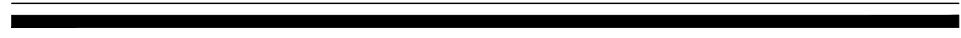


GENERAL NOTES	
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2.	ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3.	CONTRACTOR TO COMPLY TO ALL CURRENT ALBERTA BUILDING CODE RULES PLUS ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
4.	IT IS THE CONTRACTORS RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
5.	ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION & REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THIS CONTRACT SHALL INCORPORATE AND BE PREFORMED WITH MATERIALS TO MATCH SAME AND SHALL REQUIRE FIRE RATINGS.
6.	WHERE "TYPE X" GYPSUM WALL BOARD IS NOTED ON DRAWINGS, PROVIDE FIRE-RATED GYPSUM WALL BOARD WITH U.L.C. LABEL.
7.	PRE-DRILLED INSERTS ARE TO BE USED WHEN ATTACHING OR FASTENING MATERIALS OR FITMENTS TO MASONRY OR CONCRETE WALLS, FLOORS, SLABS OR CEILING ASSEMBLIES.
8.	REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR REINFORCING AND CORE FILLING OF MASONRY WALLS AT WALL OPENINGS, CORNERS & TERMINATIONS UNLESS NOTED OTHERWISE.
9.	PROVIDE SOLID BLOCKING (2"x6") IN STUD PARTITIONS BEHIND ALL RECESSED OR FLUSH MOUNTED EQUIPMENT & ACCESSORIES AT ALL ANCHOR POINTS.
10.	IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OWN FORCES & HIS SUB TRADES TO ENSURE THAT HOLES CUT FOR PENETRATIONS THROUGH THE EXTERIOR WALL SYSTEMS ARE NOT OVERSIZED. AFTER INSTALLATION OF ANY PENETRATIONS, THE VOIDS BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE AIR/VAPOR BARRIER.
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12.	THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S LETTER, NOTES AND SHOP DRAWINGS AS WELL AS MECHANICAL & ELECTRICAL DRAWINGS & ROOF TRUSS/ JOIST SUPPLIER/ MANUFACTURER'S DRAWINGS.
13.	ENSURE THAT ALL PRE-FINISHED METAL CAPPING TO THE WOOD FASCIAS, DECK TRIMS AND BAND BOARDS ARE COMPLETE WITH POSITIVE DRAINAGE.
14.	ANY LARGE MECHANICAL GRILLE OPENINGS ON THE ELEVATIONS SHALL BE PREPARED & FINISHED IN THE SAME MANNER AS THE WINDOW ASSEMBLIES.
15.	ALL GEODETIC ELEVATIONS PROVIDED TO AMAYA DESIGN INC. ARE ASSUMED TO BE ACCURATE AND REFLECT ACTUAL SITE CONDITIONS. AMAYA DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE PROVIDED TOPOGRAPHIC SURVEY.

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ISSUED FOR DEVELOPMENT PERMIT

June 9, 2026

ARCHITECTURAL SYMBOLS	
	EXISTING GEODETIC GRADE AS PER SITE PLAN
	PROPOSED GEODETIC GRADE AS PER SITE PLAN
	GRID NUMBERS
	SECTION DRAWING NUMBER WHERE THE SECTION APPEARS
	ROOM / ROOM SIZE
	ROOM / ROOM SIZE
	EXTERIOR FINISHES TAG NUMBER
	DETAIL TAG
	WINDOW TAG
	EXTERIOR DOOR & GARAGE DOOR TAGS
	DRAWING OR DETAIL REFERENCE SCALE
	DETAIL CALL- OUT PAGE DETAIL NUMBER
	WINDOW WELL AS REQ'D

LIST OF DRAWINGS		
PAGE	DRAWING NAME	STATUS
C.0	COVER PAGE	ISSUED
A.1	FRONT ELEVATION	ISSUED
A.2	LEFT ELEVATION	ISSUED
A.3	RIGHT ELEVATION	ISSUED
A.4	REAR ELEVATION	ISSUED
4.5	MAIN FLOOR	ISSUED
4.6	UPPER FLOOR	ISSUED
4.7	BASEMENT DEVELOPMENT	ISSUED
W.1	WINDOW SCHEDULE	ISSUED
S.1	CROSS SECTION	ISSUED
S.2	CROSS SECTION	ISSUED
S.3	CROSS SECTION	ISSUED
D.1	DETAILS	ISSUED
D.2	DETAILS	ISSUED
D.3	DETAILS	ISSUED
D.4	DETAILS	ISSUED
D.5	DETAILS	ISSUED
D.6	DETAILS	ISSUED
D.7	DETAILS	ISSUED
D.8	DETAILS	ISSUED
E.1	MAIN FLOOR ELECTRICAL PLAN	ISSUED
E.2	UPPER FLOOR ELECTRICAL PLAN	ISSUED
E.3	LOWER LEVEL ELECTRICAL PLAN	ISSUED
G.1	DETACHED GARAGE ELEVATIONS	ISSUED
G.2	DETACHED GARAGE FLOOR PLAN	ISSUED

4108 - 19TH STREET SW
CALGARY, ALBERTA
LOT 11&12 | BLOCK B | PLAN 5641 S
ZONING: R-CG

MATERIAL LEGEND	
TAG #	MATERIAL
1	ARCHITECTURAL ASPHALT SHINGLES
2	8" SMARTBOARD FASCIA
3	2" OVER 12" SMARTBOARD PANEL
4	MANUFACTURED BRICK
5	2 X 6 FRAMED DECORATIVE BEAM CLAD WITH SMART BOARD PANEL COMES WITH 1" SMART BOARD TRIM ABOVE AND BELOW
6	CONCRETE PORCH C/W CONCRETE STEPS
7	STUCCO SIDING
8	2" ALUMINUM CAP W/. 2" OVERHANG
9	PRESSURE TREATED DECK AND WOOD STEPS
10	8" ALUMINUM FASCIA
11	GARAGE OVERHEAD DOOR



PLEASE NOTE THAT THIS IS AN ARTISTIC RENDERING FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS MAY VARY UPON COMPLETION OF CONSTRUCTION.



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CALGARY, AB
T2H 2L9
WWW.AMAYADESIGN.CA

REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DESIGN BY: CA	DRAWN BY: BW
LOT: 11 & 12	
BLOCK: B	
PLAN: 5641 S	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	
June 9, 2026	
ADDRESS:	4108 - 19TH ST SW CALGARY, ALBERTA (ALTADORE)

FLOOR AREAS (SQ.FT.)	
MAIN FLOOR	977
UPPER FLOOR	1092
TOTAL	2069
BASEMENT DEV.	709
DETACHED GARAGE	400

NORTH
UNIT

PAGE
C.0
PROJECT NO. S555

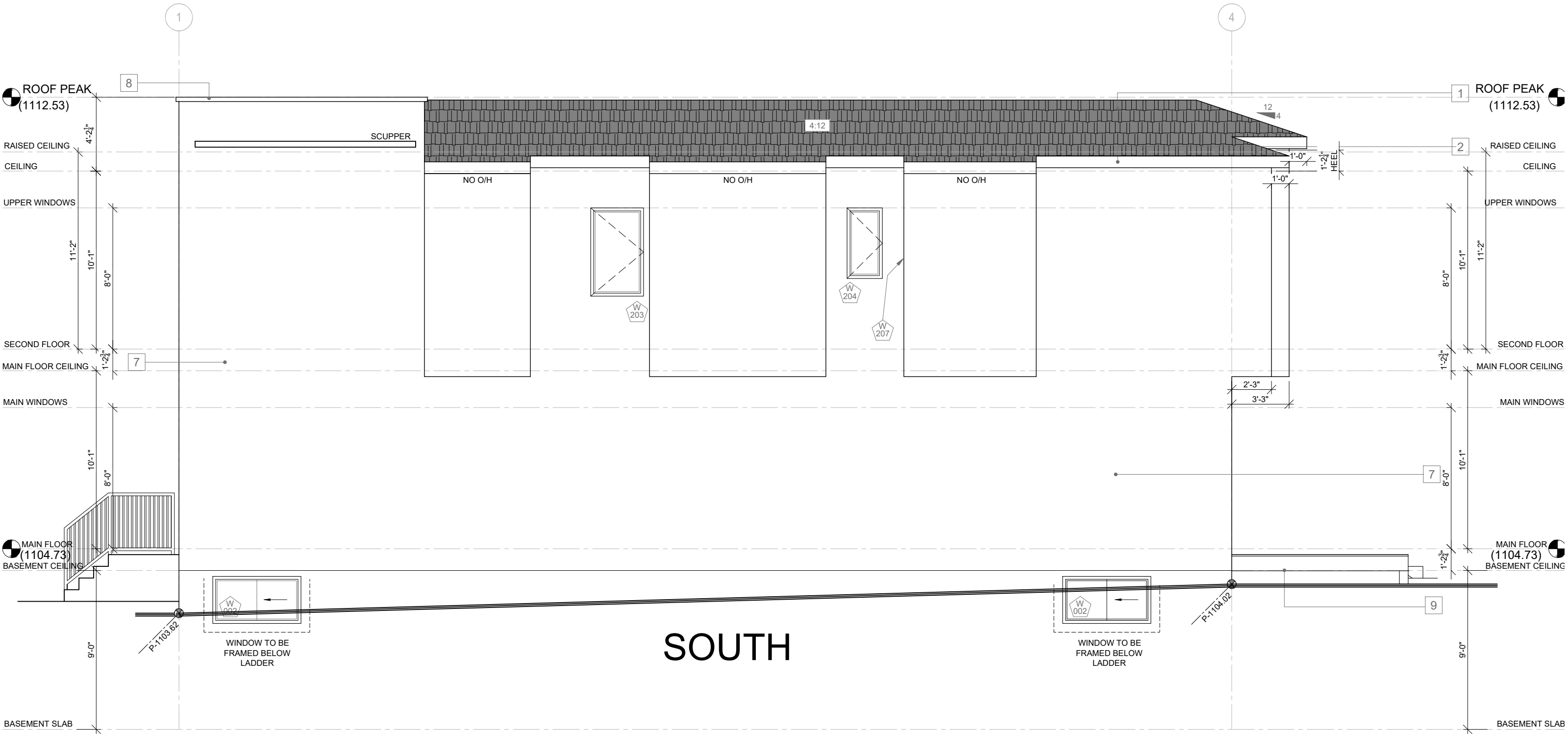


REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DESIGN BY: CA	DRAWN BY: BW
LOT: 11 & 12	
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DETACHED GARAGE	400



TOTAL ALLOWABLE CANTILEVER FOR NORTH WALL - MAX. 40%
61'-6" TOTAL WALL LENGTH * 0.4 = 24.64' ALLOWABLE TOTAL CANTILEVERS
SHOWN = 23'-6" TOTAL CANTILEVER LENGTH

GLAZING CALCULATION
2.1 SQ.M. TOTAL GLASS / 112.78 SQ.M. TOTAL WALL = 1.9% @ 1.24 M TO P.LINE

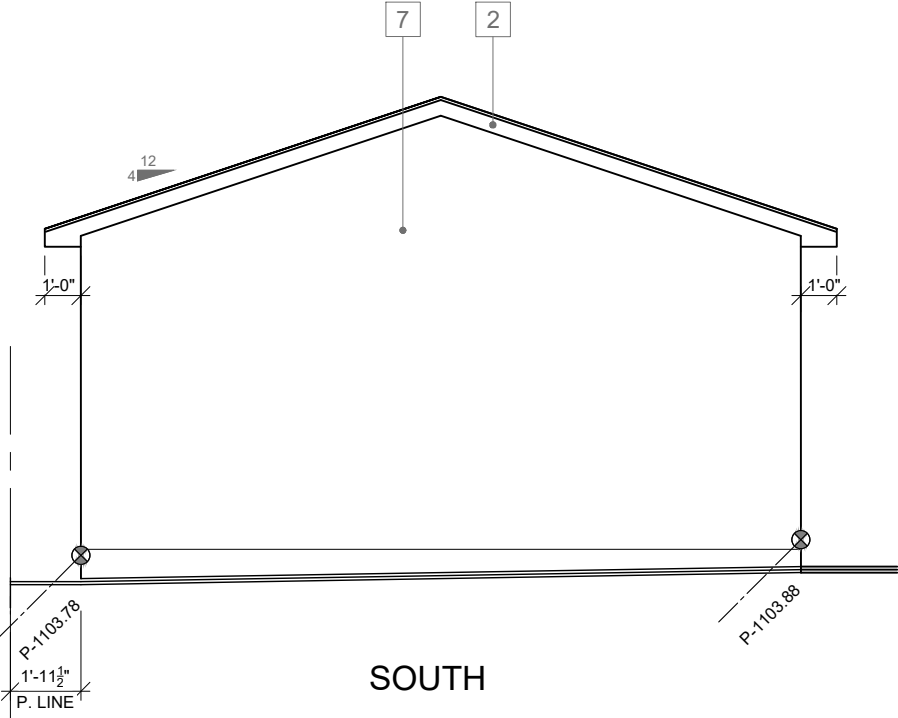


REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

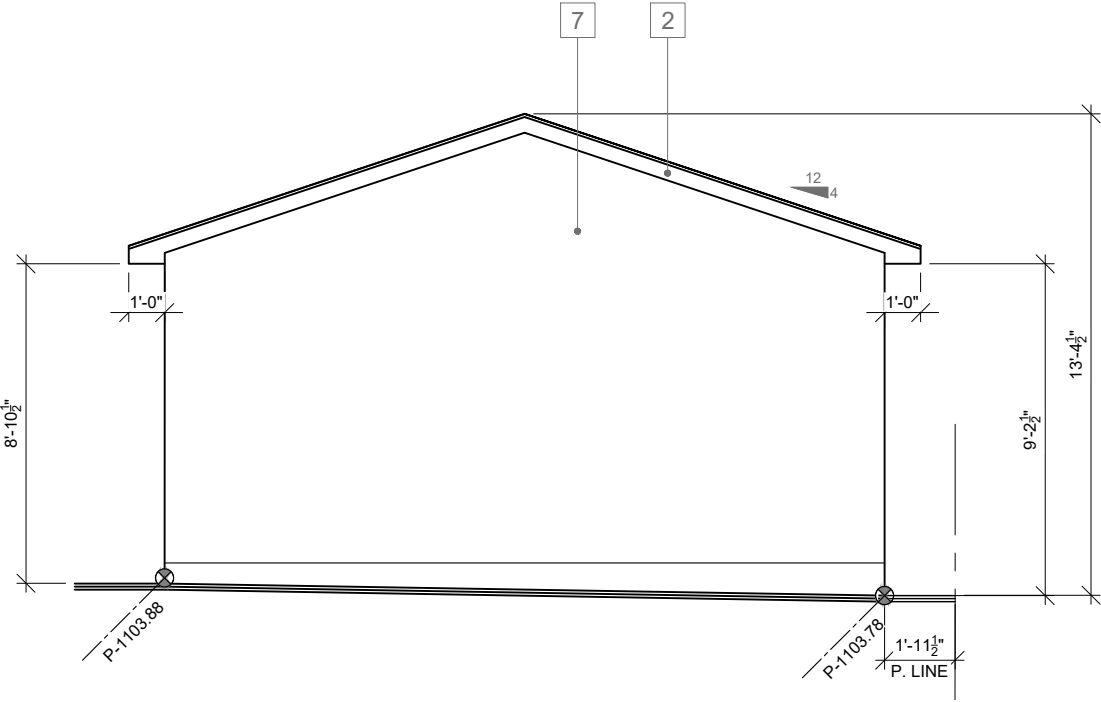
DESIGN BY: CA	DRAWN BY: BW
LOT: 11 & 12	
BLOCK: B	
PLAN: 5641 S	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	June 9, 2026
ADDRESS:	4108 - 19TH ST SW CALGARY, ALBERTA (ALTADORE)

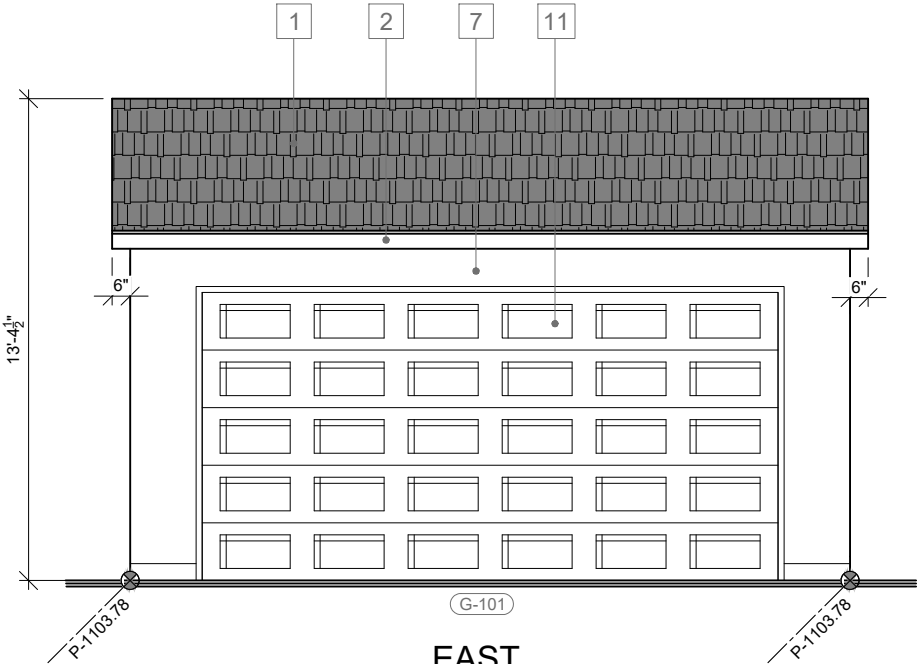
FLOOR AREAS (SQ.FT.)	
MAIN FLOOR	977
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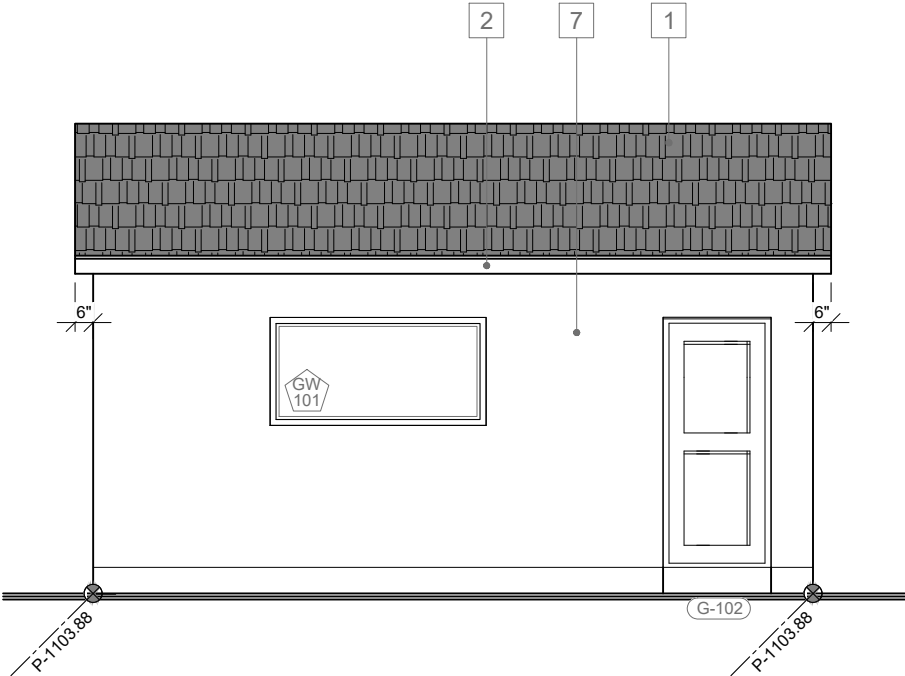
SOUTH



NORTH



EAST



WEST

REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DESIGN BY: CA	DRAWN BY: BW
LOT: 11 & 12	
BLOCK: B	
PLAN: 5641 S	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	June 9, 2026
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WWW.AMAYADESIGN.CA

ARCHITECTURAL SYMBOLS			
UW		UPPER WINDOW	
MW		MAIN WINDOW	
BW		BASEMENT WINDOW	
		EXISTING GRADE	
		PROPOSED GRADE	
BOW		BOTTOM OF RETAINING WALL	
TOW		TOP OF RETAINING WALL	
		DENOTES MAIN CANTILEVER	
		DENOTES UPPER CANTILEVER	
		DENOTES WINDOW WELL	
		SECTION PAGE	
		SECTION NUMBER	
		DRAWING OR DETAIL REFERENCE	
		SCALE	
----		PROPERTY LINE	
-----		OUT LINE OF FOUNDATION WALL BELOW GRADE	
		BUILDING FOOTPRINT ABOVE GRADE	
		LANDSCAPE RETAINING WALL	
		OVERHEAD LINES	
		UNDERGROUND GAS LINE	
		SEWER LINE	
		WATER LINE	
		STORM LINE	
		FENCE	
		POWER POLE	
		EXISTITNG TREES TO BE REMOVED	

REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:
June 8, 2026
ADDRESS: 4108 - 19TH ST SW CALGARY, AB

DESIGN BY: CA	DRAWN BY: CA	
LOT: 4 & 3	BLOCK: B	PLAN: 5641 S
COVER PAGE NORTH UNIT		

SCALE: N.T.S.

LIST OF DRAWINGS	
PAGE	DRAWING NAME
S.0	COVER PAGE
S.1	SITE PLAN
S.2	EXISTING & NEW LANDSCAPE PLAN
S.3	STREETSCAPE

LOT COVERAGE (SQ.M.)		PAGE
LOT	593,600	S.0
HOUSE	91.816	
COVERED PORCH	0.000	PROJECT NO. S590
DETACHED GARAGE	37.000	
TOTAL	128.816	
COVERAGE (22.5% MAX.)	21.70%	

ISSUED FOR DEVELOPMENT PERMIT
June 8, 2026

4108 - 19TH STREET SW
CALGARY, ALBERTA
LOT 3 AND 4 | BLOCK B | PLAN 5641 S
ZONING: R-CG





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REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

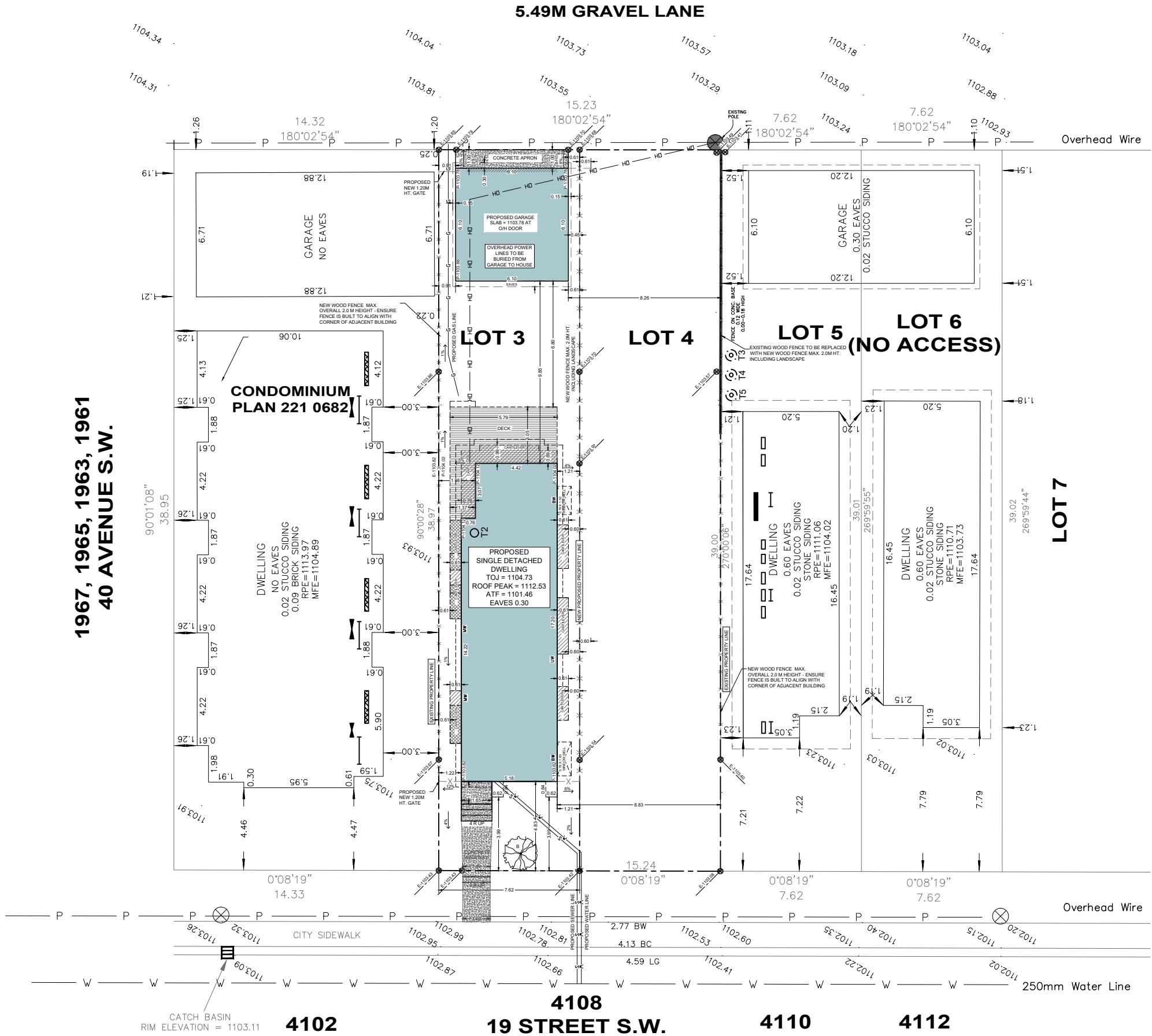
ISSUE DATE:	
June 8, 2026	
ADDRESS:	4108 - 19TH ST SW CALGARY, AB

DESIGN BY: CA		DRAWN BY: CA	
LOT: 4 & 3	BLOCK: B	PLAN: 5641 S	
SITE PLAN NORTH UNIT			

SCALE: 1:5000

LOT COVERAGE (SQ.M.)	
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HOUSE	91.816
COVERED PORCH	0.000
DETACHED GARAGE	37.000
TOTAL	128.816
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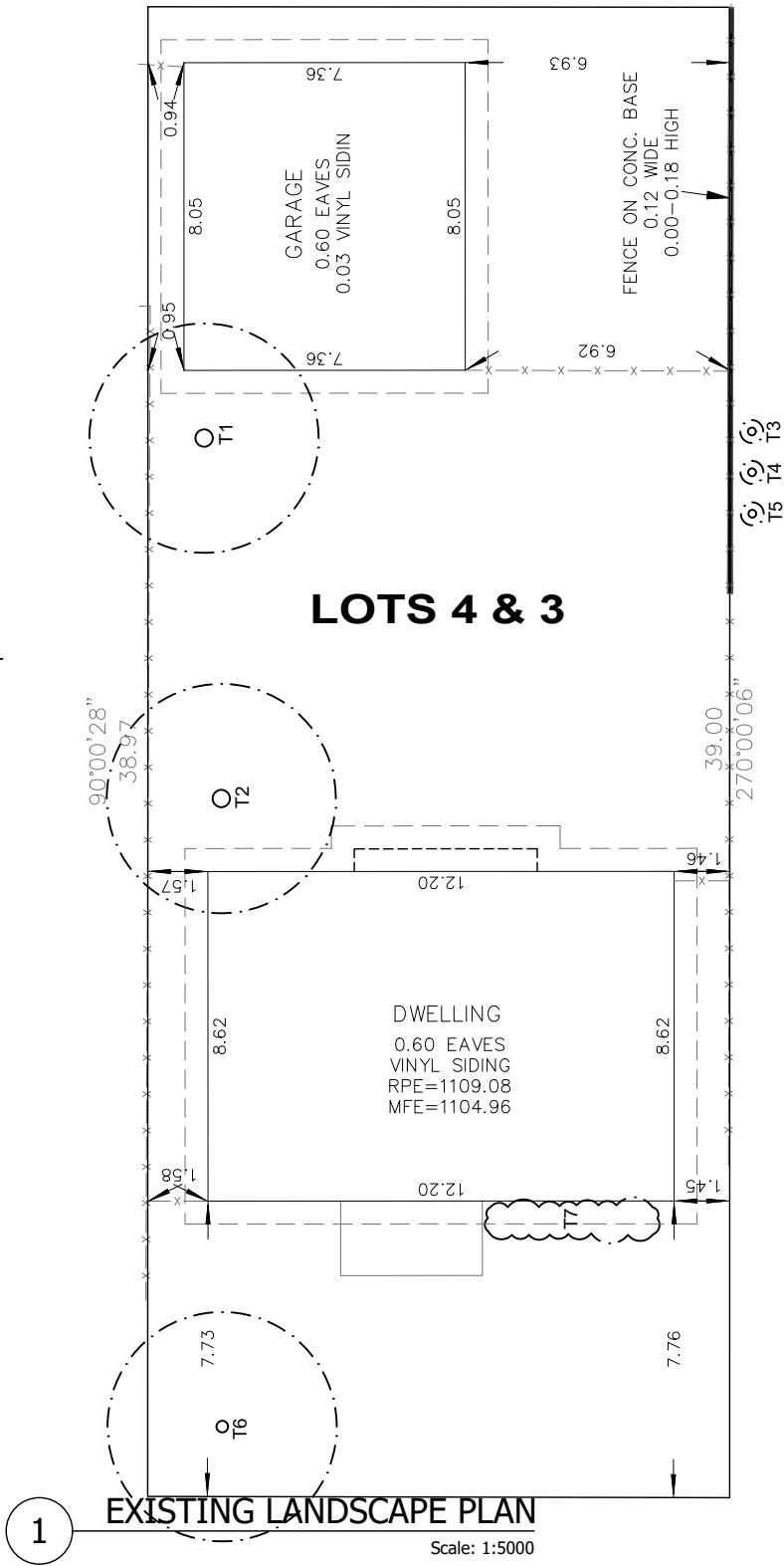
PAGE
S.1
PROJECT NO.
S590



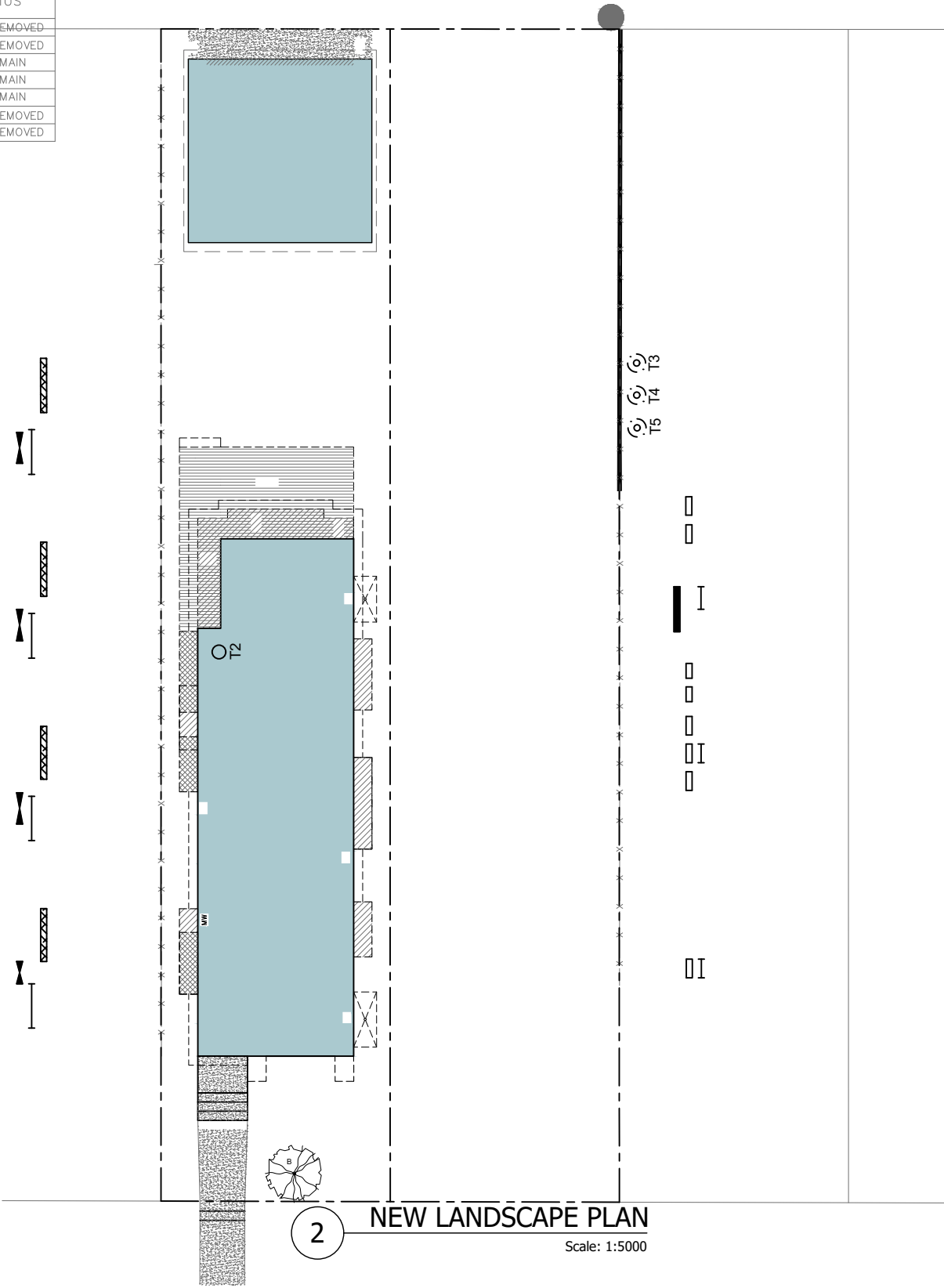
1967, 1965, 1963, 1961
40 AVENUE S.W.

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	STATUS
T1	Coniferous	0.45	6.00	12.00	In Subject Property	TO BE REMOVED
T2	Coniferous	0.45	6.00	12.00	In Subject Property	TO BE REMOVED
T3	Deciduous	0.20	0.60	3.00	In Adjacent Property	TO REMAIN
T4	Deciduous	0.20	0.60	3.00	In Adjacent Property	TO REMAIN
T5	Deciduous	0.20	0.60	3.00	In Adjacent Property	TO REMAIN
T6	Deciduous	0.30	6.00	8.00	In Subject Property	TO BE REMOVED
T7	Bush	—	1.00	3.00	In Subject Property	TO BE REMOVED



PROPOSED TREE & LANDSCAPE TABLE		
TREE PLANTING TO ADHERE TO THE PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS, LANDSCAPE CONSTRUCTION (CURRENT EDITION).		
LANDSCAPING CALCULATION:		
A MINIMUM OF TWO TREES PER UNIT MUST BE PLANTED ON THE PARCEL FOR A TOTAL OF FOUR. THIS MAY BE ACCOMPLISHED BY PLANTING NEW TREES OR PRESERVING EXISTING TREES. THE TREES MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.		
To satisfy the requirement of one tree, the following sizes must be met: a. A deciduous tree with a minimum calliper of 50.0mm; or b. A coniferous tree with a minimum height of 2.0 metres.		
To satisfy the requirement of two trees, the following sizes must be met: a. A deciduous tree with a minimum calliper of 85.0mm; or b. A coniferous tree with a minimum height of 4.0 metres.		
The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.		
SYMBOL	TREE PLANTING PROVIDED	IMAGE
	CONIFEROUS (2) (A) Montgomery Spruce – Picea pungens 'Montgomery' SIZE: 12' High X 5' wide (3.66m X 1.53m) Coniferous trees min. height of 2.0m, at least 50.0% of the provided trees must have a min. height of 3.0m	
	DECIDUOUS (3) (B) Rosthern crabapple – Malus baccata 'Rosthern' SIZE: 15' High X 6' wide (4.57m X 1.83m) Deciduous = 1 @ 60mm calliper & 2 @ 75mm calliper Deciduous trees min. calliper of 50mm, at least 50.0% of the provided trees must have min. calliper of 75mm	
HARD LANDSCAPE		
	CONCRETE	



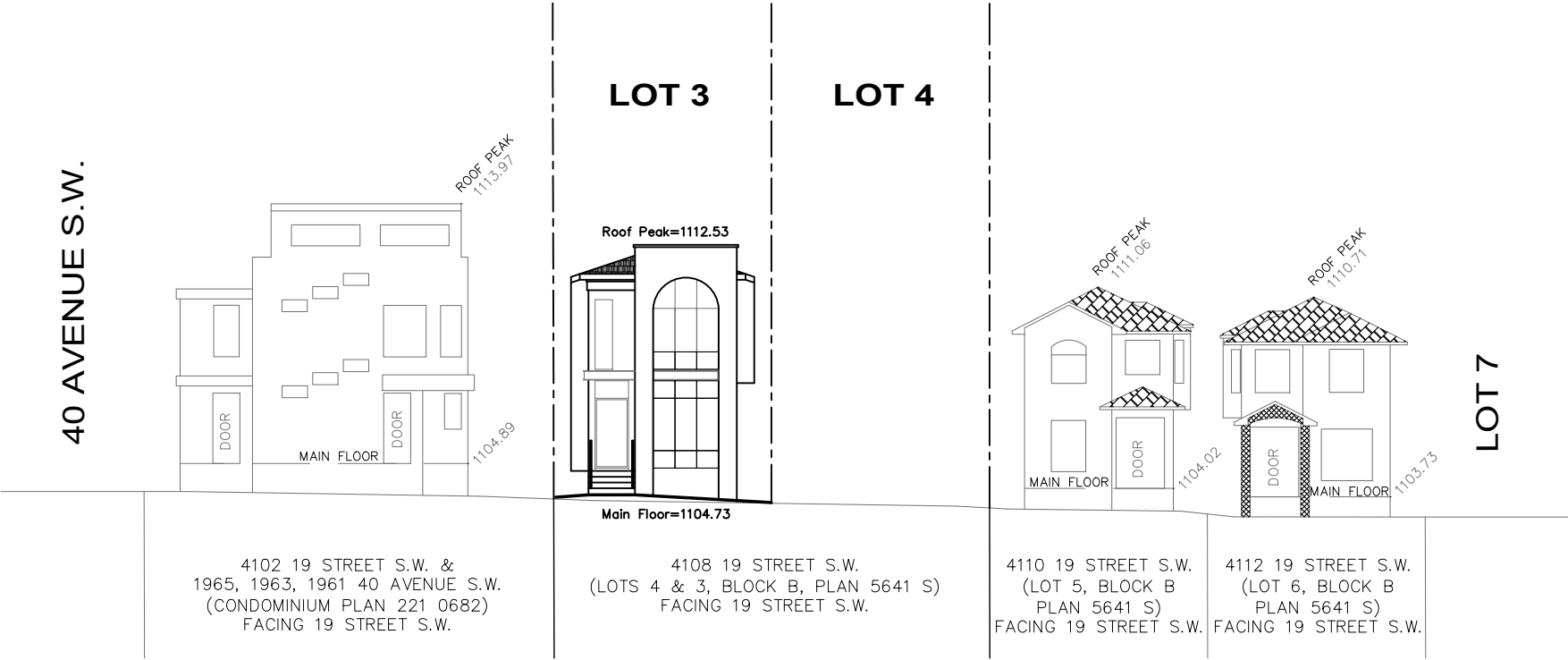
REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:	
June 8, 2026	
ADDRESS:	4108 - 19TH ST SW CALGARY, AB

DESIGN BY: CA	DRAWN BY: CA
LOT: 4 & 3	BLOCK: B
PLAN: 5641 S	
LANDSCAPE PLAN NORTH UNIT	

SCALE: 1:5000

LOT COVERAGE (SQ.M.)	
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WEST STREETScape

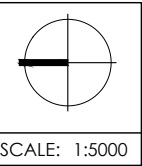


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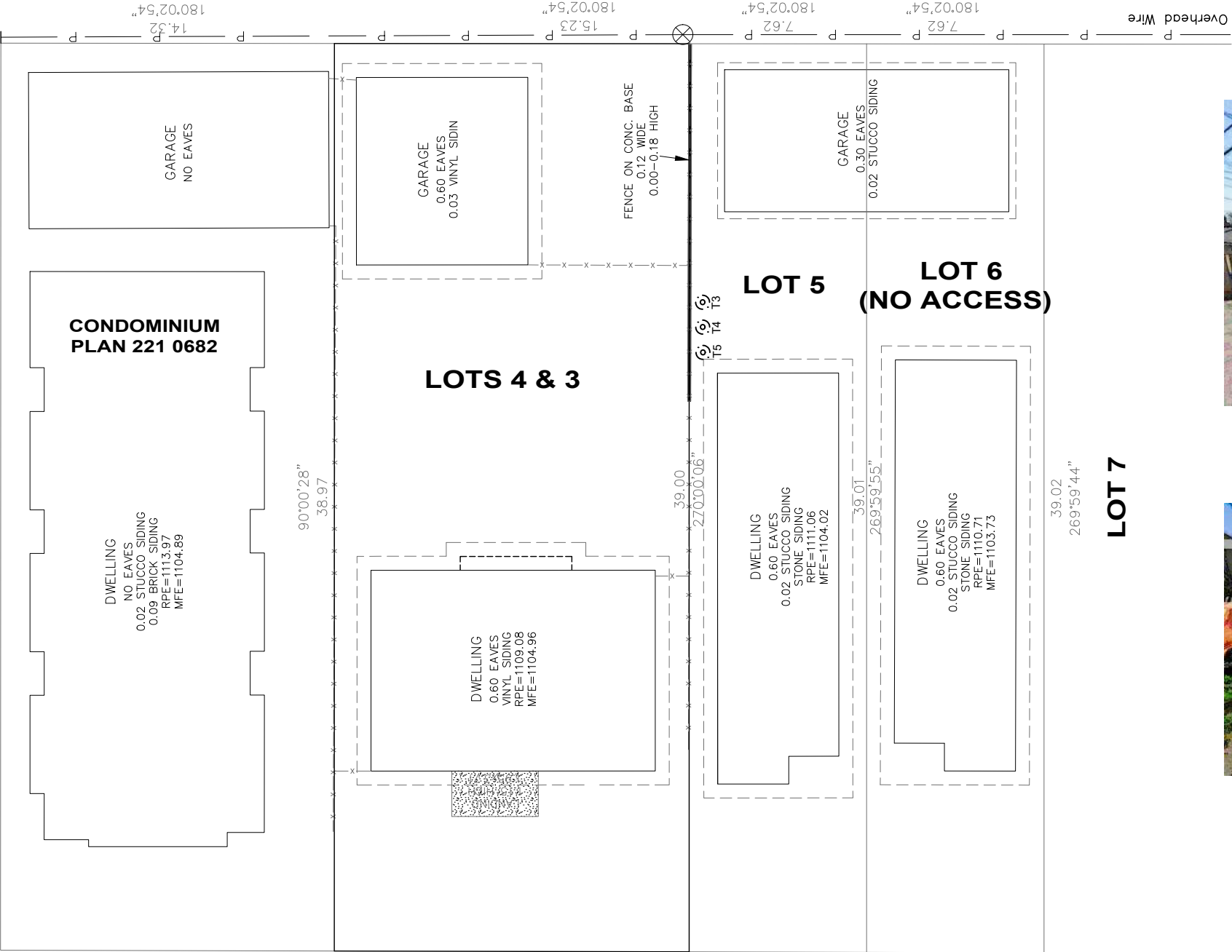
ISSUE DATE:	
June 8, 2026	
ADDRESS:	4108 - 19TH ST SW CALGARY, AB

DESIGN BY: CA	DRAWN BY: CA
LOT: 4 & 3	BLOCK: B
PLAN: 5641 S	
STREETSCAPE NORTH UNIT	



LOT COVERAGE (SQ.M.)	
LOT	593.600
HOUSE	91.816
COVERED PORCH	0.000
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TOTAL	128.816
COVERAGE (22.5% MAX.)	21.70%

PAGE
S.3
PROJECT NO. S590



1967, 1965, 1963, 1961
40 AVENUE S.W.

4102

4108
19 STREET S.W.

4110

4112



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DESIGN BY:	CA	DRAWN BY:	CA
LOT:	4 & 3	BLOCK:	B
		PLAN:	5641 S
STREETSCAPE NORTH UNIT			

SCALE: 1:5000

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S.3
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