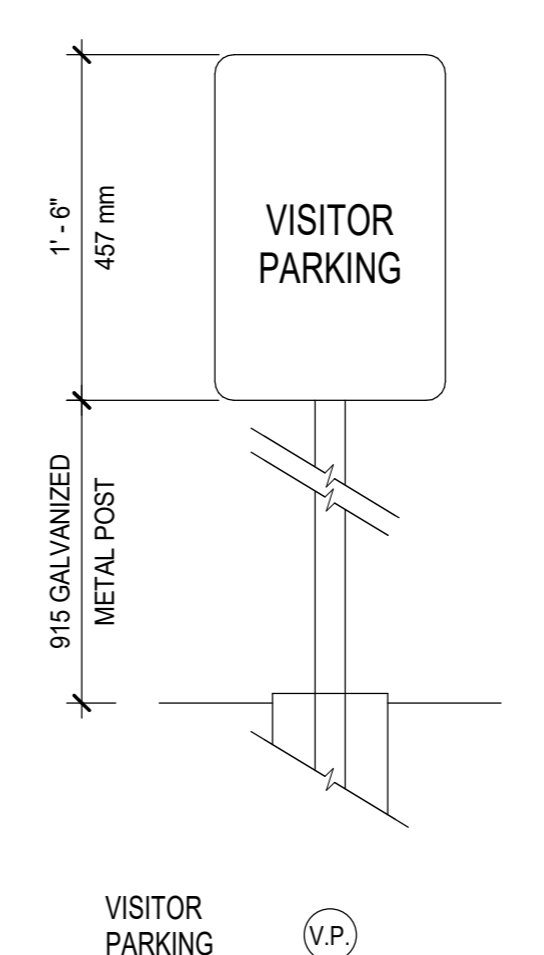


4 BARRIER FREE RAMP DETAILS
 DP10-00-06 SCALE: 1:20

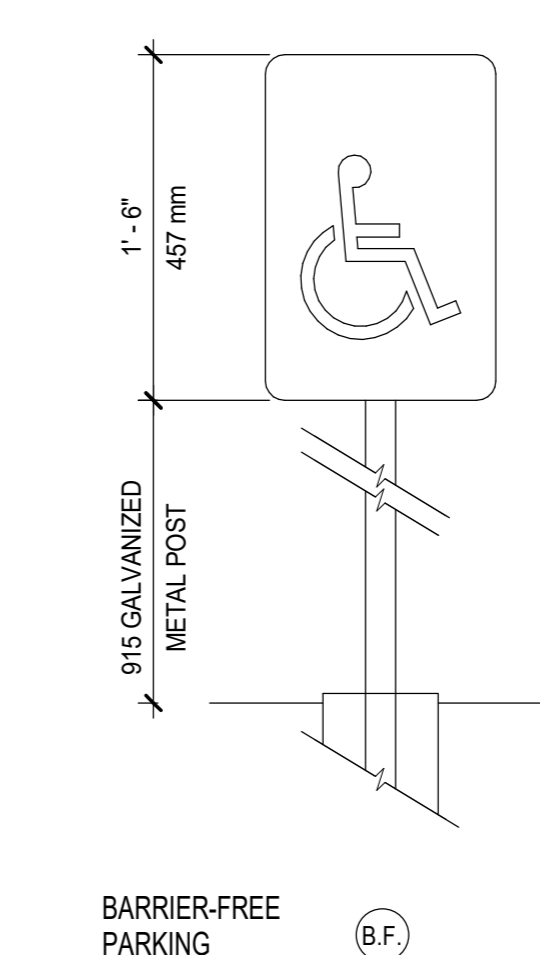
5 LOADING TRUCK SWEEP PATH
 DP10-00-06 SCALE: 1:300



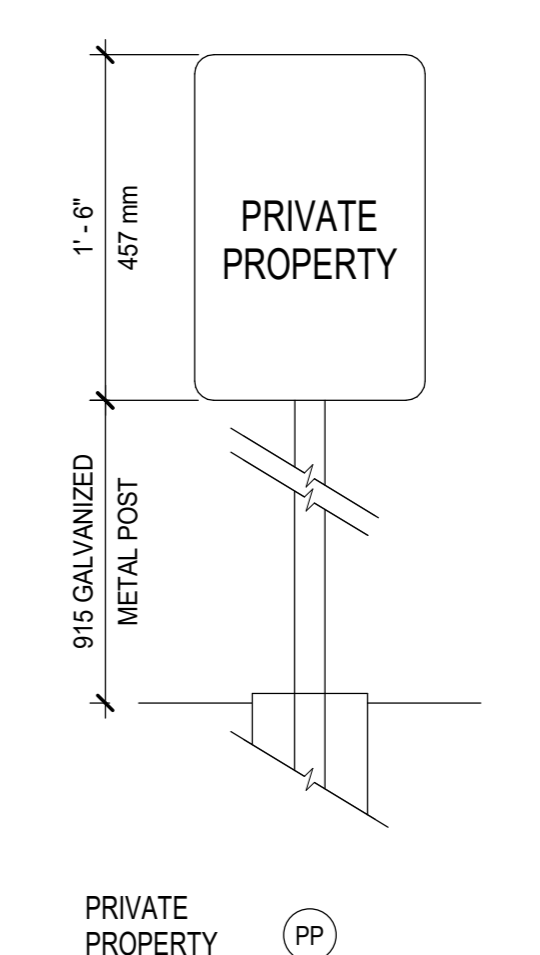
STOP SIGN (S)



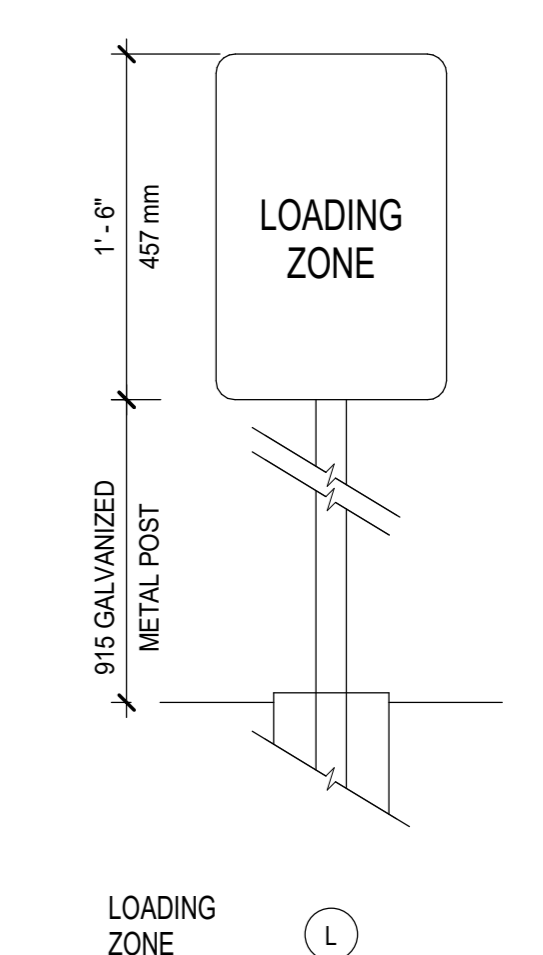
VISITOR PARKING (VP)



BARRIER-FREE PARKING (BF)



PRIVATE PROPERTY (PP)



LOADING ZONE (L)

NOTE: FOR ALL SIGNAGE REQUIREMENTS AND SPECIFICATIONS - REFER TO CITY OF CALGARY

1 SITE SIGNS
 DP10-00-06 SCALE: 1:10

DATE	ISSUED FOR	REV
2026-05-20	PERMIT	1

TRUE NORTH

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Project Component
 Key Plan
 Consultants:
 Survey: PASQUINI & ASSOCIATES
 Civil: VERITAS DEVELOPMENT SOLUTIONS
 Architecture: NORR
 Structural: TRI & ASSOCIATES
 Mechanical: TLI ENGINEERING
 Electrical: TLI ENGINEERING
 Interiors:
 Landscape: NAK DESIGN STRATEGIES

Seal(s)

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 MEMBERSHIP NO. 82334

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 Jonathan Hughes, Architect, SAIA, CMAA, ASCE, MAA, AIAAS, AIAPE
 Allan Young, P.Eng., OPECA
 Chris Lee, P.Eng., APECA

Project Manager A. Guco	Drawn S. Karveel / S. Sheth
Project Leader S. Karveel	Checked D. Dessanto / A. Guco

Client
CEDARGLEN LIVING

100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project
CEDARGLEN ALPINE PARK 2

36 MIDWAY RD SW
 Drawing Title
LOADING VEHICLE SWEEP PATH & SITE DETAILS

Scale
 As indicated

Project No.
 RZ1124-0080

Drawing No.
DP10-00-06

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NOTE : RENDERINGS ARE ARTISTIC REPRESENTATION OF CONCEPT AND SHOWN FOR REFERENCE ONLY.

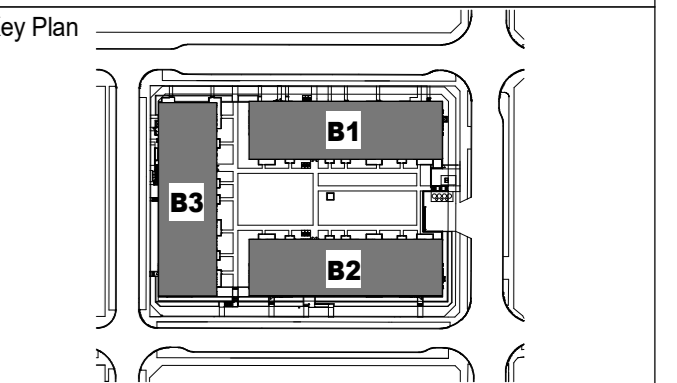
DATE	ISSUED FOR	REV
2026-05-29	ISSUED FOR DEVELOPMENT PERMIT	1

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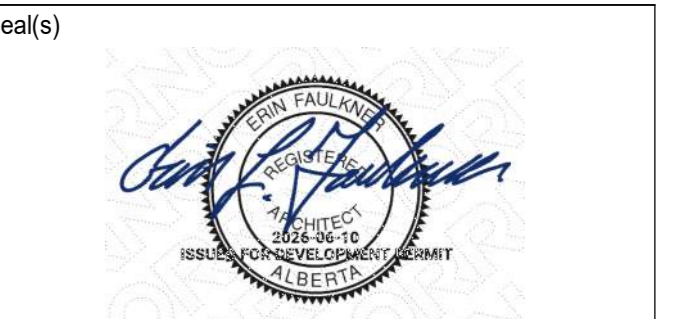
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Project Component



- Consultants
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 - Civil: VERITAS DEVELOPMENT SOLUTIONS
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 - Structural: TRI & ASSOCIATES
 - Mechanical: TLJ ENGINEERING
 - Electrical: TLJ ENGINEERING
 - Interiors:
 - Landscape: NAK DESIGN STRATEGIES



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Member:
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MEMBER NO. 82378/84

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Amar, Yashni, P.Eng., P.F.C.S., P.E.C.S.
Chris, Paul, P.Eng., A.P.E.C.A.

Project Manager A. Guco	Drawn S. Karveli / S. Sheth
Project Leader S. Karveli	Checked D. Dessario / A. Guco

Client
CEDARGLEN LIVING

100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project
CEDARGLEN ALPINE PARK 2

36 MIDWAY RD SW
Drawing Title
3D RENDERINGS

Scale

Project No.

RZ1124-0080

Drawing No.
DP10-00-08

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DATE	ISSUED FOR	REV
2026-05-20	ISSUED FOR DEVELOPMENT PERMIT	1



2 B01 SOUTH ELEVATION
 DP40-01-01 SCALE: 1/8" = 1'-0"



1 B01 NORTH ELEVATION
 DP40-01-01 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND NOTES	
01 MATERIAL: FIBER CEMENT BOARD - HORIZONTAL PLANK (SMOOTH) COLOR: WHITE MANUFACTURER: TBO	09 ITEM: PVC SLIDING DOOR COLOR: BLACK MANUFACTURER: TBO
02 MATERIAL: FIBER CEMENT BOARD - HORIZONTAL PLANK (SMOOTH) COLOR: DARK GRAY MANUFACTURER: TBO	10 MATERIAL: METAL FLASHING - PARAPET CAP COLOR: BLACK MANUFACTURER: KAYGAN
03 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: LIGHT GRAY MANUFACTURER: TBO	11 ITEM: METAL GUARDRAIL + GLASS PANELS COLOR: BLACK MANUFACTURER: TBO
04 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM FINISH: FIBER COAT - TRUE GRAN SERIES COLOR: DARK GRAY MANUFACTURER: TBO	12 ITEM: PREFINISHED ALUMINUM STOREFRONT COLOR: LIGHT GRAY MANUFACTURER: TBO
05 MATERIAL: FIBER CEMENT BOARD - HORIZONTAL PLANK FINISH: FIBER COAT - TRUE GRAN SERIES COLOR: WOOD TONE MANUFACTURER: TBO	13 MATERIAL: GLAZED EXTERIOR DOOR COLOR: FRAME BLACK GLAZING: CLEAR MANUFACTURER: TBO
06 MATERIAL: FIBER CEMENT FASCIA COLOR: TOWHEIDER MANUFACTURER: TBO	14 MATERIAL: PRE-FINISHED ALUMINUM ISOLATED EXTERIOR DOOR COLOR: MATCH (WOOD TONE) MANUFACTURER: TBO
07 MATERIAL: STAINED STONE VENEER COLOR: VERDETTA - LEDGE STONE MANUFACTURER: TBO	15 MATERIAL: PREFINISHED ALUMINUM SKIRT (VENTED) (NON-VENTED) COLOR: TO MATCH WOOD TONE MANUFACTURER: TBO
08 ITEM: PVC WINDOW COLOR: BLACK MANUFACTURER: TBO	16 MATERIAL: PRE-FINISHED METAL LOUVERS COLOR: TO MATCH ADJACENT MANUFACTURER: TBO
	17 MATERIAL: SMOOTH FINISH CONCRETE FACED ROOF INSULATION COLOR: GREY MANUFACTURER: N/A

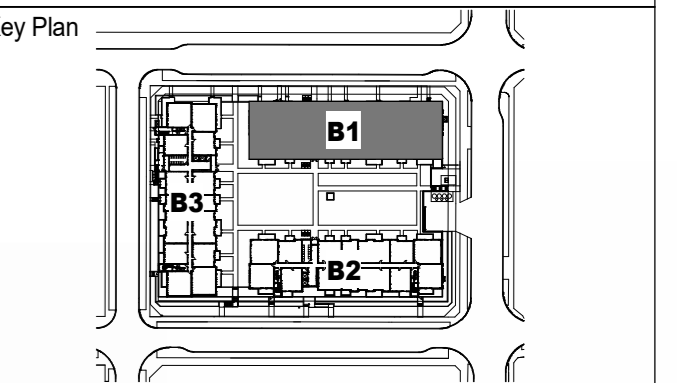
- GENERAL NOTES**
1. COLOURS AND MATERIALS SELECTED ARE FOR REFERENCE ONLY. FINAL SELECTION SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURERS MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
 2. CHANGES OF COLOUR AND MATERIAL OCCUR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
 3. FLASHINGS TO MATCH COLOUR OF MATERIAL BELOW, UNLESS NOTED OTHERWISE.
 4. HORIZONTAL LAP JOINTS TO BE FINISHED ON ALL OUTSIDE CORNERS WITH MATCHING TRIM UNLESS NOTED OTHERWISE.
 5. FOR EXTERIOR LIGHTING LOCATIONS AND INFORMATION - REFER TO ELECTRICAL.
 6. FOR GRADING INFORMATION - REFER TO CIVIL.
 7. EXTERIOR VENT LOCATIONS (BROWNS FOR REFERENCE ONLY) - REFER TO MECHANICAL. ALL VENTS, GRILLES ARE TO BE FINISHED TO MATCH SPOFFIT COLOUR.
 8. STRAPPING AS REQUIRED FOR ALL FIBER CEMENT FINISH.

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Project Component



Consultants

- Survey: PASQUINI & ASSOCIATES
- Civil: VERITAS DEVELOPMENT SOLUTIONS
- Architecture: NORR
- Structural: TRI & ASSOCIATES
- Mechanical: TLI ENGINEERING
- Electrical: TLI ENGINEERING
- Interiors: TLI ENGINEERING
- Landscape: NAK DESIGN STRATEGIES

Seal(s)

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 (Professional Corporation in the Province of Alberta)
 Jonathan Hughes, Architect, S.A.A. O.A.A. A.S.C. A.S.E. A.S.N.A. A.S.N.E. A.S.P.E.
 Aasha Yashni, P.Eng., P.F.C.S., P.F.C.E.
 Chris Lee, P.Eng., P.F.C.E.

Project Manager: Alba Guco
 Drawn: S. Karveel S. Sheh
 Project Leader: Chirag D. Desai / Alba Guco

Client: **CEDARGLEN LIVING**

100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project: **CEDARGLEN ALPINE PARK 2**

36 MIDWAY RD SW
 Drawing Title: **BUILDING 01 ELEVATIONS**

Scale: **As indicated**

Project No.: **RZ1124-0080**

Drawing No.: **DP40-01-01**

DATE	ISSUED FOR	REV
2026-05-20	ISSUED FOR DEVELOPMENT PERMIT	1



2 B01 WEST ELEVATION
 DP40-01-02 SCALE: 1/8" = 1'-0"



1 B01 EAST ELEVATION
 DP40-01-02 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND NOTES

01 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: WHITE MANUFACTURER: TBD	02 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: DARK GRAY MANUFACTURER: TBD	03 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: LIGHT GRAY MANUFACTURER: TBD	04 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: DARK GRAY MANUFACTURER: TBD	05 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK FINISH: FISHER COAT - TRUE GRAN SERIES COLOR: WOOD TONE	06 MATERIAL: FIBER CEMENT FASCIA COLOR: TOWERCLIFF MANUFACTURER: TBD	07 MATERIAL: STAINED STONE VENEER COLOR: VERDETTA, LEDGE STONE MANUFACTURER: TBD	08 ITEM: PVC WINDOW COLOR: BLACK MANUFACTURER: TBD	09 ITEM: PVC SLIDING DOOR COLOR: BLACK MANUFACTURER: TBD	10 MATERIAL: METAL FLASHING - PARAPET CAP COLOR: BLACK MANUFACTURER: NAYGAN	11 ITEM: METAL GLAZIERIAL + GLASS PANELS COLOR: CLEAR MANUFACTURER: TBD	12 MATERIAL: FIBER CEMENT ALUMINUM STOREFRONT COLOR: BLACK (FRAME) COLOR: WHITE (GLASS) MANUFACTURER: TBD	13 MATERIAL: GLAZED EXTERIOR DOOR COLOR: CLEAR MANUFACTURER: TBD	14 MATERIAL: POLYURETHANE INSULATED EXTERIOR DOOR COLOR: MATCH ADJACENT SIDING MANUFACTURER: TBD	15 MATERIAL: PRE-FINISHED ALUMINUM SOFFIT (NON-VENTED) COLOR: TO MATCH WOOD TONE MANUFACTURER: TBD	16 MATERIAL: PRE-FINISHED METAL LOUVERS COLOR: TO MATCH ADJACENT MANUFACTURER: TBD	17 MATERIAL: SMOOTH FINISH CONCRETE FACED ROOF INSULATION COLOR: GREY MANUFACTURER: N/A
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GENERAL NOTES

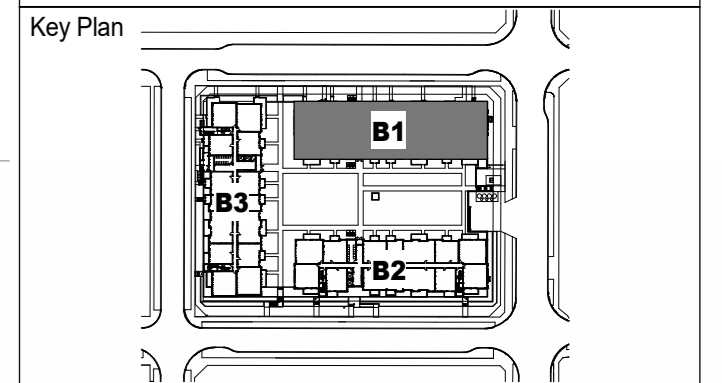
- COLOURS AND MATERIAL SELECTED ARE FOR REFERENCE ONLY. FINAL SELECTION SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURER MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- CHANGES OF COLOUR AND MATERIAL OCCUR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
- FLASHINGS TO MATCH COLOUR OF MATERIAL, BELOW, UNLESS NOTED OTHERWISE.
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- FOR EXTERIOR LIGHTING LOCATIONS AND INFORMATION - REFER TO ELECTRICAL.
- FOR GRADING INFORMATION - REFER TO CIVIL.
- EXTERIOR VENT LOCATIONS (BROWN) - REFER TO MECHANICAL. ALL VENTS, GRILLES ARE PRE-FINISHED TO MATCH SOFFIT COLOUR.
- STRAPPING AS REQUIRED FOR ALL FIBER CEMENT FINISH.



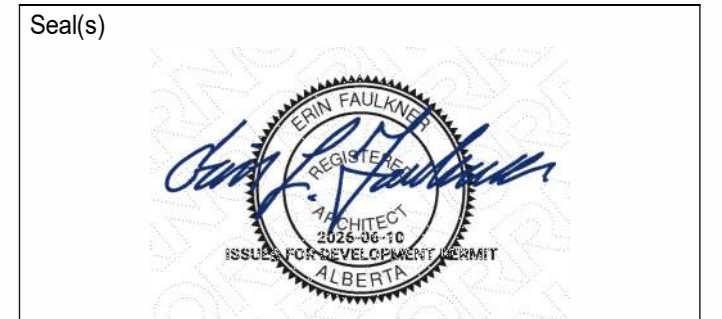
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Project Component



Consultants
 Survey: PASQUINI & ASSOCIATES
 Civil: VERITAS DEVELOPMENT SOLUTIONS
 Architecture: NORR
 Structural: TRI & ASSOCIATES
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 Jonathan Hughes, Architect, A.A.A., C.M.A., C.B.C., M.A.S., M.A.S., A.A.P.E.
 Akshay Sharma, P.Eng., P.E.C.E.A.
 Chitra Patel, P.Eng., A.P.E.C.A.

Project Manager: Alba Guco
 Drawn: S. Karveel, S. Sheeh
 Project Leader: Chandra D. Desai / Alba Guco

Client: **CEDARGLEN LIVING**

100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project: **CEDARGLEN ALPINE PARK 2**

36 MIDWAY RD SW
 Drawing Title: **BUILDING 01 ELEVATIONS**

Scale: As indicated
 Project No: RZ1124-0080
 Drawing No: **DP40-01-02**

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DATE	ISSUED FOR	REV
2026-05-29	ISSUED FOR DEVELOPMENT PERMIT	1



2 B02 WEST ELEVATION
 DP40-02-02 SCALE: 1/8" = 1'-0"



1 B02 EAST ELEVATION
 DP40-02-02 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND NOTES		
01 MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: WHITE MANUFACTURER: TBD	09 ITEM PVC SLIDING DOOR COLOR: BLACK MANUFACTURER: TBD	16 MATERIAL FIBER FINISHED METAL LOUVERS COLOR: TO MATCH ADJACENT MANUFACTURER: TBD
02 MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: DARK GRAY MANUFACTURER: TBD	10 MATERIAL METAL FLASHING - PARAPET CAP COLOR: BLACK MANUFACTURER: NAVIGAN	17 MATERIAL SMOOTH FINISH CONCRETE FACED RIGID INSULATION COLOR: GREY MANUFACTURER: N/A
03 MATERIAL FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: LIGHT GRAY MANUFACTURER: TBD	11 ITEM METAL QUADRAL + GLASS PANELS COLOR: BLACK MANUFACTURER: TBD	MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: LIGHT GRAY MANUFACTURER: TBD
04 MATERIAL FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: DARK GRAY MANUFACTURER: TBD	12 ITEM PREFINISHED ALUMINUM STOREFRONT COLOR: DARK GRAY FRAME COLOR: WHITE GLASS MANUFACTURER: TBD	MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: LIGHT GRAY MANUFACTURER: TBD
05 MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK FINISH: FISHER COAT - TRUE GRAY SERIES COLOR: WOOD TONE	13 MATERIAL GLAZED EXTERIOR DOOR COLOR: FRAME BLACK GLASS: CLEAR MANUFACTURER: TBD	MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) FINISH: FISHER COAT - TRUE GRAY SERIES COLOR: WOOD TONE MANUFACTURER: TBD
06 MATERIAL FIBER CEMENT FACIA COLOR: TO MATCH ADJ MANUFACTURER: TBD	14 MATERIAL YELLOW METAL INSULATED EXTERIOR DOOR COLOR: MATCH ADJACENT SIDING MANUFACTURER: TBD	MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: DARK GRAY MANUFACTURER: TBD
07 MATERIAL STAINED STONE VENEER COLOR: VERTICAL LEDGE STONE MANUFACTURER: TBD	15 MATERIAL PREFINISHED ALUMINUM SOFFIT (NON-VENTED) COLOR: TO MATCH WOOD GRAY MANUFACTURER: TBD	MATERIAL FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: DARK GRAY MANUFACTURER: TBD
08 ITEM PVC WINDOW COLOR: BLACK MANUFACTURER: TBD		

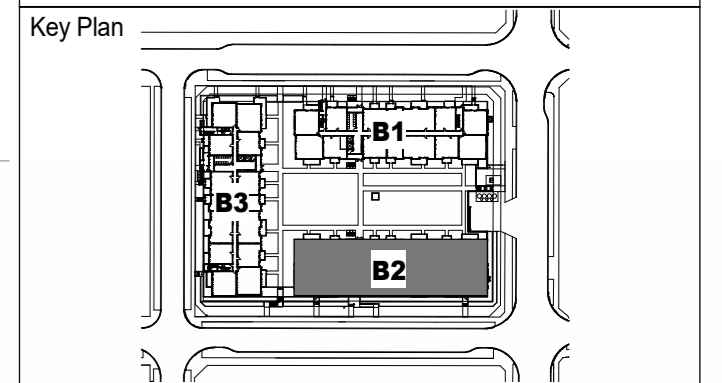
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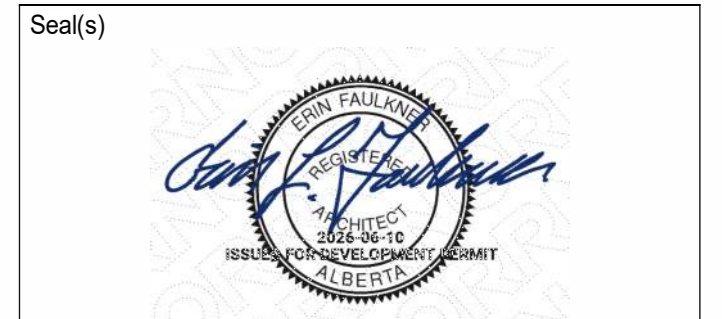
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Project Component



Consultants

Survey: PASQUINI & ASSOCIATES
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 O.A.A. No. 7192, A.P.E.C.A.

Project Manager: Alba Guco
 Drawn: S. Karveil, S. Sheeh
 Project Leader: Chavakos
 Checked: D. Dessanto / Alba Guco

Client: **CEDARGLEN LIVING**

Project: 100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project: **CEDARGLEN ALPINE PARK 2**

36 MIDWAY RD SW
 Drawing Title: **BUILDING 02 ELEVATIONS**

Scale: As indicated

Project No: RZ1124-0080

Drawing No: **DP40-02-02**



2 B03 SOUTH ELEVATION
 DP40-03-01 SCALE: 1/8" = 1'-0"



1 B03 NORTH ELEVATION
 DP40-03-01 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND NOTES

- | | | |
|------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| 01 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH)
COLOR: WHITE
MANUFACTURER: TBD | 09 ITEM: P.V.C. SLIDING DOOR
COLOR: WHITE
MANUFACTURER: TBD | 16 MATERIAL: PRE-FINISHED METAL LOUVERS
COLOR: TO MATCH ARCHITECT
MANUFACTURER: TBD |
| 02 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH)
COLOR: DARK GRAY
MANUFACTURER: TBD | 10 MATERIAL: METAL FLASHING - PARAPET CAP
COLOR: BLACK
MANUFACTURER: KAWNEER | 17 MATERIAL: BROADBOTH FINISH CONCRETE FACED RIGID INSULATION
COLOR: GREY
MANUFACTURER: N/A |
| 03 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM
COLOR: LIGHT GRAY
MANUFACTURER: TBD | 11 ITEM: METAL GUARDRAIL - GLASS PANELS
COLOR: BLACK
MANUFACTURER: TBD | |
| 04 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM
COLOR: DARK GRAY
MANUFACTURER: TBD | 12 ITEM: PRE-FINISHED ALUMINUM STOREFRONT
GLAZING: CLEAR
MANUFACTURER: TBD | |
| 05 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK
FINISH: PAPER COAT - TRUE GRAY SERIES
COLOR: WOOD TONE | 13 MATERIAL: GLAZED EXTERIOR DOOR
GLAZING: CLEAR
MANUFACTURER: TBD | |
| 06 MATERIAL: FIBER CEMENT FASCIA
COLOR: TO MATCH #05
MANUFACTURER: TBD | 14 MATERIAL: HOLLOW METAL INSULATED EXTERIOR DOOR
COLOR: TO MATCH #05 SIDING
MANUFACTURER: TBD | |
| 07 MATERIAL: STACKED STONE VENER
COLOR: GREY-TA
MANUFACTURER: TBD | 15 ITEM: P.V.C. WINDOW
COLOR: BLACK
MANUFACTURER: TBD | |
| 08 ITEM: P.V.C. WINDOW
COLOR: BLACK
MANUFACTURER: TBD | | |

GENERAL NOTES

1. COLOURS AND MATERIAL SELECTED ARE FOR REFERENCE ONLY. FINAL SELECTION SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY.
2. MATCHING ALTERNATE MANUFACTURER MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
3. CHANGES OF COLOR AND MATERIAL OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
4. FLASHINGS TO MATCH COLOUR OF MATERIAL BELOW UNLESS NOTED OTHERWISE.
5. HORIZONTAL LAP-JOINTS TO BE FINISHED ON ALL OUTSIDE CORNERS IN MATCHING TRIM UNLESS NOTED OTHERWISE.
6. FOR EXTERIOR LIGHTING LOCATIONS AND INFORMATION - REFER TO ELECTRICAL.
7. FOR GRADING INFORMATION - REFER TO CIVIL.
8. EXTERIOR VENT LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO MECHANICAL. ALL VENTS / COLLIES ARE PRE-FINISHED TO MATCH SOFFIT COLOUR.
9. STRAPPING AS REQUIRED FOR ALL FIBER CEMENT FINISH.

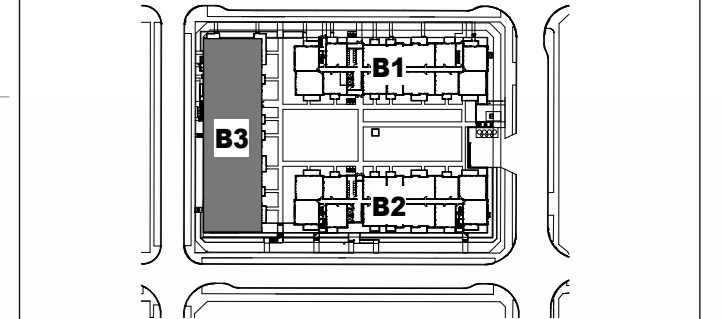
cedarglen LIVING

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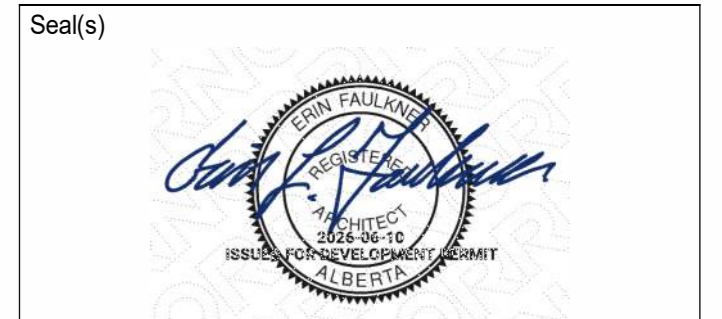
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Project Component

Key Plan



Consultants
 Survey: PASQUINI & ASSOCIATES
 Civil: VERITAS DEVELOPMENT SOLUTIONS
 Architecture: NORR
 Structural: TRI & ASSOCIATES
 Mechanical: TLJ ENGINEERING
 Electrical: TLJ ENGINEERING
 Interiors: NORR ARCHITECTS ENGINEERS PLANNERS
 Landscape: NAK DESIGN STRATEGIES



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 Anna Young, P.Eng., P.E.C.A.
 Chris Lee, P.Eng., A.P.E.C.A.

Project Manager: Alba Guco
 Drawn: S. Karveel / S. Sheth
 Project Leader: D. Dessario / Alba Guco

Client: CEDARGLEN LIVING
 100, 115 Quarry Park Road SE, Calgary, Alberta, T2C5G9

Project: CEDARGLEN ALPINE PARK 2
 36 MIDWAY RD SW
 Drawing Title: BUILDING 03 ELEVATIONS

Scale: As indicated
 Project No.: RZ1124-0080
 Drawing No.: DP40-03-01

09/05/2023 2:33:31 PM
 Autodesk Docs: C:\projects\alpine_park_2_CD\DWG\2023\10-080_Comp\Bldg\Bldg_03.dwg
 100_115 Quarry Park Road SE, Calgary, Alberta, T2C5G9



2 B03 WEST ELEVATION
 DP40-03-02 SCALE: 1/8" = 1'-0"



1 B03 EAST ELEVATION
 DP40-03-02 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND NOTES

01 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: WHITE MANUFACTURER: TBD	09 STEEL PVC BLINDING DOOR COLOR: BLACK MANUFACTURER: TBD	16 MATERIAL: PRE-FINISHED METAL LOUVERS COLOR: MATCH ARCHITECT MANUFACTURER: TBD
02 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: DARK GRAY MANUFACTURER: TBD	10 MATERIAL: METAL FLASHING - PARAPET CAP COLOR: BLACK MANUFACTURER: TBD	17 MATERIAL: SMOOTH FINISH CONCRETE FACED RIGID INSULATION COLOR: GREY MANUFACTURER: N/A
03 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: LIGHT GRAY MANUFACTURER: TBD	11 ITEM: METAL GUARDRAIL - GLASS PANELS COLOR: WHITE MANUFACTURER: TBD	
04 MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: DARK GRAY MANUFACTURER: TBD	12 ITEM: PRE-FINISHED ALUMINUM STOREFRONT GLAZING: CLEAR MANUFACTURER: TBD	MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: LIGHT GRAY MANUFACTURER: TBD
05 MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK FINISH: PAPER COAT - TRUE GRAY SERIES COLOR: WOOD TONE	13 MATERIAL: GLAZED EXTERIOR DOOR GLAZING: CLEAR COLOR: WOOD TONE MANUFACTURER: TBD	MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: LIGHT GRAY MANUFACTURER: TBD
06 MATERIAL: FIBER CEMENT FASCIA COLOR: TO MATCH #05 MANUFACTURER: TBD	14 MATERIAL: HOLLOW METAL INSULATED EXTERIOR DOOR COLOR: MATCH #05 SIDING MANUFACTURER: TBD	MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: DARK GRAY MANUFACTURER: TBD
07 MATERIAL: STACKED STONE VENEER COLOR: CRISTALLA (DIEGE STONE) MANUFACTURER: TBD	15 ITEM: PVC WINDOW COLOR: BLACK MANUFACTURER: TBD	MATERIAL: FIBER CEMENT PANEL WITH MATCHING TRIM COLOR: DARK GRAY MANUFACTURER: TBD
08 ITEM: PVC WINDOW COLOR: BLACK MANUFACTURER: TBD		MATERIAL: FIBER CEMENT SIDING - HORIZONTAL PLANK (SMOOTH) COLOR: LIGHT GRAY MANUFACTURER: TBD

GENERAL NOTES

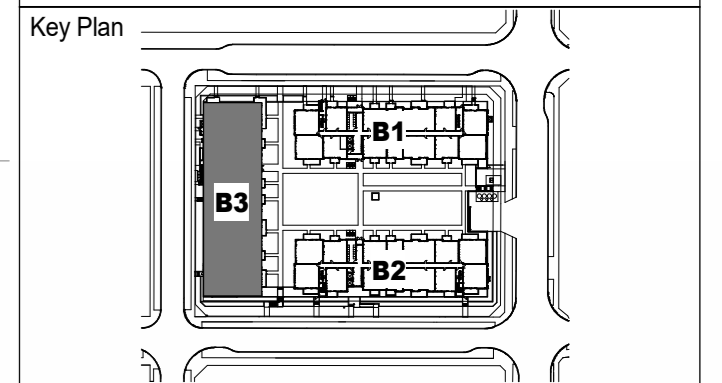
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- STRAPPING AS REQUIRED FOR ALL FIBER CEMENT FINISH.

DATE	ISSUED FOR	REV
2026-05-20	ISSUED FOR DEVELOPMENT PERMIT	1



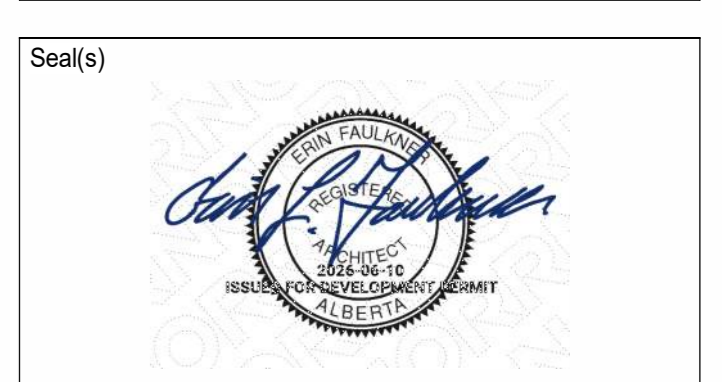
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Project Component



Consultants

Survey:	PASQUINI & ASSOCIATES
Civil:	VERITAS DEVELOPMENT SOLUTIONS
Architecture:	NORR
Structural:	TRL & ASSOCIATES
Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	
Landscape:	NAK DESIGN STRATEGIES



JOINT FIRM
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 THE ALBERTA ASSOCIATION OF ARCHITECTS
 REGISTRATION NO. 20218

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 Jonathan Hughes, Architect, A.A.A., C.M.A., C.E.C., M.A.S., A.A.S., A.A.P.E.
 Alina Yankin, P.Eng., P.O.C., P.E.C.A.
 Chris Lee, P.Eng., A.P.E.C.A.

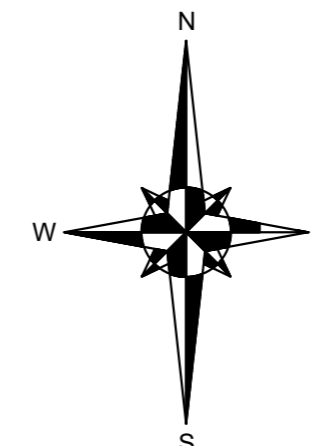
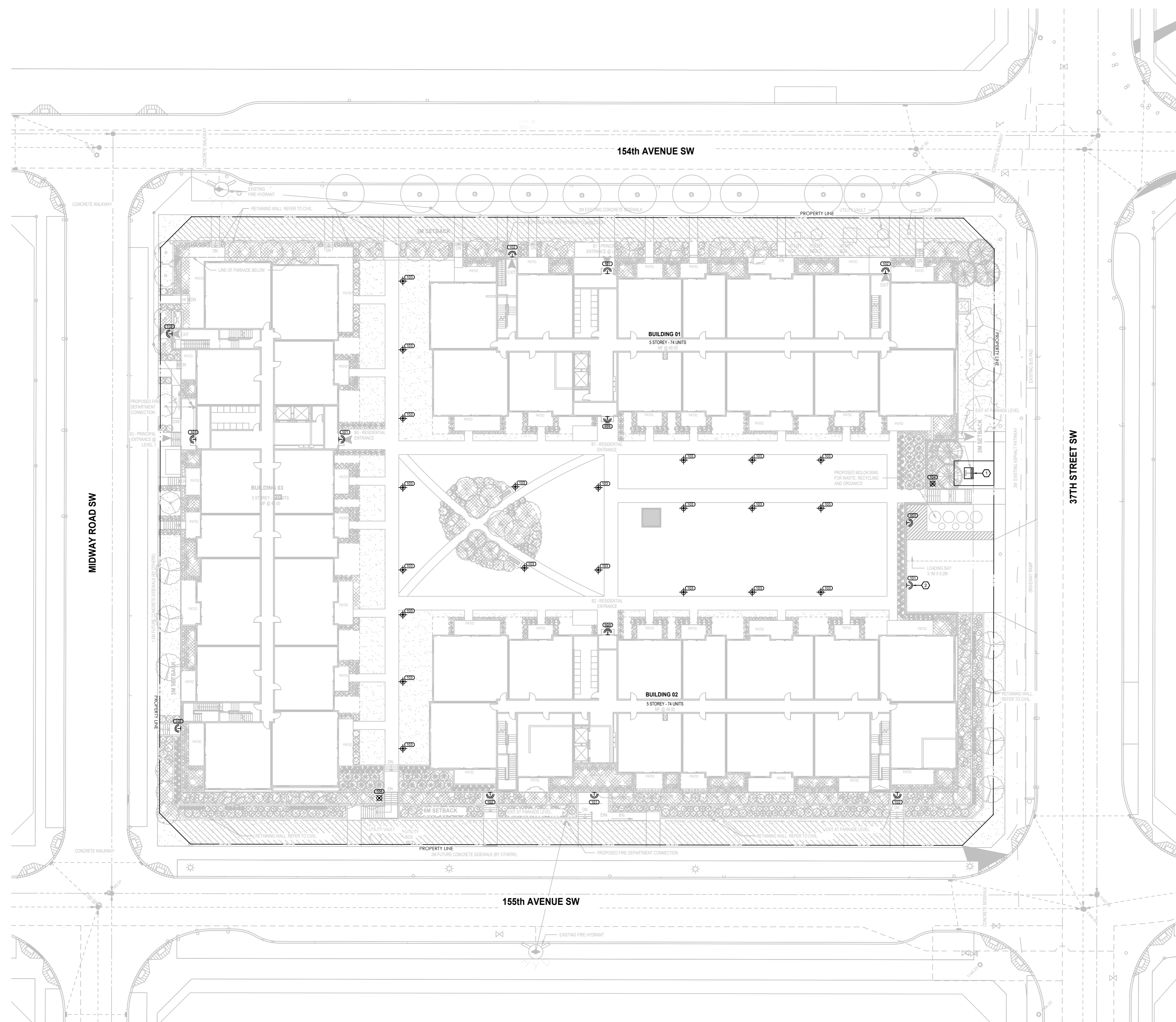
Project Manager	Alba Guco	Drawn	S. Karveel / S. Sheeh
Project Leader	Chenxiang D. Dessario / Alba Guco	Checked	

Client
CEDARGLEN LIVING

Project:
CEDARGLEN ALPINE PARK 2

36 WINDY RD SW
BUILDING 03 ELEVATIONS

Scale	As indicated
Project No.	RZ1124-0080
Drawing No.	DP40-03-02

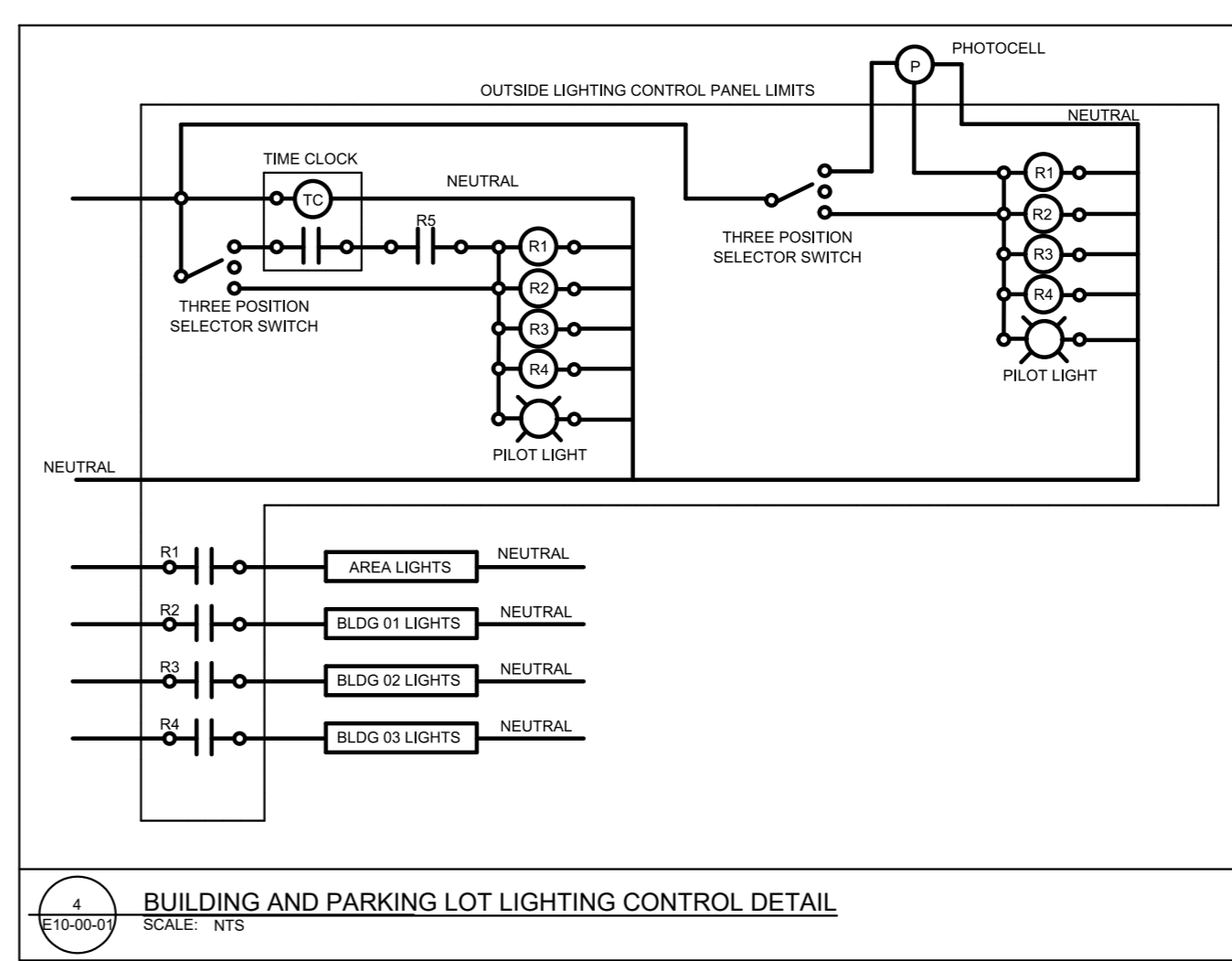
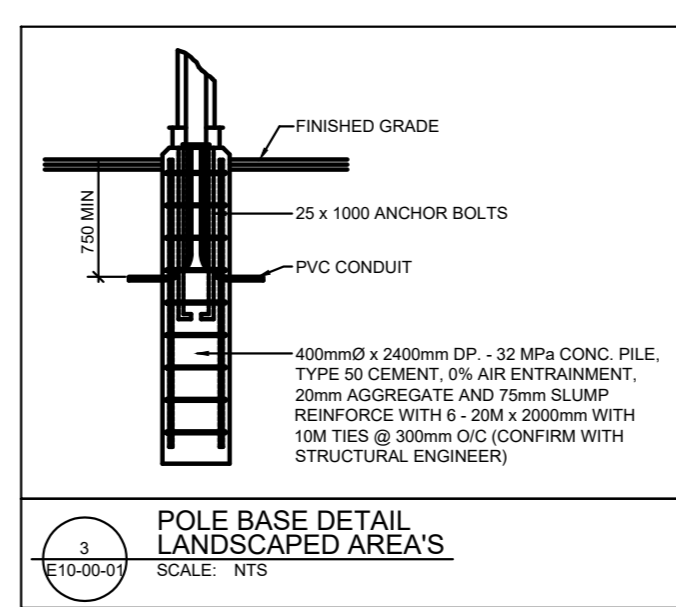
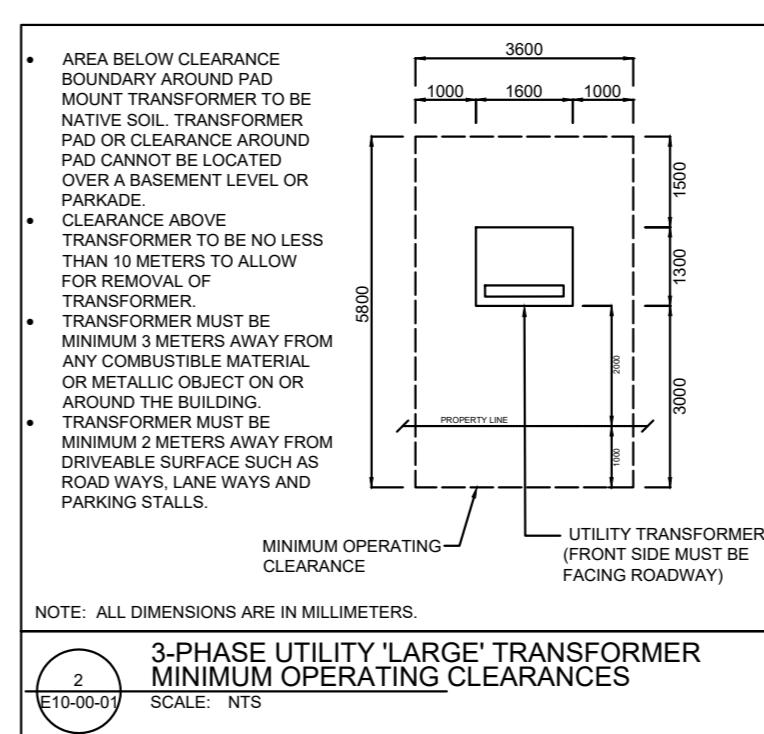


PROJECT INFORMATION:
 LEGAL DESCRIPTION:
 MUNICIPAL ADDRESS: 1030, 37 STREET SW, CALGARY AB

THIS DRAWING IS FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERS DRAWINGS FOR ALL DEEP SERVICE INFORMATION.

REFER TO SHALLOW SERVICE DESIGN DRAWINGS FOR ALL SHALLOW SERVICE INFORMATION FOR EACH BUILDING.

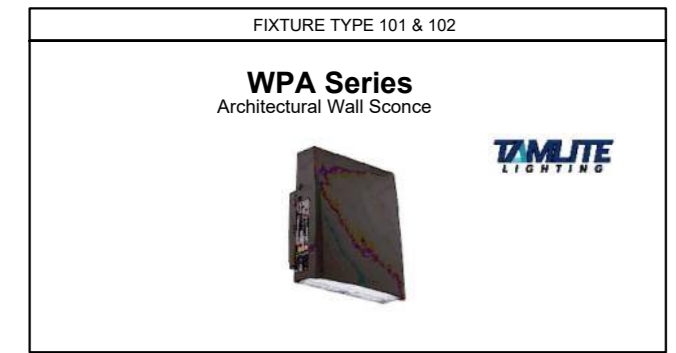
- GENERAL ELECTRICAL SITE NOTES:**
- LIGHTING CONTROL LERS TO INCLUDE TIME CLOCK AND PHOTOCELL CONTROL FUNCTION TO TURN OFF EXTERIOR LAMPWES WHEN SUFFICIENT DAYLIGHT AVAILABLE AND WHEN THE LIGHTING IS NOT REQUIRED DURING NIGHTTIME HOURS.
- SITE DRAWING KEY NOTES:**
- PROPOSED LOCATION OF UTILITY TRANSFORMER
 - FIXTURE TYPE '01' IN THIS LOCATION TO BE MOUNTED ABOVE PARKADE OVERHEAD DOOR AT PARKADE ENTRANCE.



SITE PLAN SITE LIGHTING LAYOUT
 SCALE: 1/8"=1'-0"

SYMBOL	DESCRIPTION
(Symbol)	BOLLARD LIGHT
(Symbol)	EXTERIOR WALL MOUNTED LIGHT
(Symbol)	EXTERIOR WALL MOUNTED STEP LIGHT
(Symbol)	POST TOP LIGHT

EXTERIOR LIGHTING SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	MANUFACTURERS CATALOGUE NUMBER	LAMP	LUMENS	QUANTITY	TOTAL METERS	MOUNTING	VOLTS	REMARKS
LED	WALL ENTRANCE WALL LIGHT	FALETTE	WPA500-LWV-02	30W LED	3000	8	240	WALL	120	
LED	EXIT DOOR WALL LIGHT	FALETTE	WPA500-LWV-02	15W LED	1500	6	90	WALL	120	
LED	BOLLARD LIGHT	HINKLEY	ATLANTIS	10W LED	800	21	168	BOLLARD	120	
LED	POST TOP LIGHT	FALETTE	APR4000-TLWV-02	30 30W LED	3000	2	72	POLE	120	



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Project Component
DEVELOPMENT PERMIT
 Key Plan

Consultants
 Survey:
 Civil:
 Architecture:
 Structural:
 Mechanical:
 Electrical:
 Interiors:
 Landscape:

Consultant
TUJ ENGINEERING
 MECHANICAL ELECTRICAL
 PROJECT #2024-078

Seal(s)
 2

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 Sarah Tomlin, P.Eng., P.Eng.
 Denis Hu, P.Eng., P.Eng.

Project Manager: Drawn: K.V. LU
 Project Leader: Checked: J.P. J.P./K.V.

Client:
CEDARGLEN LIVING
 100, 115 QUARRY PARK RD SE, CALGARY AB
 Project:
MULTI-FAMILY - ALPINE PARK 2
 15300, 37 STREET SW, CALGARY AB
 Drawing Title:
SITE PLAN SITE LIGHTING LAYOUT

Scale: As indicated
 Project No.: RZ1124-0080
 Drawing No.: **E10-00-01**
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